



CITY COUNCIL AGENDA
AFTON CITY COUNCIL CHAMBERS
3033 St. Croix Trail South
TUESDAY, September 20, 2016
7:00 P.M.

1. CALL TO ORDER

2. PLEDGE OF ALLEGIANCE

- 3. ROLL CALL**
- _____ Mayor Bend
 - _____ Council Member Nelson
 - _____ Council Member Ross
 - _____ Council Member Richter
 - _____ Council Member Palmquist

4. APPROVAL OF AGENDA

- A. Approval of the Agenda for the Regular City Council meeting of September 20, 2016 -

5. APPROVAL OF MINUTES

- A. Minutes of the August 16, 2016 Regular City Council Meeting -
B. Minutes of the August 29, 2016 City Council 2017 Budget Work Session -
C. Minutes of the August 29, 2016 Special City Council Meeting -

6. PUBLIC INPUT

Citizens may share their comments or concerns on any issue that is a responsibility or function of the Afton City Council, whether or not the issue is on the Agenda. Persons who wish to address the Council must fill out a Comment Card before the meeting begins and give it to the City Administrator or Council Chair. The Council Chair will request you to come to the podium, state your full name and address and present your comments. You are encouraged to limit your presentation to no more than 3 minutes. The Council Chair reserves the right to limit an individual's presentation if it becomes redundant, repetitive, overly argumentative, or if it is not relevant to an issue that is part of the City of Afton's responsibilities. The Council Chair may also limit the number of individual presentations to accommodate the scheduled agenda items.

7. REPORTS/PRESENTATIONS

- A. Sheriff's Monthly Report -
B. Tom Niedzwiecki, Budget Report -
C. Lower St. Croix Fire District Report -
D. Robert Craggs, Chair of the Lower St. Croix Valley Community Foundation

8. CONSENT AGENDA

All matters listed on the Consent Agenda are considered to be routine by City Council and will be enacted in one motion. If a member wishes to discuss an item, that item will be removed from the Consent Agenda and considered separately. (Roll Call for Consent Agenda approval if Resolutions included):

- A. Just and Correct Claims
B. 4M Fund Transfer – AUGUST - **Resolution 2016-41**
C. Approve the Election Judge Supplemental List
D. Jon Kroschel Request for Noise Ordinance Exception

9. CITY COUNCIL BUSINESS

A. Planning Commission Report – (PC Chair Report & Draft PC Minutes)

1. Miesner – Approved Variance at 1520 Stagecoach Trail, Corrected Conditions – **Resolution 2016-42**
2. Solar Energy Ordinance Amendment, SEV MN1, LLC and Janice Schwitters & Steven Moll to allow a solar farm as a conditional use or interim use in the Agricultural District to enable a solar farm at 12351 15th Street –**Resolution 2016-43**
3. Comprehensive Plan Amendment, Will Carlson, Rezone four parcels from Agricultural to Rural Residential, located north of 60th Street and west of Trading Post Trail with PID’#s: 33.028.20.32.0001, 33.028.20.33.0004, 33.028.20.33.0005 and 32.028.20.41.0002, to enable a subdivision creating 18 lots on 113 acres – **Resolution 2016-44**
4. Conditional Use Permit for a Trailer Parking Facility, Anchor Bank, FSB and Brockman Investments, located on Hudson Road with PID# 05.028.20.11.0007 – **Resolution 2016-45**
5. Ordinance Adopting the County Septic Ordinance by Reference – **Ordinance 08-2016**
6. Ordinance Amendment Opting Out of the Temporary Health Care Dwelling Statute – **Ordinance 09-2016**

B. Engineering Report – (Engineer Staff Report & Council Update)

1. 2016 Bridge Inspections

C. Administration –

1. Preliminary 2017 Budget and Tax Levy – **Resolutions 2016-46 and 2016-47**
2. Solid Waste and Recycling Service - Request for Proposal Process
3. Lower St. Croix Valley Fire Relief Association Request for Pension Benefit Increase – **Resolution 2016-48**
4. Cluster Mailboxes
5. Septic System Compliance Inspection Trigger – Building permit \$75,000 value – **draft ordinance**
6. Schedule public hearing re: vacation of Cartway
7. Letter of support for Jill Lucas re” reappointment to VBWD
8. Deputies Facility
9. Bill Isaacson and Family Request for Burials at Mt. Hope Cemetery
10. Street Repair Needs

D. Committee Reports -

1. Public Works
2. Personnel
3. Parks
4. Heritage Preservation Commission / Design Review
5. Natural Resources and Groundwater

10. COUNCIL, CONSULTANT AND STAFF REPORTS, ANNOUNCEMENTS AND UPDATES

- A. Ward 1 Council Member Palmquist
- B. Ward 2 Council Member Richter
- C. Ward 3 Council Member Ross
- D. Ward 4 Council Member Nelson
- E. Mayor Bend
- F. City Attorney Knaak
- G. City Administrator Moorse

11. ADJOURN

A quorum of the City Council or Other Commissions may be present to receive information at, but not limited to, any of the following meetings: Planning Commission; the Public Works Committee; Parks Committee; Design Review and Historic Preservation Commission; Lower St. Croix Cable Commission; LSCWMO; MSCWMO; I-94 Corridor Coalition and the 5-City Mayor’s Alliance.

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**PROCEEDINGS OF THE AFTON CITY COUNCIL
CITY OF AFTON
WASHINGTON COUNTY, MINNESOTA**

**DRAFT City Council Regular Meeting Minutes
August 16, 2016
Afton City Hall
3033 St. Croix Trail
Afton, MN 55001
7:00 P.M.**

1. **THE MEETING WAS CALLED TO ORDER** at 7:00 P.M. by Mayor Bend.

2. **THE PLEDGE OF ALLEGIANCE** – was recited.

3. **ROLL CALL:** Council Members Nelson, Ross, Palmquist and Mayor Bend. Absent: Richter. **Quorum Present.**

ALSO PRESENT: City Attorney Fritz Knaak, City Engineers Diane Hankee and Todd Hubmer, City Administrator Ron Moorse and City Clerk Kim Swanson Linner.

4. **APPROVAL OF AGENDA** –

A. Agenda for the Regular City Council Meeting of August 16, 2016 –Item 9C 9, Randy Morgan Driveway Permit on Sand Hill Road was moved to 10H, as it is a CLOSED SESSION. The following Items were ADDED to the night's agenda: Item 9C10, Schedule a Joint City Council / Public Works Work Session; Item 9C11, Bike Rack and Garbage Can; Item 9C12, Heritage Preservation Commission Design Review Fee; Item 9C13, St. Croix Workshop-on-the-Water registration for attendance.

Motion/Second: Palmquist/Ross. To approve the agenda of the August 16, 2016 Regular City Council Meeting as amended. Motion carried 4-0-0.

5. **APPROVAL OF MINUTES** -

A. Minutes of the July 12, 2016 Special City Council Meeting –

Motion/Second: Palmquist/Ross. To approve the minutes of the July 12, 2016 Special City Council Meeting as presented. Motion carried 3-0-1 (Abstain: Nelson, due to absence).

B. Minutes of the July 18, 2016 City Council Work Session –

Motion/Second: Bend/Ross. To approve the minutes of the July 18, 2016 City Council Work Session as presented. Motion carried 3-0-1 (Abstain: Palmquist, due to absence).

C. Minutes of the July 19, 2016 Regular City Council Meeting –

Motion/Second: Nelson/Ross. To approve the minutes of the July 19, 2016 Regular City Council Meeting as presented. Motion carried 3-0-1 (Abstain: Palmquist, due to absence).

6. **PUBLIC INPUT** – none.

7. **REPORTS/PRESENTATIONS** -

A. Sheriff's Monthly Report – no deputy in attendance.

B. Tom Niedzwiecki, Budget Report – not in attendance.

C. Lower St. Croix Fire District Report – Kevin Wall and Kevin Johnson presented the Lower St. Croix Fire District Annual Audit for Year End December 31, 2015, on file at Afton City Hall, showing a balance of \$1,504,506. The Fire District is proposing a benefit level increase of assets to liabilities to 113.38%. This level

53 has fluctuated over the last 10 years, from a deficit, which the five cities made special contributions over a
54 number of years, to the current over-funding level.

55
56 **Staff was directed to prepare a resolution for the September City Council meeting to ratify the Fire**
57 **District 2015 Audit and the funding level, and to provide the background discussion on the funding.**
58

59 **8. CONSENT AGENDA –**

- 60 **A. Just and Correct Claims**
61 **B. 4M Fund Transfer – JULY - Resolution 2016-37**
62 **C. Waive Park Reservation Fees for Afton Area Business Association for 2017 events.**
63

64 **Motion/Second: Palmquist/Nelson. To approve the Consent Agenda, including Resolution 2016-37 as**
65 **presented. ROLL CALL: All Ayes. Motion carried 4-0-0.**
66

67 **9. CITY COUNCIL BUSINESS -**

68 **A. Planning Commission Report –**
69

- 70 1. Guy Reithmeyer, etal Preliminary Plat at 1093 Indian Trail Path– Resolution 2016-38 –
71 Administrator Moorse explained that consultant planner Bob Kirmis reviewed the application for the
72 preliminary plat. Kirmis reported that the proposed subdivision was well designed; he detailed how the
73 subdivision met and were consistent with the applicable City regulations. Kirmis provided a list of
74 recommended conditions to be placed on the approval of the preliminary plat. Kirmis reported, as to the Park
75 Dedication Fee issue, that the City’s Park Plan within the Comprehensive Plan did not show any anticipated
76 park areas near this subdivision, therefore, a cash park dedication fee was recommended.
77

78 Council Discussion

79 Mayor Bend commented that the Natural Resources and Groundwater Committee should have reviewed the
80 Preliminary Plat, as it is their mission to ensure the stewardship of Afton’s natural resources is taken into
81 account.

82 Council discussed whether a cleared path should be required to Lake Edith.

83 Mayor Bend dictated language for the Condition #15 revision: “Any cleared path from the bluff line to the
84 lake shall be not more than 10 feet in width or any greater width as superseded by state statute.”
85

86 **Motion/Second: Palmquist/Bend. To approve the Guy Reithmeyer, etal Preliminary Plat at 1093 Indian**
87 **Trail Path, per Resolution 2016-38, based on the findings and subject to the conditions listed below:**
88

89 Findings:

- 90 1. **The subject property is located in the Rural Residential zone, as is all property surrounding it.**
91 2. **The Rural Residential zone allows residential use with five-acre minimum lot size.**
92 3. **The preliminary plat meets all preliminary plat requirements.**
93

94 Conditions

- 95 1. **Both the Indian Trail Path and Lake Edith Lane roadways shall be located within public right-of-**
96 **way and shall be provided 15 foot setbacks from property lines (to accommodate private utilities**
97 **and snow storage). This issue shall be subject to further comment by the City Engineer.**
98 2. **The adequacy of the streets serving the property shall be subject to comment and**
99 **recommendation by the City Engineer.**
100 3. **Driveway placement for Lot 3, Block 1 shall be set back a minimum of 60 feet from the**
101 **intersection of Indian Trail Path and Lake Edith Lane.**
102 4. **Except as otherwise allowed by the Valley Branch Watershed District for lake access, vegetation**
103 **clearing within the shore and bluff impact zones and on steep slopes shall be prohibited. Scenic**

- 104 easements shall be placed on all slopes greater than 18%. The developer shall execute a scenic
105 easement agreement and shall record the scenic easement concurrent with the final plat.
106 5. All requirements imposed by the Valley Branch Watershed District in the attached letter dated
107 June 3, 2016 shall be satisfied.
108
109 6. The City Engineer shall provide comment and recommendation in regard to the establishment of
110 easements upon the property, and easements as required by the City Engineer shall be granted.
111 7. Primary and secondary septic sites shall be illustrated on the preliminary plat in compliance with
112 Section 12-413 of the Zoning Ordinance (Sewage Treatment) and Section 12-1328.C.9 of the
113 Subdivision Ordinance (Preliminary Plat Data Requirements).
114 8. Review and approval of proposed septic designs and final septic permits by the Washington
115 County Department of Public Health shall take place prior to building permit issuance.
116 9. Consistent with Conservancy Overlay District requirements, permitted and accessory uses shall
117 be subject to Administrative Permit.
118 10. Current land value information shall be provided to the City (by the applicants) such that an
119 exact cash contribution amount can be calculated and potentially applied as a condition of final
120 plat approval.
121 11. Park dedication requirements of the City shall be made in cash, as determined appropriate by
122 City Officials, shall be paid prior to City signing the final plat.
123 12. As part of final plat approval, the applicants shall enter into a development agreement with the
124 City and post any financial securities required by it. This issue should be subject to further
125 comment by the City Attorney.
126 13. All requirements of the City Engineer, as outlined in the memo from Jesse Carlson of WSB dated
127 July 18, 2016, shall be satisfied.
128 14. All driveways shall comply with Section 12-84 of the Zoning Ordinance and be subject to review
129 and approval by the City Engineer.
130 15. Any cleared path from the bluff line to the lake shall be not more than 10 feet in width or any
131 greater width as superseded by state statute.
132

133 **ROLL CALL: All Ayes. Motion carried 4-0-0.**
134

135 2. Withdrawn Application - Robert Demaster- Accessory Building Interim Use Permit at 15376 Afton
136 Boulevard South – Administrator Moorse explained that Robert Demaster owns the small parcel at 15376
137 Afton Boulevard South; he also owns three adjacent parcels which includes the parcel at 15252 Afton
138 Hills Drive where he has his home, the large parcel to the south with PID # 15.028.20.34.0001 has a
139 vineyard, and the long narrow parcel with PID# 15.028.20.43.0005 southeast of the 15376 parcel. Mr.
140 Demaster plans to replat these properties to create one parcel upon completion of a title registration
141 process. Mr. Demaster had applied for an Interim Use Permit as the solution to having an accessory
142 structure without a principal structure during the interim period while the title registration process was
143 completed. Mr. Demaster since learned from the County Recorder that he could combine all of the lots
144 in advance of the title registration process in a simple lot combination process, then complete the title
145 registration process and replat the property. Based on this information, Mr. Demaster has withdrawn
146 his Interim Use Permit application and will proceed with the lot combination process through the
147 County, which will result in the proposed accessory building being located on the same parcel as Mr.
148 Demaster's house, and will eliminate the current nonconforming setback of the proposed accessory
149 building. This will bring the existing building into conformance with code requirements and will
150 enable a building permit to be issued for the accessory building. Mr. Demaster has requested the
151 refunding of the fee of \$250 and the deposit of \$600 for the Interim Use Permit application, totaling
152 \$850.00. A letter from Mr. Demaster withdrawing the interim use permit application and requesting a
153 refund of the application fee and deposit was submitted to the city.

154 **Motion/Second: Palmquist/Nelson. To accept the withdrawal of the Interim Use Permit application from**
155 **Robert Demaster because the parcels listed will be combined into one parcel and an interim permit for an**
156 **accessory building is not needed; and to approve the request for a refund of the fee and deposit for the**
157 **application, totaling \$850. Motion carried 4-0-0.**
158

159 **B. Engineering Report** - City Engineers, Diane Hankee and Todd Hubmer reported on:

160 1. Awarding Bid for Downtown Improvements Project – Resolution 2016-39 – Engineer Hankee
161 reported that bids for the Downtown Village Improvement Project were opened on June 24, 2016. Based on the
162 post-bid analysis of the two (2) bids received, staff recommended the bid submitted by Geislinger and Sons, Inc.
163 to be the lowest responsible bid. She reported that Geislinger and Sons, Inc. has successfully completed similar
164 projects in magnitude and scope including several successful projects with WSB and Associates staff.
165

166 **Motion/Second: Palmquist/Ross. To accept the bid from Geislinger and Sons, Inc. authorizing work for**
167 **the Downtown Village Improvements Project in the amount of \$12,542,476.71, with the bid award subject**
168 **to agreement by the contractor that the Notice to Proceed will not be provided until the completion of the**
169 **federal Section 106 process. ROLL CALL: All Ayes. Motion carried 4-0-0.**
170

171 2. Approving a Professional Services Agreement with WSB and Associates for Construction
172 Administration and Inspection Services for the Downtown Village Improvement Project – Engineers Hankee
173 and Hubmer summarized the proposal from WSB and Associates, Inc. to perform project management,
174 construction administration, construction inspection, surveying, and materials sampling for the duration of
175 construction of the Downtown Improvements Project. They explained the proposed fee assumes a construction
176 start date of September 2016 and a construction end date of November 2018 with a 50-hour work week. In the
177 event that construction is completed before November 2018 the fees would be reduced accordingly. They
178 reported that, as the consultant engineer for design, WSB and Associates is uniquely qualified to perform these
179 services.
180

181 **Motion/Second: Palmquist/Nelson. To approve a professional services agreement with WSB and**
182 **Associates for Construction Administration, Inspection, and Testing services in the amount of \$1,596,537**
183 **for the Afton Downtown Improvements Project. Motion carried 4-0-0.**
184

185 3. Seal Coat Price Quote for Afton Hills Drive – Engineer Hankee summarized that at the June
186 council meeting the City approved Astech Corp. quote in the amount of \$29,450 to crack fill 11 miles
187 of roadway, and seal coat 32nd Street South and Pateley Bridge Avenue South. The quotes were under
188 the \$75,000 budget and council directed staff to get a quote for seal coating Afton Hills Drive. Staff
189 held a preconstruction meeting with Astech Corp. and requested a cost to seal coat Afton Hills Drive
190 under the contract prices; they estimated the seal coat cost at \$20,388, bringing the 2016 seal coat total
191 cost to be \$51,038. This is still under the \$75,000 budget line item.
192

193 **Motion/Second: Nelson/Palmquist. After considering information on the life expectancy of seat coating**
194 **vs pavement patching vs a total overlay vs a total reconstruction, the motion was made to pass on the**
195 **seal coating quote for the stretch of Afton Hills Drive between Stagecoach Trail and the Afton Hills**
196 **Drive loop at the estimated cost of \$20,388. Motion carried 4-0-0.**
197

198 **C. Administration –**
199

200 1. Solid Waste and Recycling Service Request for Proposals Process – Administrator Moore
201 explained that in 2014, with the 5 year contract with Highland Sanitation for solid waste and recycling services
202 set to expire at the end of 2014, the City decided that, rather than conduct a full Request for Proposals (RFP)
203 process, the contract would be updated and extended for a two year period, and an RFP process would be
204 conducted in 2016. Staff is working with Washington County and its solid waste service consultant to prepare an

205 RFP for approval by the Council at its September 20 meeting. The RFP would be advertised and proposals
206 received by early October. It is expected that the proposals would be reviewed by a review committee made up
207 of Washington County staff and its consultant, City staff and a Council member if desired. The committee
208 would review the proposals and bring a recommendation regarding the preferred proposal to the Council's
209 October 18 meeting. Moose indicated, if they would like to have a representative on the proposal review
210 committee, the Council could appoint that representative at this time.

211 Council member Ross volunteered to serve on the review committee.

212
213 **Motion/Second: Bend/Nelson. To appoint Council Member Ross to serve on the solid waste services**
214 **proposal review committee. Motion carried 4-0-0.**
215

216 2. Septic System Compliance Inspection Triggers – Administrator Moose explained that, in response
217 to the Valley Branch Watershed District's voluntary septic inspection program for properties in the Kelles Creek
218 watershed, the Council discussed the current triggers for mandatory compliance inspections and requested the
219 Natural Resources and Groundwater Committee (NRGC) provide a recommendation regarding mandatory
220 triggers. The NRGC obtained and reviewed substantial information regarding compliant vs. non-compliant
221 septic systems and the potential effects of noncompliant systems. At its June 15 meeting, the NRGC
222 recommended that the current septic compliance inspection trigger be strengthened to require an inspection
223 when a property obtains a building permit with a value of \$50,000 or more. The current triggers in the septic
224 ordinance are the sale of the property, the addition of a bedroom and an improvement that is more than 50% of
225 the existing structure. Moose furthered that, at its July 19 meeting, the Council discussed the \$50,000 building
226 permit trigger and whether a higher building permit value would be more appropriate. While a higher building
227 permit value may be a better fit from an ability-to-pay standpoint, the number of building permits for higher
228 valued home improvements is small. The information provided to the NRGC regarding septic compliance
229 indicated that the compliance of septic systems is closely related to the year in which they were installed. The
230 older the system, the higher probability that it is non-compliant. The following statistics were provided by
231 Washington County's septic compliance inspection information pertaining to Afton:

- 232 • For septic systems in Afton older than 1980 that were inspected for compliance, 55% were non-conforming.
- 233 • For septic systems in Afton installed between 1980 and 1989 that were inspected for compliance, 45% were
234 non-compliant.
- 235 • In 2014, 55% (37 of 67) of properties that were sold in Afton did not have a septic compliance inspection.

236 Moose indicated that the County Septic Ordinance, which needs to be officially adopted by the City, has a
237 septic inspection requirement at the point of sale, in Section 8.10 (1)(B), if the septic system is more than 5
238 years old.

239
240 **Motion/Second: Bend/Palmquist. To direct staff to prepare a draft ordinance amending the septic**
241 **ordinance providing the city with additional triggers for septic compliance inspections to be completed**
242 **when building permit applications are over \$75,000 in value and/or are greater than 40% of the assessed**
243 **value, unless the owner can prove it has been inspected within the last 10 years. Motion carried 4-0-0.**
244

245 3. Paperless Office - Scanning Legacy Documents into Laserfiche – Administrator Moose reviewed
246 that at its July 19, 2016 meeting, the Council approved the purchase and installation of Laserfiche, a document
247 and workflow management system. One of the key benefits of the Laserfiche software is that it provides a
248 powerful ability to search electronic records. The City currently has a large volume of paper records,
249 particularly related to property-based information. The property records are accessed regularly by staff. Having
250 the ability to access these records through Laserfiche would substantially improve the efficiency of searching
251 these records. It would also protect these records in the case of a disaster, such as a fire. In order to be able to
252 access these records electronically through Laserfiche, they need to be scanned into the Laserfiche system.
253 Because of the large volume of these paper records, the cost of scanning is substantial. Cities Digital, the vendor
254 for Laserfiche, has the capability to scan the City's legacy documents. While the Council discussed the need to
255 scan the legacy documents into Laserfiche, and discussed a number of options for accomplishing this, the

256 Council did not make a decision about this. Three options for scanning the legacy documents and their costs,
257 were provided. Option 1 was to scan all the legacy documents at one time; Option 2 was to scan a portion each
258 year over a five-year period; Option 3 was to have staff scan the legacy documents as they are accessed and as
259 staff ha time permits. While Option 3 was the least expensive, staff would need to dedicate time to this task, as
260 current tasks take up more hours than are available.

261 Council discussed that the greatest benefit, both in time and in disaster recovery, would come from Option
262 1, having all legacy documents scanned into the system at once.

263
264 **Motion/Second: Palmquist/Ross. To approve Option 1, to have all of the city’s legacy documents scanned**
265 **into the Laserfiche system at one time, for the quoted cost, not to exceed \$16,175.90. Motion carried 4-0-**
266 **0.**

267
268 4. Adopt Local Designation Nominations of Historic Properties - Resolution 2016-40 – Administrator
269 Moore reviewed that the Heritage Preservation Commission obtained grant funding to complete research on 13
270 historic properties in Afton and nominate the properties for local designation. The local designation process
271 involves both the Minnesota Historical Society and the City Council recognizing the historic significance of the
272 properties and, through approval, encouraging the preservation of the properties through the City’s historic
273 preservation design guidelines. The property owners all agreed to their properties being designated as local
274 historic properties. The final two nominations of the 13 properties – The Erastus Bolles House at 1741
275 Stagecoach Trail South and the Bissell Mound at 13305 15th Street South are ready for approval.

276
277 **Motion/Second: Bend/Nelson. To approve the adoption of Resolution 2016-40 for the local designation of**
278 **The Erastus Bolles House at 1741 Stagecoach Trail South and the Bissell Mound at 13305 15th Street**
279 **South in the City of Afton. ROLL CALL: All Ayes. Motion carried 4-0-0.**

280
281 5. Afton Boulevard Cartway Erosion – Administrator Moore summarized that Council, at its July 19,
282 2016 meeting, discussed the cartway and the erosion issue. The Council directed staff to clarify whether the
283 roadway was created as a cartway, and whether there are any properties for which the cartway provides the only
284 means of access. Moore explained that materials from records at Washington County were provided to the city
285 by Dan Miller, owner of a parcel adjacent to the cartway, detailed that the cartway was established in 1917.
286 State statute allows cities a process to close a cartway, similar to the process to vacate a public roadway. It
287 includes a public hearing with notice to owners of all properties adjacent to the cartway. He explained that there
288 are three parcels that relate to the cartway. From north to south, the parcels include an undeveloped parcel with
289 PID# 22.028.20.32.0005, the parcel at 3750 Paradox End Avenue with PID# 22.028.20.32.0006, and the parcel
290 at 14925 Afton Boulevard with PID# 22.028.20.33.0001. The undeveloped parcel does not have access to a
291 public road, but does have access to the cartway. This parcel is under the same ownership as the parcel at 3750
292 Paradox End Avenue, which has frontage on Paradox End Avenue and contains a house near the Paradox End
293 Avenue cul-de-sac. There is a rental house located at 14925 Afton Boulevard South that currently uses the
294 cartway as its main access. This parcel has frontage on both Afton Boulevard South and Paradox End Avenue.
295 There is an existing field road that runs from the rental house to Paradox End Avenue. The field road could be
296 upgraded by the property owner to provide access to Paradox End Avenue, eliminating the need to use the
297 cartway. Moore continued, that the city’s zoning code requires that the undeveloped parcel, in order to be
298 considered a buildable lot, needs to have at least 60% of the required frontage on an improved public street. The
299 required frontage is 300 feet. This parcel does not have any frontage on an improved public street. Even if the
300 cartway was considered to be “an improved public street” the parcel does not have the required frontage on the
301 cartway. Because the parcel does not meet the frontage requirement and is adjacent to a parcel under the same
302 ownership, the zoning code requires that this parcel be combined with the adjacent parcel at 3750 Paradox End
303 Avenue. This would eliminate the need to keep the cartway open to serve this parcel. Moore indicated that in
304 the past several years, erosion has been an issue on the cartway. The two owners of the three parcels indicated
305 above have been cited with unauthorized grading of the cartway and the slope on the east side of the cartway
306 and charged with a fine and reparations. The reparations have not stopped the erosion from the undercutting of

307 the slope from past years. City staff had met at the cartway with the City Engineer to review erosion control and
308 restoration solution options. The repeated heavy rains this season have caused even more severe erosion,
309 particularly along the eastern edge of the cartway, against the steep slope up from the cartway. As part of the
310 discussion, the City Engineer advised that, if the cartway continues to be open and used as a roadway, a likely
311 long term result could be erosion on the steep slope down from the cartway, undercutting the roadway and
312 requiring major repairs. It was suggested that the erosion control and restoration solution would be easier if the
313 roadway was closed and vegetated.

314
315 Moose indicated that cost estimates have been obtained from Tri County for the erosion control and restoration
316 options. The estimated cost of erosion control repairs with the cartway continuing to be open for use is \$7,500.
317 With the cartway closed to traffic permanently, the estimated cost would be \$4,000. The cost of these repairs
318 can be assessed to the users of the cartway.

319
320 **Motion/Second: Bend/Palmquist. To move forward with the process to close the cartway. Motion carried**
321 **4-0-0.**

322 **Motion/Second: Bend/Palmquist. To analyze an erosion control and restoration solution for the cartway.**
323 **Motion carried 4-0-0.**

324
325 6. Cluster Mailboxes – Administrator Moose reviewed that at its July 19, 2016 meeting, the Council
326 reviewed information regarding residents in a number of rural neighborhoods working with the Post Office to
327 install metal cluster mailboxes with locking boxes to improve mail security. The residents and the Post Office
328 have contacted the City regarding whether the City has any requirements for the mailboxes. The Post Office has
329 installed one cluster mailbox, located in the Cedar Bluffs development. The Post Office proposes a metal
330 pedestal mailbox. The Council referred the issue to the Heritage Preservation Commission (HPC) for review and
331 recommendation. The HPC prefers the character of the Cedar Bluffs mailbox with the wood surrounding the
332 metal cluster of mailboxes vs. all metal. He reminded that Council also asked whether members of a
333 neighborhood would be required or pressured to eliminate their individual mailbox in favor of a cluster mailbox.
334 The Postmaster indicated they would not install a cluster mailbox unless a substantial percentage of the residents
335 would participate; but if some residents did not want to participate, they could keep their individual mailboxes.

336 **Motion/Second: Bend/Nelson. To table the discussion of the design of cluster mailboxes. Motion carried 4-**
337 **0-0.**

338
339 7. Man-Made Steep Slopes – Administrator Moose reviewed that at its June 13, 2016 meeting, Council
340 directed staff to work with the Planning Commission to develop an ordinance amending the protection of slopes
341 which were made 18% or greater by grading, i.e. for the construction of a roadway, and also are not
342 environmentally sensitive or fragile. Moose indicated that the Planning Commission, at its July 11 meeting,
343 recommended against a general exception for man-made steep slopes. The Commission pointed to the potential
344 difficulty of demonstrating a slope was man-made and to the possibility that a man-made steep slope may still be
345 environmentally fragile and/or in an environmentally sensitive area. Instead, the Commission recommended a
346 narrower exception, for example, specifically related to a driveway crossing a ditch area that has steep slopes.
347 The Commission also recommended that there should be a process, such as a variance process, related to making
348 this exception, through which the property owner would demonstrate that the slope was man-made, that it was not
349 environmentally fragile, that it would be protected from erosion, and that the inability to disturb the steep slope
350 was causing a practical difficulty. At its July 19 meeting, the Council discussed a narrower exception related to
351 man-made steep slopes, specifically related to steep slopes that were created by the construction of a road and/or
352 related drainage ditches or a driveway. The Council did not agree on specific language or on whether this
353 exception would require a variance. Staff requested that Council provide additional direction for an ordinance
354 amendment that can be brought to the September 12 Planning Commission meeting.

355
356 **Motion/Second: Bend/Nelson. To direct staff to draft an ordinance amendment related to parameters that**
357 **the disturbance of man-made steep slopes may be permitted and to ensure the language is included in the**

358 **numerous code sections which discuss 18% steep slopes: slopes 18% and greater must have been**
359 **constructed in relation to roadways or ditches adjacent to roadways and therefore, must be adjacent to**
360 **publicly improved roads; the 18% or greater slope must also extend perpendicular to the roadway and be**
361 **a distance of 30 feet or less. Motion carried 4-0-0.**
362

363 8. Schedule 2017 Budget Work Session – Administrator Moorse indicated that the preliminary 2017
364 budget and tax levy is required to be certified to the County by September 30, therefore staff suggested scheduling
365 a minimum of two work sessions prior to approving the preliminary budget and tax levy at the September 20
366 Council meeting.

367
368 **Two Budget Work Sessions were scheduled for August 29 at 3:30 p.m. and September 12 at 1:00 p.m.**
369

370 9. [Moved to 10H] Randy Morgan Driveway Permit on Sand Hill Road (Closed Session) –
371

372 10. [Added] Schedule a Joint City Council / Public Works Work Session – It was reported that the Paser
373 Study has been converted to an Excel spreadsheet. The spreadsheet will be turned over to the Public Works
374 Committee to rank roads. The spreadsheet is linked to a financial spreadsheet that automatically calculates; it
375 “normalizes” roads to 24 feet wide and one mile long, so if a road is 15 feet wide, it becomes .6 of a mile in
376 terms of cost to maintain. Accountant Niedzwiecki has reviewed the math in the spreadsheet and approved the
377 math and formulas. Administrator Moorse will work with Council and Public Works to schedule a meeting date.
378

379 11. [Added] Bike Rack and Garbage Can – Council Member Palmquist brought a request to the Council
380 to get approval for the purchase of a bike rack and garbage can for the Pedal & Paddle program.
381

382 **Motion/Second: Bend/Nelson. To accept picture number 1 for a bike rack, from materials handed out at**
383 **the meeting. Motion carried 4-0-0.**
384

385 12. [Added] Heritage Preservation Commission Design Review Fee – Council Member Palmquist
386 requested that Council place a moratorium on charging the Heritage Preservation Commission’s design review
387 fee until the Fee Schedule is revised in January 2017 and to request that staff remove the fee from the Fee
388 Schedule for adoption in January 2017.
389

390 **Motion/Second: Palmquist/Nelson. To approve refunding the latest Heritage Preservation Commission**
391 **design review fee paid. Motion carried 4-0-0.**
392

393 13. [Added] St. Croix Workshop-on-the-Water registration for attendance – Council Member Palmquist
394 added this item to the agenda for Council to take action on approving payment of registrations for those CC, PC
395 and NRG members wishing to attend the 2016 St. Croix Workshop-on-the-Water on September 14. Staff will
396 register those wishing to attend.
397

398 **Motion/Second: Palmquist/Nelson. To approve paying the registration fee of \$25 each for City Council,**
399 **Planning Commission and Natural Resources and Groundwater Committee members wishing to attend**
400 **the 2016 St. Croix Workshop-on-the-Water on September 14. Motion carried 4-0-0.**
401

402 **D. Committee Reports –**

- 403 1. Public Works – none.
- 404 2. Personnel – none.
- 405 3. Parks – none.
- 406 4. HPC/DR – none.
- 407 5. Natural Resources and Groundwater – none.

- 408 6. High Speed Internet – CenturyLink has about 10 more miles of fiber to install; they are targeting
409 October for completion.
410

411 **10. COUNCIL, CONSULTANT AND STAFF REPORTS, ANNOUNCEMENTS AND UPDATES**

- 412 **A.** Ward 1 Council Member Palmquist – all of Council should watch at least one video a year; it is helpful
413 to be aware of what bogs down meetings and observe strategies to move meetings forward.
414 **B.** Ward 2 Council Member Richter – absent.
415 **C.** Ward 3 Council Member Ross – none.
416 **D.** Ward 4 Council Member Nelson – He was the PAC and Gateway meetings on Thursday. The alignment
417 of the bus route has changed dramatically. It is now being proposed to end at the old Woodbury Theatre
418 parking lot (to be a Park and Ride lot) north of Valley Creek Road. The Gateway route was supposed to
419 alleviate traffic from Wisconsin to the I-694/I-494 loop; he believes this will not get people exiting off
420 the freeway into neighborhood traffic to get on the bus to the downtowns.
421 **E.** Mayor Bend – none.
422 **F.** City Attorney Knaak – Prosecution Report is on file.
423 **G.** City Administrator Moore – none.

- 424
425 **H.** *[Moved from 9C9]* Randy Morgan Driveway Permit on Sand Hill Road –
426

427 **Motion/Second: Bend/Nelson. To go into Closed Session at 9:54 p.m. Motion carried 4-0-0.**

428
429 **Motion/Second: Nelson/Palmquist. To come out of Closed Session at 10:15 p.m. Motion carried 4-0-0.**

430
431 **11. ADJOURN –**

432
433 **Motion/Second: Palmquist/Nelson. To adjourn the meeting at 10:17 p.m. Motion carried 4-0-0.**

434
435 Respectfully submitted by:

436
437
438 _____
439 Kim Swanson Linner, City Clerk

440
441 **Approved by Council (on September 20, 2016) as (check one): Presented: _____ Amended: _____**

442
443
444 **Signed by Mayor Richard Bend _____ Date _____**

PROCEEDINGS OF THE AFTON CITY COUNCIL
CITY OF AFTON
WASHINGTON COUNTY, MINNESOTA

DRAFT City Council Work Session Minutes
August 29, 2016
Afton City Hall
3033 St. Croix Trail
Afton, MN 55001
3:30 p.m.

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- 1. THE MEETING WAS CALLED TO ORDER at 3:30 P.M. by Mayor Bend.
- 2. ROLL CALL: Council Members Nelson, Ross, Palmquist and Mayor Bend. Absent: Richter. Quorum Present.

ALSO PRESENT: City Accountant Tom Niedzwiecki and City Administrator Ron Moorse

3. APPROVAL OF AGENDA –

A. Agenda for the City Council Work Session Meeting of August 29, 2016 -

Motion/Second: Nelson/Palmquist. To approve the agenda of the August 29, 2016 City Council Work Session Meeting as presented. Motion carried 4-0-0.

4. CITY COUNCIL BUSINESS –

A. 2017 Preliminary Budget and Tax Levy

Moorse presented an overview of the 2017 preliminary budget and tax levy. The Council indicated street improvement funding is the top priority for the budget. The Council rescheduled the September 12 budget work session to September 16, so that the Council could have a joint work session with the Public Works Committee to discuss street improvement priorities and funding prior to the budget work session.

5. ADJOURNMENT

Motion/Second: Nelson/Bend. To adjourn the meeting at 4:30 P.M. Motion carried 4-0-0.

Respectfully submitted by:

Ron Moorse, City Administrator

Approved by Council on September 20, 2016 as (check one): Presented: _____ Amended: _____

Signed by Mayor Richard Bend _____ Date _____

1 PROCEEDINGS OF THE AFTON CITY COUNCIL
 2 CITY OF AFTON
 3 WASHINGTON COUNTY, MINNESOTA
 4

DRAFT City Council Special Meeting Minutes
 August 29, 2016
 Afton City Hall
 3033 St. Croix Trail
 Afton, MN 55001
 4:00 p.m.

11
 12 1. THE MEETING WAS CALLED TO ORDER at 4:30 P.M. by Mayor Bend.

13
 14 2. ROLL CALL: Council Members Nelson, Ross, Palmquist and Mayor Bend. Absent: Richter. Quorum Present.

15 ALSO PRESENT: City Accountant Tom Niedzwiecki and City Administrator Ron Moorese

16
 17
 18 3. APPROVAL OF AGENDA –

19 A. Agenda for the Special City Council Meeting of August 29, 2016 -

20 Motion/Second: Palmquist/Nelson. To approve the agenda of the August 29, 2016 Special City Council meeting as
 21 presented. Motion carried 4-0-0.

22
 23
 24
 25 4. CITY COUNCIL BUSINESS –

26 A. Maintenance of Cemetery Road (Upper 34th Street)

27 Moorese provided background regarding the historic maintenance of the road by the property owners and
 28 their concerns about potential liability if they continue to maintain the road. The Council discussed options
 29 for addressing the liability issue to enable the property owners to continue to maintain the road. The
 30 Council also discussed the immediate maintenance needs for the road.
 31

32 Morse indicated that, while Tri County, the City's road maintenance contractor, has indicated they do not
 33 want to take on regular maintenance of the road, they have provided a price quote to provide the
 34 maintenance currently needed on the roadway. The cost would be \$3,666 for the lime rock and \$500 for
 35 grading with a skid loader, for a total cost of \$4,166.

36 Motion/Second: Palmquist/Nelson. To direct staff and the City Attorney to quickly draft an agreement with the
 37 property owners that would involve the City's contractor completing the immediate road repairs and the property
 38 owners paying the cost, and to authorize a culvert to be installed at the driveway entrance to Mt. Hope Cemetery at
 39 a cost of \$200. Motion carried 4-0-0.
 40

41 Motion/Second: Bend/Nelson. Directing the City Administrator and City attorney to structure a maintenance and
 42 assessment agreement with the property owners for on-going maintenance of the road, with the property benefiting
 43 properties paying the costs and the City contracting for the maintenance work. Motion carries 4-0-0.
 44

45 B. Special Benefits Appraisal Update. Moorese indicated a special benefits appraisal was prepared in 2013 to
 46 provide a guide to the level of assessments to be levied for partial funding of the Downtown Village
 47 Improvements Project. Because it has been nearly three years since the special benefits appraisal was
 48 prepared, it would be beneficial to have the appraisal updated to reflect current market information.
 49

50 Because the appraiser who conducted the initial special benefits appraisal was not able to provide a
 51 proposal with a cost and timing to complete an update, the Council did not take any action regarding the
 52 update of the appraisal.
 53

54 C. Afton Area Business Association (AABA) request for funding assistance for a shuttle bus for the Art-In-
 55

56 The Park event. Moose indicated that the annual Art In The Park event will have greater parking
57 challenges in 2016 because of the planned closure of CR 21 south of Town Square Park. To address this
58 increased parking challenge, the AABA is planning to use a shuttle bus system similar to the one used for
59 the 4th of July Parade. The Afton Area Business Association is requesting that the Council consider
60 helping to fund the \$755 cost of a proposed shuttle bus plan to address parking issues during the Art In The
61 Park event.

62 Motion by Mayor Bend to contribute \$200 to the AABA to costs regarding undue impacts of downtown
63 construction. Palmquist offered an amendment to contribute an amount equal to half of the cost of the shuttle
64 bus. Mayor Bend accepted the amendment. Motion carried 4-0-0.

65 5. ADJOURNMENT

66
67 Motion/Second: Bend/Nelson. To adjourn the meeting at 5:00 P.M. Motion carried 4-0-0.

68
69
70 Respectfully submitted by:

71
72
73 _____
74 Ron Moose, City Administrator

75
76
77 Approved by Council on September 20, 2016 as (check one): Presented: _____ Amended: _____

78
79
80 Signed by Mayor Richard Bend _____ Date _____

Sheriff Citations August

7A

AGN	Date	Citation Number	Badge	Officer Name	Citation Type	Warning	Street Name	City	Literal Desc
WCSO	2016-08-31	820012624401	176	N. Sullivan	Citation	N	SAINT CROIX TRAIL LN S	Afton	CRIM-ASSAULT-DOMESTIC-INFLICT BODILY HARM-DOMESTIC ASSAULT
WCSO	2016-08-25	820007623801	1280	T. VanSomeren	Citation	N	MANNING AVE S	Afton	REG-Motor Vehicle Displaying Expired Registration
WCSO	2016-08-21	820013623402	124	J. Sutherland	Written Warning	Y	MANNING AVE S	Afton	MOV-Speed-Exceed Limit
WCSO	2016-08-19	820032623202	170	S. Wittl	Citation	N	SAINT CROIX TRL S	Afton	MOV-Speed-Exceed 55 mph
WCSO	2016-08-17	820056623001	196	Clayton Evens	Citation	N	HUDSON RD	Afton	REG-Expired Registration/# of Plates Req'd
WCSO	2016-08-10	820013622301	1264	J. Szczepanski	Citation	N	HUDSON RD S	Afton	MOV-Lights-Dim High Beam 1000 ahead or 200 behind
WCSO	2016-08-09	820024622201	170	S. Wittl	Citation	N	SAINT CROIX TRL S	Afton	MOV-Careless Driving
WCSO	2016-08-08	820050622101	159	A. Degel	Citation	N	HUDSON RD S	Afton	MOV-Speed-Exceed 55 mph
WCSO	2016-08-08	820012622102	174	L. Jackson	Citation	N	RIVER RD S	Afton	MOV-Seat Belt-Driver and Passengers must use
WCSO	2016-08-07	820012622001	174	L. Jackson	Citation	N	SAINT CROIX TRL S	Afton	MOV-Seat Belt-Driver and Passengers must use
WCSO	2016-08-07	820012622002	174	L. Jackson	Citation	N	SAINT CROIX TRL S	Afton	MOV-Seat Belt-Driver and Passengers must use
WCSO	2016-08-07	820012622003	174	L. Jackson	Citation	N	SAINT CROIX TRL S	Afton	MOV-Seat Belt-Driver and Passengers must use
WCSO	2016-08-06	820017621902	150	B. Krook	Written Warning	Y	SAINT CROIX TRL S	Afton	MOV-Speed-Exceed 30 mph-Urban District
WCSO	2016-08-06	820017621901	150	B. Krook	Written Warning	Y	SAINT CROIX TRL S	Afton	MOV-Speed-Exceed 30 mph-Urban District
WCSO	2016-08-04	820012621701	1281	D. Sawacke	Written Warning	Y	SAINT CROIX TRL S	Afton	MOV-Seat Belt-Driver and Passengers must use

Washington County Sheriff's Office
CONTRACT ICR's
Contract Report for AFTON
For the Period 8/01/16 To 8/31/16

Date	Time	ICR #	ID#	Street Name	Complaint
8/01/16	14:06:09	116028345	0070	MANNING AV	THEFT REPORT **--RESTACK CALL S
8/01/16	14:06:09	116307055		MANNING AV	THEFT REPORT/AOA ASST IN LOCAT
8/01/16	14:06:09	116307056	0080	MANNING AV	THEFT REPORT **TRL LOC 29 PINE
8/01/16	16:20:08	116028360	0160	AFTON BLVD CT	EXTRA PATROL
8/01/16	17:03:44	116028370	0174	MANNING AV	MOTORIST ASSIST
8/01/16	22:13:59	116028400	0174	HUDSON RD	SUSPICIOUS ACTIVITY
8/02/16	12:46:43	116028471	0085	ODELL AV	AUD ALARM
8/02/16	13:18:05	116028479	0077	CROIXVIEW DR	SCAM REPORT
8/02/16	14:16:46	116028494		8TH ST	RECEIPT# 160003741
8/02/16	14:47:21	116028505	1281	SAINT CROIX TR	WELFARE CONCERN
8/03/16	2:15:51	116028579	1280	32ND ST	NOISE COMPLAINT
8/03/16	9:21:41	116028608	0088	AFTON	WARRANT INFO
8/03/16	11:30:22	116028633	0160	HUDSON RD	DRIVING COMPLAINT
8/03/16	18:00:59	116028686	0170	11TH ST	BRANCH ON POWER LINE
8/03/16	19:32:51	116028693	1255	ST CROIX RIVER	WATERCRAFT VIOLATION
8/03/16	20:09:53	116028699	0170	OAKGREEN AV	MEDICAL - LEVEL 1
8/04/16	5:54:07	116028735	0080	30TH ST	TREE DOWN
8/04/16	8:58:42	116028758	0094	TRADING POST TR	IRS SCAM
8/04/16	15:55:48	116028829	0100	MEADOW PT PATH	OFFICERS INFO
8/04/16	16:55:55	116028835	1281	SAINT CROIX TR	TRAFFIC
8/04/16	19:18:59	116028854	1281	50TH ST	CHECK WELFARE **RSK**
8/04/16	19:20:20	116028855	0079	VALLEY CREEK TR	THREATS REPORT *RESTACK 21 FOR
8/05/16	8:46:00	116028902	0130	NEAL AV	DOMESTIC
8/05/16	12:06:39	116028948	0130	UPPER 34TH ST	GUN SHOTS
8/05/16	14:51:52	116028989	0063	32ND ST	MISSING CAT INFORMATION
8/05/16	19:31:54	116029029	1281	32ND ST	FRAUD REPORT
8/05/16	23:17:20	116029052	1274	ST CROIX RIVER	RECOVERED STOLEN
8/06/16	14:03:48	116029097	0150	SAINT CROIX TR	TRAFFIC
8/06/16	15:48:30	116029113	0150	SAINT CROIX TR	TRAFFIC
8/06/16	17:11:27	116029125	0111	HUDSON RD	ASSIST
8/06/16	18:27:50	116029139	0074	4TH ST	FAMILY ASSIST
8/06/16	22:47:51	116029172	1274	ST CROIX RIVER	WATERCRAFT VIOLATION
8/07/16	0:53:22	116029182	1216	33RD ST	UNKNOWN SITUATION
8/07/16	18:24:56	116029261	1253	ST CROIX RIVER	BOATER ASSIST
8/07/16	18:32:00	116029262	0174	SAINT CROIX TR	SHOTS FIRED
8/07/16	18:47:27	116029264	0174	SAINT CROIX TR	TRAFFIC - NO SEATBELT X3
8/07/16	19:05:32	116029266	1253	ST CROIX RIVER	WATERCRAFT VIOLATION TIMES 2
8/07/16	21:00:44	116029272	0093	40TH ST	DRIVING COMPLAINT **RSTK--AMB
8/08/16	0:13:44	116029279	1280	FAHLSTROM PL	MEDICAL LEVEL 3
8/08/16	8:53:44	116029305	0130	44TH ST	OFFICER INFO **RESTACK / HO
8/08/16	12:04:01	116029336	0091	QUANT AV	IRS SCAM
8/08/16	15:25:44	116029365	0100	45TH ST	OFFICER INFO
8/08/16	22:10:17	116029426	0174	RIVER RD	TRAFFIC - SEATBELT
8/08/16	22:11:27	116029425	0082	TRADING POST TR	WELFARE CONCERN
8/08/16	22:12:15	116029428	0174	VALLEY CREEK TR	SHOTS HEARD
8/08/16	23:40:54	116029430	0159	HUDSON RD	TRAFFIC-SPEED 76/50ZN
8/09/16	3:09:44	116029449	0159	PHEASANT CT	SUSPICIOUS VEHICLE
8/09/16	7:36:01	116029461	0075	VALLEY CREEK RD	TRAFFIC CONCERN
8/09/16	9:38:33	116029478	0075	8TH ST	SCAM REPORT **CALL COM **
8/09/16	9:50:15	116029482	0075	TRADING POST TR	ALARM
8/09/16	15:41:04	116029536		8TH ST CT	RECEIPT# 160003841
8/09/16	18:11:36	116029555	0076	MAJESTIC PINES	SUSPICIOUS VEH

Sheriff_Contract IRCs.txt
 Washington County Sheriff's Office
 CONTRACT ICR's
 Contract Report for AFTON
 For the Period 8/01/16 To 8/31/16

Date	Time	ICR #	ID#	Street Name	Complaint
8/09/16	21:01:36	116029575	0093	SAINT CROIX TR	ACCIDENT REPORT *STATE A
8/10/16	5:25:24	116029603	1264	HUDSON RD	TRAFFIC: FAILURE TO DIM HEADLI
8/10/16	8:10:59	116029616	0094	32ND ST	FRAUD REPORT
8/10/16	8:55:59	116029621	0094	50TH ST	AUD ALARM
8/10/16	18:32:41	116029708	0082	NEAL AV	911 ABND X3
8/10/16	20:57:28	116029727	0084	TRADING POST TR	ALARM
8/10/16	21:01:40	116029728	0084	CROIXVIEW DR	ALARM
8/10/16	21:19:59	116029731	0174	FAHLSTROM PL	FIRE ASSIST/MEDICAL EQUIP
8/10/16	21:33:53	116029735	0084	RIVER RD	TREE/POWER LINE DOWN
8/10/16	22:54:55	116029743	0121	MANNING AV	ROAD HAZARD
8/11/16	0:37:32	116029750	0092	TRADING POST TR	TRAFFIC HAZARD
8/11/16	7:08:34	116029766	0068	TRADING POST TR	POWER LINE HANGING/3RD PARTY
8/11/16	8:06:37	116029771	0160	SAINT CROIX TR	FOUND WALLET
8/11/16	9:29:34	116029777	0094	50TH ST	EXTRA PATROL REQUEST
8/11/16	10:18:05	116029794	0068	CROIXVIEW DR	CO ALARM
8/11/16	18:30:40	116029874	0176	HUDSON RD	TRAFFIC
8/11/16	21:46:43	116029889	0095	TOMAHAWK LN	LANDLORD/TENNANT DISPUTE
8/12/16	11:10:13	116029955	0088	I94	DRIVING COMPLAINT
8/12/16	13:26:50	116029983	0088	I94	DRIVING COMPLAINT
8/12/16	18:50:23	116030031	0176	STRAWBERRY HILL	THEFT REPORT
8/12/16	22:18:20	116030044	0176	50TH ST	WELFARE CONCERN
8/13/16	5:39:50	116030061	0080	SAINT CROIX TR	SUSPICIOUS ACTIVITY
8/13/16	9:15:30	116030071	0160	AFTON BLVD CT	UNKNOWN SITUATION
8/13/16	10:26:26	116030077	0160	MANNING AV	LOST PROPERTY
8/13/16	10:47:16	116030081	0081	STAGECOACH TR	ALARM
8/14/16	15:21:42	116030243	0111	AFTON	PUBLIC ASSIST
8/14/16	16:52:10	116030252	1253	ST CROIX RIVER	WATERCRAFT VIOLATION WARNING
8/14/16	17:26:06	116030257	0111	22ND ST	FOUND WALLET/AOA *RSTK *
8/14/16	18:51:44	116030272	1253	ST CROIX RIVER	WATERCRAFT VIOLATION WARNING
8/14/16	21:19:04	116030283	0111	HUDSON RD	EXTRA PATROL INFORMATION
8/14/16	22:07:59	116030287	0076	TRADING POST TR	DOMESTIC
8/14/16	22:11:25	116030288	0084	TRADING POST TR	FIRE ALARM
8/15/16	13:35:07	116030354	0130	AFTON	CIVIL ISSUE CALL RP
8/15/16	15:07:51	116030366		50TH ST	RECEIPT# 160003926
8/15/16	15:09:00	116030367		50TH ST	RECEIPT# 160003927
8/16/16	12:40:38	116030526	0068	HUDSON RD	DRIVING COMPLAINT
8/16/16	12:42:14	116030527	0174	10TH ST	MEDICAL LEVEL 1
8/16/16	14:26:05	116030538	0100	32ND ST	OFFICERS INFO
8/16/16	18:30:16	116030563	0130	AFTON BLVD	POWER LINE DOWN
8/16/16	20:06:37	116030573	0130	ODELL AV	VACATION REQUEST
8/16/16	20:40:35	116030577	0093	OSGOOD AV	TREE DOWN
8/17/16	8:03:25	116030613	0130	AFTON HILLS DR	INFORMATION **RSTK PARTY IS
8/17/16	17:58:09	116030705	0095	44TH ST	911 OPEN LINE
8/17/16	19:50:49	116030715	0174	NEAL AV	OPF QUESTIONS
8/17/16	21:19:11	116030719	0196	HUDSON RD	TRAFFIC-CIT-EXP REG MAR/16
8/18/16	14:37:55	116030804	0160	STAGECOACH TR	WELFARE CHECK
8/18/16	14:58:17	116030806		OAKGREEN CIR EA	RECEIPT# 160003983
8/19/16	9:27:29	116030881	0160	15TH ST	INFORMAITON/IRS SCAM
8/19/16	15:53:44	116030976	0170	ST CROIX TR	TRAFFIC SPEED 73/55
8/19/16	17:36:31	116030995	0176	AFTON BLVD	MISSING DOG
8/19/16	21:35:48	116031022	1270	SAINT CROIX TR	WARRANT ARREST
8/20/16	9:07:18	116031064	0094	32ND ST	THEFT OF DOG

PRT CONTRACT ICR REPORT

TALEE Page 3
9/01/16 7:21:06

Sheriff_Contract IRCs.txt
 Contract Report for AFTON
 For the Period 8/01/16 To 8/31/16

Date	Time	ICR #	ID#	Street Name	Complaint
8/20/16	9:30:32	116031065	0075	AFTON RD	MOTOR VEHICLE ASSIST
8/20/16	10:37:21	116031076	0088	AFTON RD	THEFT OF MOTOR VEHICLE
8/20/16	13:17:43	116031089	0088	32ND ST	HARASSMENT REPORT
8/20/16	21:03:35	116031140	0091	I94	MOTORIST ASSIST
8/20/16	23:01:22	116031153	0066	NYBECK AV	SHOTS HEARD
8/21/16	1:25:37	116031165	0080	40TH ST	WELFARE CONCERN
8/21/16	3:28:07	116031173	1205	I94	INTOX DRIVER
8/21/16	5:55:05	116031174	0067	I94	TRAFFIC HAZARD
8/21/16	5:55:05	116619462	0080	I94	TRAFFIC HAZARD/AOA
8/21/16	8:07:54	116031179	0094	I94	CAR VS DEER
8/21/16	14:01:11	116031207	0094	50TH ST	911 OPEN LINE
8/21/16	17:35:20	116031221	0084	INDIAN TR	THEFT **10MIN DELAY**
8/21/16	17:36:55	116031224	0093	EAST OAKGREEN C	LOST DOG
8/21/16	18:26:07	116031229	0124	MANNING AV	SPEED 69/55
8/22/16	11:26:39	116031306	0077	NEAL AV	ALARM
8/22/16	22:26:34	116031406	0076	HUDSON RD	ALARM
8/23/16	8:58:17	116031436	0130	53RD ST	SUSP VEH
8/23/16	14:39:58	116031499	0174	3RD ST	RUNAWAY JUVENILE
8/23/16	15:48:45	116031505	0174	AFTON BLVD	BUSINESS ASSIST
8/24/16	11:01:01	116031595	0133	15TH ST	LEC-WALK IN REPORT
8/24/16	12:34:38	116031613	0063	15TH ST	RETURN CALL
8/24/16	18:15:26	116031684	0077	INDIAN TR	THEFT REPORT *RSTKD 21
8/24/16	19:15:07	116031691	0082	57TH ST	SOLICITING COMPLAINT
8/24/16	20:17:42	116031694	0082	HUDSON RD	DRIVING COMPLAINT
8/24/16	20:31:50	116031695	0079	SAINT CROIX TR	ASSAULT JUST OCC
8/25/16	0:12:57	116031711	1280	MANNING AV	TRAFFIC - EXP REG (JUN/16)
8/25/16	11:16:15	116031769	0130	NEAL AV	ORDINANCE QUESITON *RESTACK
8/25/16	12:12:26	116031786	0077	AFTON	SIGN CONCERN
8/25/16	13:44:28	116031799		59TH ST	RECEIPT# 160004105
8/25/16	21:32:32	116031867	0196	SAINT CROIX TR	K9 DEMO
8/26/16	6:47:35	116031896	0092	SAINT CROIX TR	SUSPICIOUS INCIDENT **RSTK: EX
8/26/16	10:32:07	116031931	0186	SAINT CROIX TR	SEARCH WARRANT
8/26/16	15:46:44	116031992	0091	OSGOOD AV CT	DAMAGE REPORT
8/26/16	17:32:12	116031998	0091	HUDSON RD	BUSINESS ASSIST
8/28/16	19:01:57	116032206	0093	OSGOOD AV CT	LOST DOG *RSTK/INFO ONLY -
8/29/16	6:03:07	116032235	1205	STAGECOACH TR	DIRECTED PATROL
8/29/16	19:03:47	116032372	0093	DIVISION ST	FAMILY ASSIST
8/29/16	19:54:38	116032378		NEAL AV	WARRANT / WCSO / CR155494
8/30/16	6:48:18	116032413	1208	SAINT CROIX TR	EXTRA PATROL
8/30/16	14:15:50	116032474	0075	AFTON HILLS DR	IRS SCAM - PHONE CALL REQ **RS
8/30/16	17:59:09	116032499	1280	31ST ST	PHYSICAL DOMESTIC **RSTK CAL
8/30/16	17:59:09	116620367	0100	31ST ST	PHYSICAL DOMESTIC/AOA *RSTCK*
8/30/16	19:24:15	116032507	0176	50TH ST	SUSPICIOUS FINDINGS
8/30/16	19:37:39	116032510	0176	MANNING AV	CHECK WELFARE
8/30/16	22:51:29	116032526	1280	AFTON BLVD	PROPERTY RETRIEVAL ASSIST
8/31/16	7:36:17	116032546	0130	2ND ST	OFFICER INFO
8/31/16	11:15:44	116032572	0068	MAJESTIC PINES	PUBLIC ASSIST
8/31/16	12:38:17	116032592	0068	10TH ST	TRESPASSING COMPLAINT
8/31/16	14:16:08	116032605	0095	AFTON	PHONE CALL REQ
8/31/16	19:04:51	116032641	0174	40TH ST	ROAD HAZARD
8/31/16	22:18:07	116032666	0084	SAINT CROIX TR	INFORMATIONAL

Total ICRs Processed: 155
 PRT CONTRACT ICR REPORT

TALEE Page 4
 9/01/16 7:21:06

Sheriff_Contract IRCs.txt
Contract Report for AFTON
For the Period 8/01/16 To 8/31/16

** END OF REPORT **

City of Afton
3033 St. Croix Trl, P.O. Box 219
Afton, MN 55001

Meeting Date Sept. 20, 2016

Council Action Memo

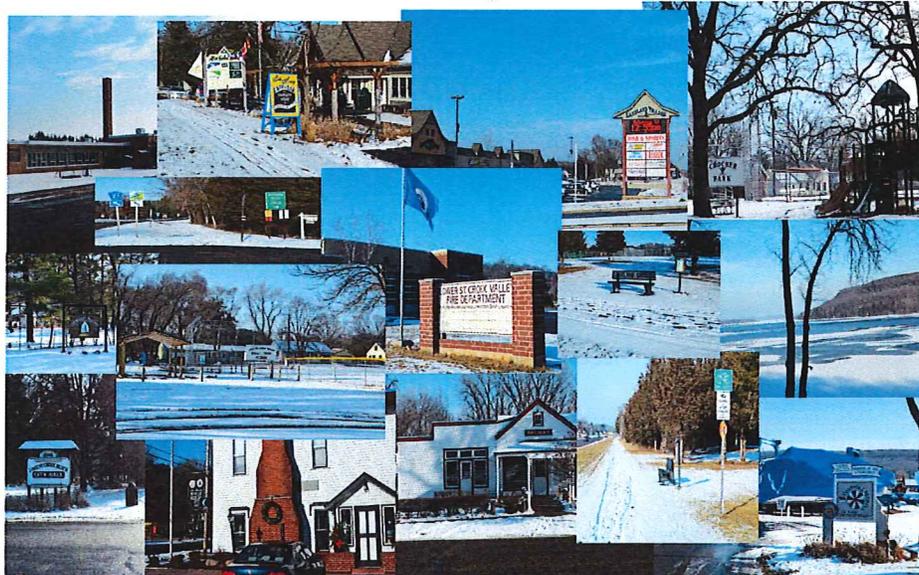
To: Mayor Bend and Members of the City Council
From: Ron Moose, City Administrator
Date: September 14, 2016
Re: Bob Craggs, of the Lower St. Croix Valley Community Foundation Presentation Regarding Funding for Improvements to the Pedestrian Trail and Pedestrian Bridge along CR-18

Bob Craggs, of the Lower St. Croix Valley Community Foundation (LSCVCF), will present information regarding the efforts of the LSCVCF in relation to improvements to the pedestrian trail along CR-18, through the cities of Lakeland, Lakeland Shores, Lake St. Croix Beach, St. Mary's Point and Afton, including improvements to the pedestrian bridge in Afton. Attached is the PowerPoint Presentation Mr. Cragg will use in his presentation. The presentation includes a request for funding from Afton.

COUNCIL ACTION REQUESTED:

Motion regarding the funding request related to the pedestrian trail and pedestrian bridge on Afton right-of-way.

The Lower St. Croix Valley Community Foundation



Engaging communities to build the future

The Lower St. Croix Valley Community Foundation Board

Maggie Arzdorf-Schubbe
Robert Craggs
Deb Erickson
Jeff Heegaard
Louis Jambois
Rachel Kaul
Jon Picard
Karen Riley
Lyle Sorenson

Engaging communities to build the future

What We Do

Why we do it?

We believe engaging Valley citizens will improve the vitality of our communities and the health of our Valley's natural resources/amenities for today, tomorrow and forever.

How we do it?

- Increase connections among citizens
- Increase understanding of and access to our community assets/amenities
- Improve quality of and the stewardship of our natural resources

Engaging communities to build the future

Lower St. Croix Trail Initiative

- Multi-purpose trail -- Lakeland, Lakeland Shores, Lake St. Croix Beach, St. Mary's Point and Afton.
- Aligns with the Foundation's mission
- Trail conditions reflect need to rebuild



Engaging communities to build the future

Status of Lower St. Croix Trail Initiative

- Commissioned study to assess Trail conditions.
- Researched funding options to rebuild the Trail.
- Gathered support from the Valley communities.
- Advocated for support from and collaboration with County.
- County agreed to fund the rebuilding of Trail through its CIP in summer of 2017 (excluding the Trail and bridge in Afton right-of-way).
- Formed an Advisory Committee to develop Trail vision and identify priorities.

Engaging communities to build the future

Project Funding and Action Items

- **Total Budget - \$120,000**
 - *Includes \$15,000 for resurfacing trail (Afton right-of-way)*
 - *Includes \$40,000 for bridge railings and retaining wall repair*
 - *Includes \$65,000 for amenities, soft costs, and contingency*
- Presently raised \$40,000 through private sources
- Remaining \$80,000 from a mix of sources (see plan)

- **Requested Actions**
 - Develop a Cost Sharing Agreement with Foundation and County to initiate work in City of Afton right-of-way
 - Provide a \$5,000 grant to Foundation to be used exclusively for Trail Initiative

Engaging communities to build the future

Lower St. Croix Valley Trail
Proposed Budget and Revenue Sources
 Draft: September 2016

Revenue Sources	Budget	Secured	
Government grants	\$ 15,000		\$5,000 Afton and \$2,500
Foundations	15,000		St. Croix Valley; Others
Corporations/businesses	10,000	-	Segway; Fat Tire Trike;
Individual contributions	75,000	40,000	\$20,000 plus matching
Fundraising events and products	5,000		
In-kind support (must match in-kind expense)			
Other (specify)	-	-	
Total Revenue	\$ 120,000	\$ 40,000	

Expenses:	Budget	Actual	Priority	
Bridge Upgrades	\$55,000		High	Includes bike trail resu
Benches 5@ \$2,000/each	10,000		- Medium	uniform design one for
Shelter 1@ \$15,000/each	15,000		- Medium	Likely located near ten
Dog waste stations 3@\$300/each	1,000		Low	Afton and LSB already
Signage-beginning and end @\$15,000 allowance	15,000		- High	Trail head and end of t
Bike Repair station	To be determined		Future	Short trail results in lov
Fundraising expenses	2,000		- High	Community Event
In-kind expenses(must match in-kind income)	To be determined		- TBD	
Soft costs - general design and legal	10,000		- High	Design exclusive of bri
Lighting	To be determined Alternative funding source		- Future	Future Phase - limit ligl
Vets park matching contribution			Future	Convening role and fac
Contingency	12,000		High	
Total Expenses	\$ 120,000	\$ -		
Total Revenue Less Expenses	\$ -	\$ 40,000		

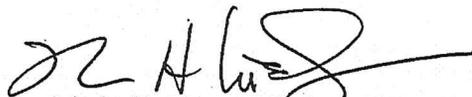
Income Projections

Confirmed are income sources that have already been secured.
Anticipated are income sources that you have a reasonably good expectation of receiving.
Submitted are income sources for which a proposal has already been submitted.
Prospects are income sources that you intend to solicit, but to which you have not yet submitted a request for funding.

List Each Source Individually Below	Confirmed	Submitted	Prospect
	-	-	-
	-	-	-
	-	-	-
Total Income:	0	0	0

City of Afton
Claims to be Approved
August 17, 2016 thru September 20, 2016

<u>Checks Numbered</u>			
<u>From</u>	<u>To</u>	<u>Description</u>	<u>To Be Approved</u>
20984		Check(s) from Administrator stock: Newsletter Postage	\$182.84
21313	21316	8/31/16 Staff Payroll & Benefits	\$1,531.08
21317	21334	Routine Vendor Bills	\$3,596.58
21335		US Bank: 10/1/16 Temporary Imp Bond Payment (all interest)	\$14,081.25
21336	21341	9/15/16 Staff & Council Payroll	\$2,123.19
21342	21355	Routine Vendor Bills	\$998.76
21356	21370	Significant Vendor & Other Bills	\$61,624.75
21371	21382	Three Applicant Refunds + More Routine Vendor Bills	\$2,760.14
21383	21389	More Significant Vendor & Other Bills	\$31,985.50
201609001	201609005	EFT: 8/31/16 Payroll: Employee(s) & Contract Videographer	\$4,809.96
201609006	201609008	EFT: MN Withholding, Federal Withholding/Payroll Taxes & PERA	\$6,182.34
201609009	201609013	EFT: 9/15/16 Staff Payroll + September Council Pay	\$5,348.97
201609014	201609015	EFT: PERA	\$1,172.15
Claims to be approved at 9/20/16 meeting			<u>\$136,397.51</u>



Submitted by Thomas H. Niedzwiecki, Accountants
 File: Afton 2016 Claim Summary.xlsm Worksheet: Aug16 9/13/2016

09/13/16

City of Afton
Claims to be Approved
 August 17 through September 20, 2016

Type	Date	Num	Name	Memo	Account	Original Amount
Bill Pmt -C...	09/07/2016	20984	Postmaster		100 · 4M Fund/US Bank - General F...	(182.84)
Bill	08/31/2016	Sep2016Nw...	100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5560 Newsletter	Newsletter	5560 · Newsletter Expenses	182.84
TOTAL						182.84
Paycheck	08/31/2016	21313	Johnson, Kenneth L		100 · 4M Fund/US Bank - General F...	(477.61)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Ma...		5020 · Maintenance Person	616.05
			550 Special Activities Fund:N. Elections:6347 Election Expense		6347 · Elections Expense	41.63
					2302 · PERA Payable - Staff	(42.75)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Ma...		5053 · PERA Contribution - Employer	46.21
			550 Special Activities Fund:N. Elections:6347 Election Expense		5053 · PERA Contribution - Employer	3.12
					2302 · PERA Payable - Staff	(49.33)
					2210 · Federal Withholding	(59.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Ma...		5051 · Social Security Tax - Employer	38.20
			550 Special Activities Fund:N. Elections:6347 Election Expense		5051 · Social Security Tax - Employer	2.58
					2205 · Soc Sec Payable - Employer	(40.78)
					2204 · Social Security W/H - Employee	(40.78)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Ma...		5052 · Medicare Tax - Employer	8.94
			550 Special Activities Fund:N. Elections:6347 Election Expense		5052 · Medicare Tax - Employer	0.60
					2213 · Medicare Payable - Employer	(9.54)
					2212 · Medicare W/H - Employee	(9.54)
					2208 · MN State Withholding	(28.00)
TOTAL						477.61
Paycheck	08/31/2016	21314	Meade, Debra J		100 · 4M Fund/US Bank - General F...	(667.57)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5007 Intern/Of...		5007 · Intern/Office Assistant Wages	856.80
					2302 · PERA Payable - Staff	(55.69)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5007 Intern/Of...		5053 · PERA Contribution - Employer	64.26
					2302 · PERA Payable - Staff	(64.26)
					2210 · Federal Withholding	(44.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5007 Intern/Of...		5051 · Social Security Tax - Employer	53.12
					2205 · Soc Sec Payable - Employer	(53.12)
					2204 · Social Security W/H - Employee	(53.12)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5007 Intern/Of...		5052 · Medicare Tax - Employer	12.42
					2213 · Medicare Payable - Employer	(12.42)
					2212 · Medicare W/H - Employee	(12.42)
					2208 · MN State Withholding	(24.00)
TOTAL						667.57
Paycheck	08/31/2016	21315	Neitzel, Donald R		100 · 4M Fund/US Bank - General F...	(220.39)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Ma...		5020 · Maintenance Person	238.65
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Ma...		5051 · Social Security Tax - Employer	14.80
					2205 · Soc Sec Payable - Employer	(14.80)
					2204 · Social Security W/H - Employee	(14.80)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Ma...		5052 · Medicare Tax - Employer	3.46
					2213 · Medicare Payable - Employer	(3.46)

09/13/16

City of Afton
Claims to be Approved
 August 17 through September 20, 2016

Type	Date	Num	Name	Memo	Account	Original Amount
					2212 · Medicare W/H - Employee	(3.46)
TOTAL						220.39
Liability C...	08/31/2016	21316	Madison National Life	103815000000000	100 · 4M Fund/US Bank - General F...	(165.51)
				103815000000000	2325 · Madison Life ST & LT Disability	108.81
				103815000000000	2325 · Madison Life ST & LT Disability	56.70
TOTAL						165.51
Bill Pmt -C...	08/31/2016	21317	Centerpoint Energy (8000015314-0)	Acct No. 8000015314-0	100 · 4M Fund/US Bank - General F...	(140.05)
Bill	08/31/2016	Aug2016	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6010 Gas Heat	6010 5280051 3175 St. Croix Trl S Meter #M19810528546	6010 · Gas Heat	19.85
			100 Gen'l Fd:B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:5855 Ga...	5855 5297140 3033 St. Croix Trl S Meter #M19981171295	5855 · Gas Lamps - Operating Costs	19.85
			100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6010 Gas Heat	6010 5279993 3033 St. Croix Trl S Meter #M19981172549	6010 · Gas Heat	19.85
			100 Gen'l Fd:B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:5855 Ga...	5855 5297143 3033 St. Croix Trl S Meter #M19981171296	5855 · Gas Lamps - Operating Costs	80.50
TOTAL						140.05
Bill Pmt -C...	08/31/2016	21318	City of Maplewood	Acct No. 1834	100 · 4M Fund/US Bank - General F...	(1,153.40)
Bill	08/31/2016	008662	100 Gen'l Fd:B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:5860 Sig...	street ID signage	5860 · Signs & Signals	1,153.40
TOTAL						1,153.40
Bill Pmt -C...	08/31/2016	21319	City of Saint Paul	Customer No. 2092	100 · 4M Fund/US Bank - General F...	(221.08)
Bill	08/31/2016	00017212	100 Gen'l Fd:B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:5835 Su...	asphalt mix	5835 · Surf Maint/Bit Patch/Sweeping	221.08
TOTAL						221.08
Bill Pmt -C...	08/31/2016	21320	Comcast (8772 10 572 0001508)	Account # 8772 10 572 0001508	100 · 4M Fund/US Bank - General F...	(199.55)
Bill	08/31/2016	Aug2016	100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5510 Computer Serv/Sof...	Comcast Business Internet	5510 · Computer Service/Software	34.90
			100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5565 Telephone	Comcast Business Voice	5565 · Telephone	164.65
TOTAL						199.55
Bill Pmt -C...	08/31/2016	21321	Hudson Bagel & Coffee Co.		100 · 4M Fund/US Bank - General F...	(136.80)
Bill	08/31/2016	Aug16 Afto...	550 Special Activities Fund:N. Elections:6347 Election Expense	20 box lunches: 2016 Primary Election	6347 · Elections Expense	136.80
TOTAL						136.80
Bill Pmt -C...	08/31/2016	21322	Innovative Office Solutions LLC	customer # V105001	100 · 4M Fund/US Bank - General F...	(135.68)
Bill	08/31/2016	1282329	100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5540 Office Supplies	tissue, cups, sharpener, labels	5540 · Office Supplies	135.68
TOTAL						135.68

City of Afton
Claims to be Approved
 August 17 through September 20, 2016

Type	Date	Num	Name	Memo	Account	Original Amount
Bill Pmt -C...	08/31/2016	21323	Laurie Arco (Vendor)		100 - 4M Fund/US Bank - General F...	(40.00)
Bill	08/31/2016	PRIMELEC...	550 Special Activities Fund:N. Elections:6347 Election Expense	cinnamon rolls 2016 Primary Election	6347 - Elections Expense	40.00
TOTAL						40.00
Bill Pmt -C...	08/31/2016	21324	Menards - Hudson	Account No. 30890280	100 - 4M Fund/US Bank - General F...	(30.90)
Bill	08/31/2016	24803	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6030 Misc Expense	NP wasp spray, Buggslyer hose end	6030 - Misc Exp - Bldg & Land	30.90
TOTAL						30.90
Bill Pmt -C...	08/31/2016	21325	Metro Sales Inc.		100 - 4M Fund/US Bank - General F...	(290.55)
Bill	08/31/2016	592771	100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5516 Copier Lease	Ricoh/MPC4503 Color Copier Serial No. E175MC60291, toners	5516 - Copier Lease	43.50
Bill	08/31/2016	595914	100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5510 Computer Serv/Sof...	Ricoh/MPC4503 Color Copier Serial No. E175MC60291	5510 - Computer Service/Software	247.05
TOTAL						290.55
Bill Pmt -C...	08/31/2016	21326	Xcel Energy (51-5247622-9)	Acct No. 51-5247622-9 Meters 92023602 & 98359441	100 - 4M Fund/US Bank - General F...	(38.57)
Bill	08/31/2016	511489388	400 201 Project Fund:B. Exp:5915 201 Project Maintenance	201 Project: 3741 & 4105 River Rd	5915 - 201 Project Maintenance	38.57
TOTAL						38.57
Bill Pmt -C...	08/31/2016	21327	Xcel Energy (51-5371356-9)	15891 34th St. S: Automatic Protective Lighting Service	100 - 4M Fund/US Bank - General F...	(14.83)
Bill	08/31/2016	512047256	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6020 Electricity - Xcel Energy	15891 34th St. S: Automatic Protective Lighting Service	6020 - Electricity	14.83
TOTAL						14.83
Bill Pmt -C...	08/31/2016	21328	Xcel Energy (51-6852605-2)	Acct #51-6852605-2 Install No. 184509 & 184508	100 - 4M Fund/US Bank - General F...	(40.93)
Bill	08/31/2016	512254912	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6020 Electricity - Xcel Energy	Automatic Protective Light Service Install No. 184509 & 184508	6020 - Electricity	40.93
TOTAL						40.93
Bill Pmt -C...	08/31/2016	21329	ZoneOne Locating		100 - 4M Fund/US Bank - General F...	(219.05)
Bill	08/31/2016	23365	100 Gen'l Fd:B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:5870 Ot...	Locate Labor and travel	5870 - Other Road Maintenance	219.05
TOTAL						219.05
Bill Pmt -C...	08/31/2016	21330	All Seasons Rental		100 - 4M Fund/US Bank - General F...	(6.85)
Bill	08/31/2016	52337	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6040 Repairs & Maintenance	throttle trigger	6040 - City Property Maintenance	6.85
TOTAL						6.85

09/13/16

City of Afton
Claims to be Approved
 August 17 through September 20, 2016

Type	Date	Num	Name	Memo	Account	Original Amount
Bill Pmt -C...	08/31/2016	21331	Centerpoint Energy (6217601-1)	Meter # M19702480474 Account No. 6217601-1	100 · 4M Fund/US Bank - General F...	(30.35)
Bill	08/31/2016	Aug2016	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6045 City Garage Expense	1675 Stagecoach Trl S: City Garage	6045 · City Garage Expense	30.35
TOTAL						30.35
Bill Pmt -C...	08/31/2016	21332	Kathi Pelnar	Humane Animal Control Service	100 · 4M Fund/US Bank - General F...	(425.58)
Bill	08/31/2016	August2016	100 Gen'l Fd:B. Exp:B02 Public Safety & Health:B2.1 Public Safety:560...	animal control	5605 · Animal Control	425.58
TOTAL						425.58
Bill Pmt -C...	08/31/2016	21333	St. Croix Recreation Fun Playgrounds		100 · 4M Fund/US Bank - General F...	(239.00)
Bill	08/31/2016	19037	100 Gen'l Fd:B. Exp:B05 Parks & Recreation:6135 Park Maintenance	Dome top lid color red	6135 · Park Maintenance	239.00
TOTAL						239.00
Bill Pmt -C...	08/31/2016	21334	Wash Cty (Sheriff Squad Cars/Traffic)		100 · 4M Fund/US Bank - General F...	(233.41)
Bill	08/31/2016	94176	100 Gen'l Fd:B. Exp:B02 Public Safety & Health:B2.1 Public Safety:563...	traffic detail 8/6/16	5635 · Police Services	233.41
TOTAL						233.41
Bill Pmt -C...	09/20/2016	21335	US Bank (Temp Imp Bond)	Acct No. 0023703NS Cusip 008347BL9	100 · 4M Fund/US Bank - General F...	(14,081.25)
Bill	09/20/2016	TmpBdPymt...		10/1/16 Temp Imp Bond Pymt: All Interest	2037 · Acc Int 2015A DwtwTemp Im...	14,081.25
TOTAL						14,081.25
Paycheck	09/15/2016	21336	Johnson, Kenneth L		100 · 4M Fund/US Bank - General F...	(527.94)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Ma...		5020 · Maintenance Person	732.60
					2302 · PERA Payable - Staff	(47.62)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Ma...		5053 · PERA Contribution - Employer	54.95
					2302 · PERA Payable - Staff	(54.95)
					2210 · Federal Withholding	(69.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Ma...		5051 · Social Security Tax - Employer	45.42
					2205 · Soc Sec Payable - Employer	(45.42)
					2204 · Social Security W/H - Employee	(45.42)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Ma...		5052 · Medicare Tax - Employer	10.62
					2213 · Medicare Payable - Employer	(10.62)
					2212 · Medicare W/H - Employee	(10.62)
					2208 · MN State Withholding	(32.00)
TOTAL						527.94
Paycheck	09/15/2016	21337	Meade, Debra J		100 · 4M Fund/US Bank - General F...	(719.92)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5007 Intern/Of...		5007 · Intern/Office Assistant Wages	931.77
					2302 · PERA Payable - Staff	(60.57)

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Type	Date	Num	Name	Memo	Account	Original Amount
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5007 Intern/Of...		5053 · PERA Contribution - Employer	69.88
					2302 · PERA Payable - Staff	(69.88)
					2210 · Federal Withholding	(52.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5007 Intern/Of...		5051 · Social Security Tax - Employer	57.77
					2205 · Soc Sec Payable - Employer	(57.77)
					2204 · Social Security W/H - Employee	(57.77)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5007 Intern/Of...		5052 · Medicare Tax - Employer	13.51
					2213 · Medicare Payable - Employer	(13.51)
					2212 · Medicare W/H - Employee	(13.51)
					2208 · MN State Withholding	(28.00)
TOTAL						719.92
Paycheck	09/15/2016	21338	Neitzel, Donald R		100 · 4M Fund/US Bank - General F...	(314.03)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Ma...		5020 · Maintenance Person	355.20
					2210 · Federal Withholding	(9.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Ma...		5051 · Social Security Tax - Employer	22.02
					2205 · Soc Sec Payable - Employer	(22.02)
					2204 · Social Security W/H - Employee	(22.02)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Ma...		5052 · Medicare Tax - Employer	5.15
					2213 · Medicare Payable - Employer	(5.15)
					2212 · Medicare W/H - Employee	(5.15)
					2208 · MN State Withholding	(5.00)
TOTAL						314.03
Paycheck	09/15/2016	21339	Nelson, Randall P		100 · 4M Fund/US Bank - General F...	(187.10)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor &...		5002 · Mayor & Council Wages	200.00
					2303 · PERA Payable - Council	(10.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor &...		5053 · PERA Contribution - Employer	10.00
					2303 · PERA Payable - Council	(10.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor &...		5052 · Medicare Tax - Employer	2.90
					2213 · Medicare Payable - Employer	(2.90)
					2212 · Medicare W/H - Employee	(2.90)
TOTAL						187.10
Paycheck	09/15/2016	21340	Palmquist, William B		100 · 4M Fund/US Bank - General F...	(187.10)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor &...		5002 · Mayor & Council Wages	200.00
					2303 · PERA Payable - Council	(10.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor &...		5053 · PERA Contribution - Employer	10.00
					2303 · PERA Payable - Council	(10.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor &...		5052 · Medicare Tax - Employer	2.90
					2213 · Medicare Payable - Employer	(2.90)
					2212 · Medicare W/H - Employee	(2.90)
TOTAL						187.10
Paycheck	09/15/2016	21341	Richter, Joseph J		100 · 4M Fund/US Bank - General F...	(187.10)

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Type	Date	Num	Name	Memo	Account	Original Amount
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor &...		5002 · Mayor & Council Wages	200.00
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor &...		2303 · PERA Payable - Council	(10.00)
					5053 · PERA Contribution - Employer	10.00
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor &...		2303 · PERA Payable - Council	(10.00)
					5052 · Medicare Tax - Employer	2.90
					2213 · Medicare Payable - Employer	(2.90)
					2212 · Medicare W/H - Employee	(2.90)
TOTAL						187.10
Bill Pmt -C...	09/15/2016	21342	All Seasons Rental	00-006920	100 · 4M Fund/US Bank - General F...	(18.99)
Bill	08/31/2016	52084	100 Gen'l Fd:B. Exp:B03 Strts, Rehab & Pub Wks:B3.3 Oth Pub Wrks:5...	chain saw chain 3/8 pitch	5920 · Repair & Maint Equipment	18.99
TOTAL						18.99
Bill Pmt -C...	09/15/2016	21343	Croix Crystal Water Treatment	cooler lease and water	100 · 4M Fund/US Bank - General F...	(33.25)
Bill	08/31/2016	50250	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6030 Misc Expense	rent on hot & cold cooler, bottled water	6030 · Misc Exp - Bldg & Land	33.25
TOTAL						33.25
Bill Pmt -C...	09/15/2016	21344	Great Rivers Printing		100 · 4M Fund/US Bank - General F...	(108.00)
Bill	08/31/2016	49279	100 Gen'l Fd:B. Exp:B05 Parks & Recreation:6140 Misc Expense	12 x 24 magnet signs for staff cars	6140 · Misc Exp - Parks	108.00
TOTAL						108.00
Bill Pmt -C...	09/15/2016	21345	Hillcrest Animal Hospital	Account # 10454	100 · 4M Fund/US Bank - General F...	(157.00)
Bill	08/31/2016	Aug2016	100 Gen'l Fd:B. Exp:B02 Public Safety & Health:B2.1 Public Safety:560...	animal control charges	5605 · Animal Control	157.00
TOTAL						157.00
Bill Pmt -C...	09/15/2016	21346	Memorial Lutheran Church (Vendor)		100 · 4M Fund/US Bank - General F...	(200.00)
Bill	08/31/2016	Aug2016	100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5545 Other Administration	rent of Fellowship Hall for public meeting to be held Aug 25 2016	5545 · Other Admin Expense	200.00
TOTAL						200.00
Bill Pmt -C...	09/15/2016	21347	Menards - Hudson	Account No. 30890280	100 · 4M Fund/US Bank - General F...	(6.81)
Bill	08/31/2016	25407	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6030 Misc Expense	3M original, citrusmagic 8oz, pine-sol	6030 · Misc Exp - Bldg & Land	6.81
TOTAL						6.81
Bill Pmt -C...	09/15/2016	21348	Minnesota Mayors Association		100 · 4M Fund/US Bank - General F...	(30.00)
Bill	08/31/2016	Aug2016	100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5580 Membership & Dues	Fiscal year beginning Sept 1 2016	5580 · Membership & Dues	30.00

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Type	Date	Num	Name	Memo	Account	Original Amount
TOTAL						30.00
Bill Pmt -C...	09/15/2016	21349	US Bank Equipment Finance	Acct# 1473396 Contract # 500-0466085-000	100 - 4M Fund/US Bank - General F...	(230.00)
Bill	08/31/2016	312209869	100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5516 Copier Lease	Ricoh C4503 copier lease S/N E175MC60291	5516 - Copier Lease	230.00
TOTAL						230.00
Bill Pmt -C...	09/15/2016	21350	Xcel Energy (51-0895345-1)	Acct: 51-0895345-1 Meter# 000071246886	100 - 4M Fund/US Bank - General F...	(21.21)
Bill	08/31/2016	514473710	800 City InfraStructure Imp Fd:B. Exp:8891 Dwtown Prop Purch/Exp	Eastwood - Septic Property 2318 St Croix Trl S Meter# 96987678	8891 - DNR Flood Imp - Prop Purch/E...	21.21
TOTAL						21.21
Bill Pmt -C...	09/15/2016	21351	Xcel Energy (51-4272629-8)	3175 St. Croix Trail S Meter #0098360010	100 - 4M Fund/US Bank - General F...	(13.64)
Bill	08/31/2016	515036422	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6020 Electricity - Xcel Energy	3175 St. Croix Trail S Meter #0098360010	6020 - Electricity	13.64
TOTAL						13.64
Bill Pmt -C...	09/15/2016	21352	Xcel Energy (51-5641441-6)	Acct #51-5641441-6 Meter #90708534	100 - 4M Fund/US Bank - General F...	(13.75)
Bill	08/31/2016	515065422	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6020 Electricity - Xcel Energy	3415 St. Croix Trail S Meter #90708534	6020 - Electricity	13.75
TOTAL						13.75
Bill Pmt -C...	09/15/2016	21353	Xcel Energy (51-5700429-6)	Acct #51-5700429-6 Meter #0077765464	100 - 4M Fund/US Bank - General F...	(115.05)
Bill	08/31/2016	515084016	100 Gen'l Fd:B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:5850 Str...	3033 St. Croix Trail S Meter #0077765464	5850 - Street Lighting	115.05
TOTAL						115.05
Bill Pmt -C...	09/15/2016	21354	Xcel Energy (51-6257802-9)	3420 St. Croix Trl S Meter #0096987678	100 - 4M Fund/US Bank - General F...	(28.46)
Bill	08/31/2016	515073383	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6020 Electricity - Xcel Energy	Town Square Park 3420 St. Croix Trl S Meter #0096987678	6020 - Electricity	28.46
TOTAL						28.46
Bill Pmt -C...	09/15/2016	21355	Xcel Energy (51-7576371-4)	Acct#51-7576371-4 Meter #19818068	100 - 4M Fund/US Bank - General F...	(22.60)
Bill	08/31/2016	514586239	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6045 City Garage Expense	City Garage 1675 Stagecoach Trl S: Acct#51-7576371-4 Meter #...	6045 - City Garage Expense	22.60
TOTAL						22.60
Bill Pmt -C...	09/20/2016	21356	Environmental Law Group		100 - 4M Fund/US Bank - General F...	(1,456.00)
Bill	08/31/2016	15851	800 City InfraStructure Imp Fd:B. Exp:8894 Septic Permits, Fees, Admin	Environmental review and permitting issues	8894 - Septic Permits, Fees, Admin	1,456.00
TOTAL						1,456.00

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Type	Date	Num	Name	Memo	Account	Original Amount
Bill Pmt -C...	09/20/2016	21357	Holstad & Knaak, PLC	Legal Services	100 · 4M Fund/US Bank - General F...	(4,000.00)
Bill	08/31/2016	Aug2016	100 Gen'l Fd:B. Exp:B01 G & A:B1.2 Prof Serv:5321 General - Legal F... 100 Gen'l Fd:B. Exp:B01 G & A:B1.2 Prof Serv:5320 Prosecution - Leg... 800 City InfraStructure Imp Fd:B. Exp:8894 Septic Permits, Fees, Admin	Civil / General Prosecution Condemnation	5321 · Legal Fees - General 5320 · Legal Fees - Prosecution 8894 · Septic Permits, Fees, Admin	1,700.00 2,126.00 174.00
TOTAL						4,000.00
Bill Pmt -C...	09/20/2016	21358	LMC (Dues)		100 · 4M Fund/US Bank - General F...	(3,177.00)
Bill	08/31/2016	239101	100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5580 Membership & Dues	Annual membership dues, City of Afton, 2016-2017	5580 · Membership & Dues	3,177.00
TOTAL						3,177.00
Bill Pmt -C...	09/20/2016	21359	Niedzwiecki, Thomas H.	Accounting Services	100 · 4M Fund/US Bank - General F...	(1,271.00)
Bill	08/31/2016	AcctAug2016	100 Gen'l Fd:B. Exp:B01 G & A:B1.2 Prof Serv:5304 Accounting Fees 100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5540 Office Supplies 100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5540 Office Supplies 100 Gen'l Fd:B. Exp:B01 G & A:B1.2 Prof Serv:5304 Accounting Fees	Monthly charge for Accounting Services per Contract Monthly charge for QB Pro software including Payroll Service & ... Mailing envelopes, copies of invoices, misc postage Attendance at CC Meeting	5304 · Accounting Fees 5540 · Office Supplies 5540 · Office Supplies 5304 · Accounting Fees	1,107.00 26.00 38.00 100.00
TOTAL						1,271.00
Bill Pmt -C...	09/20/2016	21360	Northwest Assoc (City Projects)	Technical Assistance - City Projects	100 · 4M Fund/US Bank - General F...	(200.00)
Bill	08/31/2016	22487	100 Gen'l Fd:B. Exp:B01 G & A:B1.2 Prof Serv:5330 Planning Fees	PC meeting 8/1/16 Nelson Estates Z16-26	5330 · Planning Fees	200.00
TOTAL						200.00
Bill Pmt -C...	09/20/2016	21361	Northwest Assoc (City Projects)	Technical Assistance - City Projects	100 · 4M Fund/US Bank - General F...	(230.00)
Bill	08/31/2016	22485	100 Gen'l Fd:B. Exp:B01 G & A:B1.2 Prof Serv:5330 Planning Fees	General - planner	5330 · Planning Fees	230.00
TOTAL						230.00
Bill Pmt -C...	09/20/2016	21362	Northwest Assoc (Private Projects)	Technical Assistance - Private Projects	100 · 4M Fund/US Bank - General F...	(70.00)
Bill	08/31/2016	22486	100 Gen'l Fd:B. Exp:B01 G & A:B1.2 Prof Serv:5330 Planning Fees	Nelson Estates Z16-26	5330 · Planning Fees	70.00
TOTAL						70.00
Bill Pmt -C...	09/20/2016	21363	Stensland Inspection Services	Building Inspection Services	100 · 4M Fund/US Bank - General F...	(5,955.00)
Bill	08/31/2016	Aug2016	100 Gen'l Fd:B. Exp:B01 G & A:B1.2 Prof Serv:5350 Bldg Insp Fees - S...	Building Permits, B16-89 - B16-114, Z16-29	5350 · Building Insp Fees - Stensland	5,955.00
TOTAL						5,955.00
Bill Pmt -C...	09/20/2016	21364	Tri-County Services (Streets, Other)		100 · 4M Fund/US Bank - General F...	(4,555.00)
Bill	08/31/2016	26	100 Gen'l Fd:B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:5820 Gr...	road grade 60th trading post	5820 · Gravel Road Maintenance	510.00

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Type	Date	Num	Name	Memo	Account	Original Amount
Bill	08/31/2016	28	100 Gen'l Fd:B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:5845 Br...	trees down on Osgood and Afton Hills	5845 · Brush/Tree/Sod/Seed	510.00
Bill	08/31/2016	25	100 Gen'l Fd:B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:5845 Br...	tree trim Quadrant	5845 · Brush/Tree/Sod/Seed	2,030.00
Bill	08/31/2016	27	100 Gen'l Fd:B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:5845 Br...	tree trim River Road	5845 · Brush/Tree/Sod/Seed	1,420.00
Bill	08/31/2016	29	100 Gen'l Fd:B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:5820 Gr...	stockpile gravel at 201 site for use on city roads	5820 · Gravel Road Maintenance	85.00
TOTAL						4,555.00
Bill Pmt -C...	09/20/2016	21365	WSB (City Engineer)		100 · 4M Fund/US Bank - General F...	(6,795.50)
Bill	08/31/2016	510-3	100 Gen'l Fd:B. Exp:B01 G & A:B1.2 Prof Serv:5310 Engineering Fees	2016 Utility Permits	5310 · Engineering Fees	104.00
Bill	08/31/2016	500-6	100 Gen'l Fd:B. Exp:B01 G & A:B1.2 Prof Serv:5310 Engineering Fees	2016 City Engineer Services, June 2016	5310 · Engineering Fees	6,691.50
TOTAL						6,795.50
Bill Pmt -C...	09/20/2016	21366	WSB (DNR Flood Imp)	Project No. 01856	100 · 4M Fund/US Bank - General F...	(6,239.00)
Bill	08/31/2016	320-54	800 City InfraStructure Imp Fd:B. Exp:8895 DNR Flood Imp Proj - Engi...	Flood protection improvement project, June 2016	8895 · DNR Flood Imp Proj - Engineer	6,239.00
TOTAL						6,239.00
Bill Pmt -C...	09/20/2016	21367	WSB (Flood ROW Mitigation)	project #01856	100 · 4M Fund/US Bank - General F...	(1,509.00)
Bill	08/31/2016	321-34	800 City InfraStructure Imp Fd:B. Exp:8898 Flood Mitigation/ROW Serv	flood mitigation project right of way services, June 2016	8898 · Flood Mitigation/ROW Serv	1,509.00
TOTAL						1,509.00
Bill Pmt -C...	09/20/2016	21368	WSB (Sanitary Sewer Imp)	Project 01856-410	100 · 4M Fund/US Bank - General F...	(16,028.25)
Bill	08/31/2016	410-31	800 City InfraStructure Imp Fd:B. Exp:8896 Sanitary Sewer Imp	Sanitary Sewer Improvements, June 2016	8896 · Sanitary Sewer Improvements	16,028.25
TOTAL						16,028.25
Bill Pmt -C...	09/20/2016	21369	WSB (Street Imp)	Project # 01856	100 · 4M Fund/US Bank - General F...	(305.00)
Bill	08/31/2016	390-31	120 Street Imp Capital Fd:B. Exp:7982 CR21 Imp Proj	CR 21 Improvement Project	7982 · CR 21 Improvement Project	305.00
TOTAL						305.00
Bill Pmt -C...	09/20/2016	21370	WSB (Village Local Road Imp)	Project 01856-400	100 · 4M Fund/US Bank - General F...	(9,834.00)
Bill	08/31/2016	400-32	120 Street Imp Capital Fd:B. Exp:7981 Village Local Rd Imp	Village Local Road Improvements, June 2016	7981 · Village Local Road Improveme...	9,834.00
TOTAL						9,834.00
Check	08/31/2016	21371	DeMaster, Robert Z16-18 15252 Afton Hills	Refund Z16-18 Variance Escrow	100 · 4M Fund/US Bank - General F...	(250.00)
			DeMaster, Robert Z16-18 15252 Afton Hills	Refund Z16-18 Variance Escrow	2001 · Permit Escrow & Fees	250.00
TOTAL						250.00

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Type	Date	Num	Name	Memo	Account	Original Amount
Check	08/31/2016	21372	DeMaster, Robert & Jill Z16-23 15252	Refund IUP Z16-23 Escrow & Fee	100 · 4M Fund/US Bank - General F...	(850.00)
			DeMaster, Robert & Jill Z16-23 15252	Refund IUP Z16-23 Escrow & Fee	2001 · Permit Escrow & Fees	850.00
TOTAL						850.00
Bill Pmt -C...	09/15/2016	21373	CenturyTel, Inc		100 · 4M Fund/US Bank - General F...	(500.00)
Bill	08/31/2016	Refund RO...	100 Gen'l Fd:A. Rev:A05 Lic, Fees & Permits:4435 Street Opening & U...	Refund two permit fees not needed	4435 · Street Openng & Utility Permits	500.00
TOTAL						500.00
Bill Pmt -C...	09/15/2016	21374	Centerpoint Energy (8000015314-0)	Acct No. 8000015314-0	100 · 4M Fund/US Bank - General F...	(146.71)
Bill	08/31/2016	Aug/2016	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6010 Gas Heat	6010 5280051 3175 St. Croix Trl S Meter #M19810528546	6010 · Gas Heat	19.85
			100 Gen'l Fd:B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:5855 Ga...	5855 5297140 3033 St. Croix Trl S Meter #M19981171295	5855 · Gas Lamps - Operating Costs	27.19
			100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6010 Gas Heat	6010 5279993 3033 St. Croix Trl S Meter #M19981172549	6010 · Gas Heat	19.85
			100 Gen'l Fd:B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:5855 Ga...	5855 5297143 3033 St. Croix Trl S Meter #M19981171296	5855 · Gas Lamps - Operating Costs	79.82
TOTAL						146.71
Bill Pmt -C...	09/15/2016	21375	Comcast (8772 10 572 0001508)	Account # 8772 10 572 0001508	100 · 4M Fund/US Bank - General F...	(199.55)
Bill	08/31/2016	Aug/2016	100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5510 Computer Serv/Sof...	Comcast Business Internet	5510 · Computer Service/Software	34.90
			100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5565 Telephone	Comcast Business Voice	5565 · Telephone	164.65
TOTAL						199.55
Bill Pmt -C...	09/15/2016	21376	Current Restaurant		100 · 4M Fund/US Bank - General F...	(25.00)
Bill	08/31/2016	Aug2016	100 Gen'l Fd:B. Exp:B02 Public Safety & Health:B2.2 Public Health:570...	"Get Caught" recycling program	5705 · Recycling - Afton	25.00
TOTAL						25.00
Bill Pmt -C...	09/15/2016	21377	Menards - Hudson	Account No. 30890280	100 · 4M Fund/US Bank - General F...	(85.86)
Bill	08/31/2016	27074	100 Gen'l Fd:B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:5835 Su...	pothole patch	5835 · Surf Maint/Bit Patch/Sweeping	15.90
			100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6030 Misc Expense	M8 filter, bowl brush,AA 30pk	6030 · Misc Exp - Bldg & Land	37.80
			100 Gen'l Fd:B. Exp:B05 Parks & Recreation:6135 Park Maintenance	Suavitel frag pearls	6135 · Park Maintenance	6.97
			100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6035 Routine Cleaning	rags in a box	6035 · Routine Cleaning	10.48
			100 Gen'l Fd:B. Exp:B05 Parks & Recreation:6135 Park Maintenance	iron hold bags	6135 · Park Maintenance	11.74
			100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6035 Routine Cleaning	23oz Windex	6035 · Routine Cleaning	2.97
TOTAL						85.86
Bill Pmt -C...	09/15/2016	21378	PressEnter	Acct # 33299 Customer # 33881	100 · 4M Fund/US Bank - General F...	(297.50)
Bill	08/31/2016	Aug2016	100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5510 Computer Serv/Sof...	Contracted service Oct 1 to Nov 1 '16	5510 · Computer Service/Software	270.00
			100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5510 Computer Serv/Sof...	Proofpoint essentials Oct 1 to Nov 1 '16	5510 · Computer Service/Software	27.50
TOTAL						297.50

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Type	Date	Num	Name	Memo	Account	Original Amount
Bill Pmt -C...	09/15/2016	21379	Selma's Ice Cream Parlour		100 - 4M Fund/US Bank - General F...	(50.00)
Bill	08/31/2016	Aug2016	100 Gen'l Fd:B. Exp:B02 Public Safety & Health:B2.2 Public Health:570...	Recycling certificate award	5705 - Recycling - Afton	50.00
TOTAL						50.00
Bill Pmt -C...	09/15/2016	21380	St. Croix River Association		100 - 4M Fund/US Bank - General F...	(100.00)
Bill	08/31/2016	#1 AND FI...	100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5585 Seminars & Educat...	Sep 14 2016 St Croix Workshop on the Water NEMO program f...	5585 - Seminars & Education	100.00
TOTAL						100.00
Bill Pmt -C...	09/15/2016	21381	Xcel Energy (51-5247622-9)	Acct No. 51-5247622-9 Meters 92023602 & 98359441	100 - 4M Fund/US Bank - General F...	(47.25)
Bill	08/31/2016	515433829	400 201 Project Fund:B. Exp:5915 201 Project Maintenance	201 Project: 3741 & 4105 River Rd	5915 - 201 Project Maintenance	47.25
TOTAL						47.25
Bill Pmt -C...	09/15/2016	21382	Xcel Energy (51-6223921-2)	Acct No. 51-6223921-2 Street Lighting	100 - 4M Fund/US Bank - General F...	(208.27)
Bill	08/31/2016	515547597	100 Gen'l Fd:B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:5850 Str...	Street Lighting Service	5850 - Street Lighting	208.27
TOTAL						208.27
Bill Pmt -C...	09/20/2016	21383	WSB (City Engineer)	01856	100 - 4M Fund/US Bank - General F...	(2,868.50)
Bill	08/31/2016	500-7	100 Gen'l Fd:B. Exp:B01 G & A:B1.2 Prof Serv:5310 Engineering Fees	2016 City Engineer Services, July 2016	5310 - Engineering Fees	2,868.50
TOTAL						2,868.50
Bill Pmt -C...	09/20/2016	21384	WSB (DNR Flood Imp)	Project No. 01856	100 - 4M Fund/US Bank - General F...	(4,567.25)
Bill	08/31/2016	320-55	800 City InfraStructure Imp Fd:B. Exp:8895 DNR Flood Imp Proj - Engi...	Flood protection improvement project, July 2016	8895 - DNR Flood Imp Proj - Engineer	4,567.25
TOTAL						4,567.25
Bill Pmt -C...	09/20/2016	21385	WSB (Flood ROW Mitigation)	project #01856	100 - 4M Fund/US Bank - General F...	(1,837.50)
Bill	08/31/2016	321-35	800 City InfraStructure Imp Fd:B. Exp:8898 Flood Mitigation/ROW Serv	flood mitigation project right of way services, July 2016	8898 - Flood Mitigation/ROW Serv	1,837.50
TOTAL						1,837.50
Bill Pmt -C...	09/20/2016	21386	WSB (Sanitary Sewer Imp)	Project 01856-410	100 - 4M Fund/US Bank - General F...	(14,664.75)
Bill	08/31/2016	410-32	800 City InfraStructure Imp Fd:B. Exp:8896 Sanitary Sewer Imp	Sanitary Sewer Improvements, July 2016	8896 - Sanitary Sewer Improvements	14,664.75
TOTAL						14,664.75
Bill Pmt -C...	09/20/2016	21387	WSB (Street Imp)	Project # 01856	100 - 4M Fund/US Bank - General F...	(294.00)

City of Afton
Claims to be Approved
August 17 through September 20, 2016

09/13/16

Type	Date	Num	Name	Memo	Account	Original Amount
Bill	08/31/2016	390-32	120 Street Imp Capital Fd:B. Exp:7982 CR21 Imp Proj	CR 21 Improvement Project, July 2016	7982 · CR 21 Improvement Project	294.00
TOTAL						294.00
Bill Pmt -C...	09/20/2016	21388	WSB (Utility Permits)	01856	100 · 4M Fund/US Bank - General F...	(575.50)
Bill	08/31/2016	510-4	100 Gen'l Fd:B. Exp:B01 G & A:B1.2 Prof Serv:5310 Engineering Fees	2016 Utility Permits, July 2016	5310 · Engineering Fees	575.50
TOTAL						575.50
Bill Pmt -C...	09/20/2016	21389	WSB (Village Local Road Imp)	Project 01856-400	100 · 4M Fund/US Bank - General F...	(7,178.00)
Bill	08/31/2016	400-33	120 Street Imp Capital Fd:B. Exp:7981 Village Local Rd Imp	Village Local Road Improvements, July 2016	7981 · Village Local Road Improveme...	7,178.00
TOTAL						7,178.00
Paycheck	08/31/2016	201609001	Swanson Linner, Kimberly J	Direct Deposit	100 · 4M Fund/US Bank - General F...	0.00
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5006 Deputy ...	Direct Deposit	5008 · Office Manager Wages	1,397.00
			550 Special Activities Fund:N. Elections:6347 Election Expense	Direct Deposit	6347 · Elections Expense	431.80
				Direct Deposit	2302 · PERA Payable - Staff	(118.87)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5006 Deputy ...	Direct Deposit	5053 · PERA Contribution - Employer	104.78
			550 Special Activities Fund:N. Elections:6347 Election Expense	Direct Deposit	5053 · PERA Contribution - Employer	32.38
				Direct Deposit	2302 · PERA Payable - Staff	(137.16)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5006 Deputy ...	Direct Deposit	5018 · Insurance Benefits	21.66
			550 Special Activities Fund:N. Elections:6347 Election Expense	Direct Deposit	5018 · Insurance Benefits	6.69
				Direct Deposit	2325 · Madison Life ST & LT Disability	(28.35)
				Direct Deposit	1190 · Other Receivables	40.62
				Direct Deposit	2210 · Federal Withholding	(114.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5006 Deputy ...	Direct Deposit	5051 · Social Security Tax - Employer	86.62
			550 Special Activities Fund:N. Elections:6347 Election Expense	Direct Deposit	5051 · Social Security Tax - Employer	26.77
				Direct Deposit	2205 · Soc Sec Payable - Einployer	(113.39)
				Direct Deposit	2204 · Social Security W/H - Employee	(113.39)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5006 Deputy ...	Direct Deposit	5052 · Medicare Tax - Employer	20.26
			550 Special Activities Fund:N. Elections:6347 Election Expense	Direct Deposit	5052 · Medicare Tax - Employer	6.26
				Direct Deposit	2213 · Medicare Payable - Employer	(26.52)
				Direct Deposit	2212 · Medicare W/H - Employee	(26.52)
				Direct Deposit	2208 · MN State Withholding	(54.00)
				Direct Deposit	2110 · Direct Deposit Liabilities	(1,442.64)
TOTAL						0.00
Paycheck	08/31/2016	201609002	Moorse, Ronald J	Direct Deposit	100 · 4M Fund/US Bank - General F...	0.00
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Administr...	Direct Deposit	5004 · Administrator Salary	3,839.58
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Administr...	Direct Deposit	5053 · PERA Contribution - Employer	287.97
				Direct Deposit	2302 · PERA Payable - Staff	(287.97)
				Direct Deposit	2302 · PERA Payable - Staff	(249.57)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Administr...	Direct Deposit	5037 · Flexible Benefits	1,100.00
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Administr...	Direct Deposit	5018 · Insurance Benefits	28.35
				Direct Deposit	2325 · Madison Life ST & LT Disability	(28.35)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Administr...	Direct Deposit	2325 · Madison Life ST & LT Disability	(108.81)

City of Afton
Claims to be Approved
August 17 through September 20, 2016

09/13/16

Type	Date	Num	Name	Memo	Account	Original Amount
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Administr...	Direct Deposit	2210 · Federal Withholding	(731.00)
				Direct Deposit	5051 · Social Security Tax - Employer	306.25
				Direct Deposit	2205 · Soc Sec Payable - Employer	(306.25)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Administr...	Direct Deposit	2204 · Social Security W/H - Employee	(306.25)
				Direct Deposit	5052 · Medicare Tax - Employer	71.63
				Direct Deposit	2213 · Medicare Payable - Employer	(71.63)
				Direct Deposit	2212 · Medicare W/H - Employee	(71.63)
				Direct Deposit	2208 · MN State Withholding	(279.00)
				Direct Deposit	2110 · Direct Deposit Liabilities	(3,193.32)
TOTAL						0.00
Bill Pmt -C...	08/31/2016	201609003	Spencer D Klover (DD)	Videographer \$25.00/hour	100 · 4M Fund/US Bank - General F...	(168.75)
Bill	08/31/2016	VideoAug20...	100 Gen'l Fd:B. Exp:B01 G & A:B1.2 Prof Serv:5120 Contract - Video ...	6.75 hours @\$25, PC mtg, CC mtg	5120 · Contract - Video Meetings	168.75
TOTAL						168.75
Liability C...	08/30/2016	201609004	QuickBooks Payroll Service	Created by Payroll Service on 08/28/2016	100 · 4M Fund/US Bank - General F...	(4,639.46)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5505 Bank/IRS Fees/Sal...	Fee for 2 direct deposit(s) at \$1.75 each	5505 · Bank/IRS/Sales Tax	3.50
			QuickBooks Payroll Service	Created by Payroll Service on 08/28/2016	2110 · Direct Deposit Liabilities	4,635.96
TOTAL						4,639.46
Check	08/30/2016	201609005	QuickBooks Payroll Service	Created by Direct Deposit Service on 08/28/2016	100 · 4M Fund/US Bank - General F...	(1.75)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5505 Bank/IRS Fees/Sal...	Fee for 1 direct deposit(s) at \$1.75 each	5505 · Bank/IRS/Sales Tax	1.75
TOTAL						1.75
Liability C...	08/31/2016	201609006	PERA (Staff)	3030-01 210990	100 · 4M Fund/US Bank - General F...	(1,005.60)
				3030-01 210990	2302 · PERA Payable - Staff	466.88
				3030-01 210990	2302 · PERA Payable - Staff	538.72
TOTAL						1,005.60
Liability C...	08/31/2016	201609007	IRS (US Treasury)	41-1290668	100 · 4M Fund/US Bank - General F...	(4,426.74)
				41-1290668	2210 · Federal Withholding	1,846.00
				41-1290668	2213 · Medicare Payable - Employer	257.51
				41-1290668	2212 · Medicare W/H - Employee	257.51
				41-1290668	2205 · Soc Sec Payable - Employer	1,032.86
				41-1290668	2204 · Social Security W/H - Employee	1,032.86
TOTAL						4,426.74
Liability C...	08/31/2016	201609008	MN Dept of Revenue	5050730	100 · 4M Fund/US Bank - General F...	(750.00)
				5050730	2208 · MN State Withholding	750.00

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City of Afton
Claims to be Approved
 August 17 through September 20, 2016

Type	Date	Num	Name	Memo	Account	Original Amount
TOTAL						750.00
Paycheck	09/15/2016	201609009	Swanson Linner, Kimberly J	Direct Deposit	100 - 4M Fund/US Bank - General F...	0.00
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5006 Deputy ...	Direct Deposit	5008 · Office Manager Wages	1,695.45
				Direct Deposit	5705 · Recycling - Afton	387.35
				Direct Deposit	2302 · PERA Payable - Staff	(135.38)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5006 Deputy ...	Direct Deposit	5053 · PERA Contribution - Employer	127.16
				Direct Deposit	5053 · PERA Contribution - Employer	29.05
				Direct Deposit	2302 · PERA Payable - Staff	(156.21)
				Direct Deposit	2210 · Federal Withholding	(149.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5006 Deputy ...	Direct Deposit	5051 · Social Security Tax - Employer	105.11
				Direct Deposit	5051 · Social Security Tax - Employer	24.02
				Direct Deposit	2205 · Soc Sec Payable - Employer	(129.13)
				Direct Deposit	2204 · Social Security W/H - Employee	(129.13)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5006 Deputy ...	Direct Deposit	5052 · Medicare Tax - Employer	24.58
				Direct Deposit	5052 · Medicare Tax - Employer	5.62
				Direct Deposit	2213 · Medicare Payable - Employer	(30.20)
				Direct Deposit	2212 · Medicare W/H - Employee	(30.20)
				Direct Deposit	2208 · MN State Withholding	(67.00)
				Direct Deposit	2110 · Direct Deposit Liabilities	(1,572.09)
TOTAL						0.00
Paycheck	09/15/2016	201609010	Moorse, Ronald J	Direct Deposit	100 - 4M Fund/US Bank - General F...	0.00
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Administr...	Direct Deposit	5004 · Administrator Salary	3,839.58
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Administr...	Direct Deposit	5053 · PERA Contribution - Employer	287.97
				Direct Deposit	2302 · PERA Payable - Staff	(287.97)
				Direct Deposit	2302 · PERA Payable - Staff	(249.57)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Administr...	Direct Deposit	5037 · Flexible Benefits	1,100.00
				Direct Deposit	2210 · Federal Withholding	(731.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Administr...	Direct Deposit	5051 · Social Security Tax - Employer	306.26
				Direct Deposit	2205 · Soc Sec Payable - Employer	(306.26)
				Direct Deposit	2204 · Social Security W/H - Employee	(306.26)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Administr...	Direct Deposit	5052 · Medicare Tax - Employer	71.62
				Direct Deposit	2213 · Medicare Payable - Employer	(71.62)
				Direct Deposit	2212 · Medicare W/H - Employee	(71.62)
				Direct Deposit	2208 · MN State Withholding	(279.00)
				Direct Deposit	2110 · Direct Deposit Liabilities	(3,302.13)
TOTAL						0.00
Paycheck	09/15/2016	201609011	Bend, Richard H	Direct Deposit	100 - 4M Fund/US Bank - General F...	0.00
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor &...	Direct Deposit	5002 · Mayor & Council Wages	300.00
				Direct Deposit	2303 · PERA Payable - Council	(15.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor &...	Direct Deposit	5053 · PERA Contribution - Employer	15.00
				Direct Deposit	2303 · PERA Payable - Council	(15.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor &...	Direct Deposit	5052 · Medicare Tax - Employer	4.35
				Direct Deposit	2213 · Medicare Payable - Employer	(4.35)
				Direct Deposit	2212 · Medicare W/H - Employee	(4.35)

09/13/16

City of Afton
Claims to be Approved
 August 17 through September 20, 2016

Type	Date	Num	Name	Memo	Account	Original Amount
				Direct Deposit	2110 - Direct Deposit Liabilities	(280.65)
TOTAL						0.00
Paycheck	09/15/2016	201609012	Ross, Stanley A	Direct Deposit	100 - 4M Fund/US Bank - General F...	0.00
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor &...	Direct Deposit	5002 - Mayor & Council Wages	200.00
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor &...	Direct Deposit	2303 - PERA Payable - Council	(10.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor &...	Direct Deposit	5053 - PERA Contribution - Employer	10.00
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor &...	Direct Deposit	2303 - PERA Payable - Council	(10.00)
				Direct Deposit	5052 - Medicare Tax - Employer	2.90
				Direct Deposit	2213 - Medicare Payable - Employer	(2.90)
				Direct Deposit	2212 - Medicare W/H - Employee	(2.90)
				Direct Deposit	2110 - Direct Deposit Liabilities	(187.10)
TOTAL						0.00
Liability C...	09/14/2016	201609013	QuickBooks Payroll Service	Created by Payroll Service on 09/11/2016	100 - 4M Fund/US Bank - General F...	(5,348.97)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5505 Bank/IRS Fees/Sal...	Fee for 4 direct deposit(s) at \$1.75 each	5505 - Bank/IRS/Sales Tax	7.00
			QuickBooks Payroll Service	Created by Payroll Service on 09/11/2016	2110 - Direct Deposit Liabilities	5,341.97
TOTAL						5,348.97
Liability C...	09/20/2016	201609014	PERA (Council)	3030-51 207620	100 - 4M Fund/US Bank - General F...	(110.00)
				3030-51 207620	2303 - PERA Payable - Council	55.00
				3030-51 207620	2303 - PERA Payable - Council	55.00
TOTAL						110.00
Liability C...	09/20/2016	201609015	PERA (Staff)	3030-01 210990	100 - 4M Fund/US Bank - General F...	(1,062.15)
				3030-01 210990	2302 - PERA Payable - Staff	493.14
				3030-01 210990	2302 - PERA Payable - Staff	569.01
TOTAL						1,062.15

RESOLUTION 2016-41

CITY OF AFTON
WASHINGTON COUNTY, MINNESOTA

A RESOLUTION APPROVING 4M FUND TRANSFERS FOR AUGUST, 2016

BE IT RESOLVED THAT the City Council of the City of Afton, County of Washington, Minnesota, authorizes the transfer of the following sums of money between the City's 4M Fund Accounts, as detailed in Exhibit A – 4M Fund Transfers – Month of AUGUST 2016.

ADOPTED BY THE CITY COUNCIL OF THE CITY OF AFTON THIS 20TH DAY OF SEPTEMBER, 2016.

SIGNED:

Richard Bend, Mayor

ATTEST:

Ronald J. Moorse, City Administrator

Motion by:
Second by:
Palmquist:
Richter:
Ross:
Nelson:
Bend:

City of Afion
Exhibit A: 4M Fund Transfers

4M Fund Accounts		Month of:	Aug-16
#	From	To	Amount
		Comments	
1	City Infra-Structure Improvement Fund (35001-114)	General (35001-101)	\$46,496.96
		Aug16 DNR Flood Imp Project Expense	
2	Special Activities Fund (35001-106)	General (35001-101)	\$728.63
		Aug16 Spec Act Fd (Net Expense)	
3	Street Improvements Fund (35001-116)	General (35001-101)	\$17,611.00
		Aug16 Street Imp Fd Exp	
4	General (35001-101)	201 Project Fund (35001-103)	\$290.41
		Aug16 201 Project Revenue	
5	201 Project Fund (35001-103)	General (35001-101)	\$91.79
		Aug16 201 Project Expense	
6	General (35001-101)	Park Reserve Fund (35001-102)	\$16,360.00
		Park Dedication Fee	


 Recommended by Thomas H. Niedzwiecki, Accountant
 File: Afion 2016 Bank Transfers.xlsm Worksheet: Aug16 9/13/2016

EXHIBIT A - REVISED

CITY OF AFTON

2016-2017 ELECTION JUDGE LIST

9/20/2016: This revised Election Judge List reflects those who have sent in their application to be trained and certified to work the elections in 2016-2017. The city recruited additional prospects for election judges after the Primary Election, as those marked with an asterisk had indicated their interest, but have not submitted their application to the city. This makes 24 election judges available for the General Election on November 8, 2016, considering those that need to complete the training on October 26 will do so. We have one former judge on standby, in case of illness or emergency on Election Day.

	FIRST	LAST	Has indicated interest but has <u>not</u> returned their application *
1	Laurie	Arco	Co-Head Judge
2	Denise	Clymer	*
3	Colleen	Findlay	
4	Peter	Findlay	
5	Nancy	Gipple	
6	Donnelle	Grodahl	Co-Head Judge
7	Henry	Grothaus	
8	Kathy	Grothaus	
9	Noelle	Haland	
10	Merry	Heilmann	
11	Melanie	Henricksen	
12	Judy	Hoffmann	
13	Keith	Hoffmann	
14	Roxane	Jahn	
15	Lynne	Johnson	
16	Susan	Kasowan	
17	Karen	Kopitzke	
18	James	Langan	*
19	Virginia Becker	Langan	*
20	Cynthia	Peterson	
21	Bonnie	Reyers	
22	Barbara	Ronningen	
23	Ted	Schmitz	
24	Helen	Schneider	
25	Hubert	Schneider	
26	Susan	Seftick	
27	Kathleen	Swanlund	*
28	Patty	Whitman	*
29	Jodee	Wrolstad	*
30	Janice	Dickes	
SB	Lucille	Mealey	Former Judge – on Standby if needed

We have two shifts of judges: 6 am – 2 pm & 2 pm – 10 pm (or until ballot tallies reconcile).

Minimum number of judges needed each shift is: 12 judges; **estimated total = 24 judges.**

The city also supplies breakfast rolls, lunch, dinner and beverages for the judges.

City of Afton
3033 St. Croix Trl, P.O. Box 219
Afton, MN 55001

Meeting Date Sept. 20, 2016

Council Action Memo

To: Mayor Bend and Members of the City Council
From: Ron Moorse, City Administrator
Date: September 14, 2016
Re: Jon and Elizabeth Kroschel Request for Waiver of Noise Ordinance for Event at 15106 50th Street

Jon and Elizabeth Kroschel, who live at 15106 50th St. S., are requesting the City Council consider waiving noise ordinance enforcement on Friday, October 7, 2016 for an event they are hosting as a fundraiser for a local food shelf that will include a live band playing outdoors until 11:00 p.m. This is the same type of event they have held in previous years. The City has not received complaints regarding these events.

COUNCIL ACTION REQUESTED:

Motion regarding the request to waive noise ordinance enforcement for a special event at 15106 50th St. S on October 7, 2016 until 11:00 p.m.

CITY OF AFTON
DRAFT PLANNING COMMISSION MINUTES
September 12, 2016

1
2
3
4
5 1. **CALL TO ORDER** – Chair Barbara Ronningen called the meeting to order at 7:00 p.m.

6
7 2. **PLEDGE OF ALLEGIANCE** – was recited.

8
9 3. **ROLL CALL** – Present: Langan, Wroblewski, Kopitzke, Seeberger, Bowman, Patten, Nelson, Doherty and
10 Chair Ronningen. **Quorum present.**

11
12 **ALSO IN ATTENDANCE** – Council Liaison Stan Ross, City Administrator Ron Moore and City Clerk Kim
13 Swanson Linner.

14
15 4. **APPROVAL OF AGENDA** – It was decided that if the public hearings cause the meeting to go long, the
16 Commission may choose to continue Old Business to the next meeting.

17
18 **Motion/Second: Doherty/Patten. To approve the September 12, 2016 Planning Commission agenda as**
19 **presented. Motion carried 9-0-0.**

20
21 5. **APPROVAL OF MINUTES** –

22 A. August 1, 2016 Planning Commission Meeting Minutes – Corrected a minor typo on Line 44: change
23 ‘has’ to ‘have’.

24
25 **Motion/Second: Nelson/Langan. To approve the August 1, 2016 Planning Commission Meeting minutes as**
26 **amended. Motion carried 7-0-2 (Abstain: Doherty and Wroblewski).**

27
28 6. **REPORTS AND PRESENTATIONS** – none.

29
30 7. **PUBLIC HEARINGS** –

31 A. Solar Energy Ordinance Amendment, SEV MN1, LLC and Janice Schwitters & Steven Moll to allow a
32 solar farm as a conditional use or interim use in the Agricultural District to enable a solar farm at 12351 15th
33 Street – **Chair Ronningen opened the Public Hearing at 7:03 p.m.**

34 Administrator Moore explained that SEV MN1, LLC and Janice Switters and Steven Moll have made an
35 application to amend relevant sections of the Zoning Code to allow “solar farm” as a conditional use or interim
36 use in the Agricultural District, including a specific proposal to install a 5-megawatt array of photovoltaic panels
37 that would take up approximately 40 acres of the property at 12351 15th Street. He noted Afton’s current
38 definition of a solar farm in the City’s solar energy ordinance:

39 *“Solar Farm - A commercial facility that converts sunlight into electricity, whether by*
40 *photovoltaics (PV), concentrating solar thermal devices (CST), or other conversion technology,*
41 *for the primary purpose of wholesale sales of generated electricity. A solar farm is the principal*
42 *land use for the parcel on which it is located.”*

43 Moore explained that the Planning Commission and City Council in 2015 completed a lengthy process in
44 2015 to adopt the solar ordinance. The ordinance allows solar arrays of substantial size in the Agricultural and
45 Rural Residential Zones, to a maximum of 2,000 square feet when they are fully screened. The ordinance
46 prohibits solar farms from the Agricultural and Rural Residential zoning districts due to concerns regarding the
47 impact of large areas of solar arrays on the rural character of the City. The City allows solar farms in the Industrial
48 Districts.

49 Moore reviewed the accompanying proposal, should the ordinance amendment be adopted, for SEV MN1,
50 LLC to install a solar farm at 12351 15th Street for a 5-megawatt array of photovoltaic panels requiring
51 approximately 40 acres of photovoltaic panels; attached materials included a site plan showing the location of the
52 proposed photovoltaic array and existing and proposed vegetative screening, as well as photos showing the
53 appearance of typical solar panel arrays in a field. Moore noted the language in Afton’s Comprehensive Plan
54 about the preservation of agricultural land and uses:

55 *“The residents of the City of Afton value the agricultural economy and rural character that an*
56 *agricultural environment provides. This Plan intends to preserve agricultural land for permanent*

57 agricultural use, and does not accept the belief held by some that agricultural use is merely a
58 temporary use or that agricultural lands are merely a holding area for future residential or other
59 development. Moreover, the community values agricultural land as open space in an increasingly
60 urban environment, a sanctuary for a rural lifestyle that Afton residents have consistently desired to
61 maintain.”

62 Moose explained that by adopting the 2015 solar ordinance, the City considers installations of large expanses
63 of solar arrays in the agricultural zone would change the natural, open, rural countryside views that currently are
64 characteristic of the Agricultural zone and the rural area of the City. Residents have continued to regard this
65 character as what has drawn them to Afton.

66 The proposed ordinance amendment would allow solar farms to be installed on properties in the Agricultural
67 zone. The proposed ordinance amendment does not require setbacks beyond those currently required for all
68 structures. The proposed ordinance includes an exemption from maximum impervious surface requirements,
69 which substantially affects open space and also affects stormwater management.

70 Moose also noted that land use regulations are concerned with potential impacts upon neighboring land uses.
71 These issues were taken into account when considering the solar ordinance in 2015. He pointed out some of the
72 likely concerns this installation would impact: the ground-mounted solar panels are proposed to rotate for sun
73 angle and are proposed to be approximately 12 feet in height. These arrays would be visible to adjoining
74 properties. While the proposed ordinance requires the solar array to be screened from adjacent houses and public
75 roads, it does not require screening along the full perimeter of the property screening views from existing and
76 future agricultural or residential uses. As part of the relatively recent public meeting regarding Manning Avenue
77 development planning, those who lived and/or farmed in the Agricultural zone did not want to see the open, rural
78 views changed due to land use changes. There is also a potential concern that a solar farm installation would cause
79 visual glare reflecting from the solar panels, particularly in such a large array. Technology for anti-reflective
80 coating on the panels to minimize glare; this could be addressed as part of a Conditional Use Permit or Interim
81 Use Permit process.

82 A representative from Sunrise Energy Ventures gave a presentation on the merits of a solar installation of this
83 magnitude, stating that solar farms are currently allowed in the Industrial District, but land there is too expensive
84 for this use. He stated that this solar farm would maintain rural land use; is compatible with the rural landscape; is
85 beneficial, as there would be no need for public services; and, maintained it is neutral or positive for nearby
86 housing; that it would be an interim land use (for the next 25-30 years); would be environmentally beneficial as it
87 would allow groundwater to be filtered and purified.

88 The owner of SEV MN1, LLC stated that they were able to be “grandfathered in” on this installation of a 5-
89 megawatt solar installation, as they applied prior to September 2015. After that date the largest solar farm
90 installations allowed in Minnesota are 1-megawatt. He stated that residents could subscribe to the energy
91 produced with this solar farm and get a 10% reduction in their energy bills.

92
93 Public Comments

94 1) Bill Rahn, 12426 15th Street S, lives across the street, stated this development would essentially be a 40
95 acre industrial site; it will be visible from a lot of properties; they will lose a two-mile rolling-hill view; he felt the
96 panels would be a vast amount of impervious surface and would increase runoff; he was not aware the Moll
97 wetland needed restoring.

98 2) Kurt Rent, 12121 15th Street S, asked who was actually purchasing the land. Applicant replied, “a
99 corporation.” He had concerns about a corporation owning the land; what if they get bought out? The city doesn’t
100 know who the “corporation” is connected to or what they would do with the property next. He stated his property
101 would look right on to the solar farm; he disagreed with the statement that water quality would be improved.

102 3) Steven Moll, son of Reuben Moll, owner of proposal property, Stearns County, stated this is a renewal
103 resource and the land can be restored to farm land at any time in the future.

104 4) Roland Switters, husband of Jan Switters and son-in-law of Reuben Moll, Cottage Grove, stated that
105 Reuben farmed this land since 1945 and it was in the family before that. He contended that farms can have lots of
106 environmental impacts as well. He noted that Xcel Energy has a mandate to supply 20% renewable energy by
107 2020 and 30% by 2030. He said family members feel they have a right to sell the farm for this use. He contended

108 there is no standing water this year, even with the heavy rains, and he feels that the solar farm will produce less
109 runoff than a farm and will have purer, cleaner water.

110 5) Bill Strub, 12916 15th Street S, stated they moved from Woodbury to Afton because they didn't want
111 industrial near them; this use would be industrial.

112 6) Renee Kinney, 12041 15th Street S, wanted rural character maintained.

113 7) Bill Rahn, said the Moll property gets drainage from the hills surrounding the property. He calculated that
114 if he subscribed to the solar farm with 10% reduction in his bills, his bill would go down \$9.00 per month; he
115 believes the re-sale of his property in the future, if this solar farm is what the view is, would be significantly lower
116 than the reduction of the energy bills.

117 8) Wendy Bertelsen, 12631 15th Street S, moved to Afton to be in a rural community; this will cause barriers
118 to views, in winter the bare trees will not shield the glare from the panels; she sees 20 acres of this proposed solar
119 farm from her back yard; they should look for a site in the Industrial zoning district; she approves of solar and
120 wind energy, but not this size of installation in Afton's rural community.

121 9) Jan Switters, Reuben Moll's daughter, stated she inherited 20 acres of the family farm from her dad; she
122 felt her dad would be okay with this use on the farm.

123 10) Anne Headrick, 12210 22nd Street S, lives to the southwest of the property; they will look out onto the
124 proposed solar farm, and it will mar their view.

125 11) Wendy Bertelsen, 12631 15th Street S, is concerned about what the view will be; she feels Afton is about
126 the idea of rural and farms.

127 12) Bill Rahn, the traffic that comes off of Manning Avenue east onto 15th Street are all going to be seen!

128 13) Kurt Rent, residents on the west of the proposed solar farm are going to be impacted; he doesn't want his
129 son to grow up looking at this instead of cows!

130 14) Roland Switters, has driven through the neighborhood and noticed lots of trucks parked in yards; that is
131 not a pleasant view.

132
133 **Motion/Second: Doherty/Wroblewski. To close the Public Hearing at 7:37 p.m. Motion carried 9-0-0.**

134
135 Commission Discussion

136 Bowman asked the applicant why the state changed from 5-megawatt to 1-megawatt solar farms, if the site
137 has a wetland that needs "restoration," why there is a 6 foot cyclone fence topped with 3 strands of barbed wire?

138 The applicant responded that Xcel thought they'd have too much energy if the solar farms were unlimited; so
139 instead of allowing a few 5-megawatt installations, the state, after September 1, 2015 only allowed 1-megawatt
140 installations. SEV MN1 applied for and received a permit for a 5-megawatt installation. They feel there is a
141 wetland that needs "restoration" and if the National Electrical Code doesn't require the barbed wire, they will not
142 put it in.

143 Doherty reported that she owns a farm and she has been approached numerous times from solar companies to
144 install a solar farm on her land. All of the leases that she has seen lack a "decommissioning plan." She asked,
145 about this proposed installation's lease in regards to a decommissioning plan.

146 The applicant said the decommissioning plan can be written into the conditions of approval.

147 Patten commented that most of the comments have been concerning an actual installation of a solar farm.

148 Ronningen reminded that the application is for an ordinance amendment to the solar ordinance, which means
149 that if passed, these kinds of installations would be possible in all Agriculture zones in Afton.

150 Seeberger stated that the Planning Commission spent many months developing the solar ordinance and there
151 was ample time for comment by companies interested in these types of installations.

152
153 **Motion/Second: Seeberger/Wroblewski. To recommend DENIAL to the City Council for the SEV MN1,
154 LLC and Janice Schwitters and Steven Moll application to amend relevant sections of the Zoning Code to
155 allow "solar farm" as a conditional use or interim use in the Agricultural District, including a specific
156 proposal for the property at 12351 15th Street South, as the City's Solar Ordinance was discussed at length
157 and the City's decision was to allow "solar farms" in the Industrial zoning districts only.**

158 Commission Discussion on the Motion

159 Kopitzke commented that the city, through the process of developing and adopting the solar ordinance,
160 decided that the way solar energy would be approached in Afton was through residential applications; he didn't
161 hear any new information from this proposal for an amendment to allow anything different than the city's current
162 solar ordinance. He felt that if other proposals for solar farms were heard, the faces making the public comments
163 would change (neighbors of the property) but the comments would remain the same.

164 Patten stated that the Planning Commission had developed the solar ordinance and recommended it to City
165 Council, who adopted it. He stated that the City, its Planning Commission, City Council, and residents are pro-
166 solar energy; however, the city made their decision in 2015 to treat solar as residential.

167 Langan reiterated that the public hearing addressed the particular property's proposal; he reaffirmed that this
168 was a proposal for an amendment to the ordinance to allow solar farms in all Agricultural zoning districts, not a
169 particular application.

170
171 **Motion carried 9-0-0.**
172

173 **B. Comprehensive Plan Amendment, Will Carlson, Rezone four parcels from Agricultural to Rural**
174 **Residential, located north of 60th Street and west of Trading Post Trail with PID#s: 33.028.20.32.0001,**
175 **33.028.20.33.0004, 33.028.20.33.0005 and 32.028.20.41.0002, to enable a subdivision creating 18 lots on 113 acres**
176 **– Chair Ronningen opened the Public Hearing at 7:53 p.m.**

177 Administrator Moore reviewed the application by Will Carlson to subdivide into eighteen 5-acre lots the
178 eastern 103 acres of four parcels containing 200 acres of property north of 60th Street and west of Trading Post
179 Trail. The majority of the 200 acres of property is currently zoned Agricultural, but his desire is to rezone the
180 property to Rural Residential to enable the subdivision. Because the Comprehensive Plan shows the property as
181 Agricultural on the Future Land Use Map, a rezoning requires an amendment to the Comprehensive Plan. The
182 Public Hearing is for a Comprehensive Plan amendment to revise the Future Land Use Map to show the easterly
183 100 acres of property as Rural Residential vs. Agricultural.

184 Moore reviewed the Comprehensive Plan goals, policies and strategies related to the rezoning of property
185 from Agricultural to Rural Residential. They were:

186 Housing and Land Use Goals

- 187 1. Maintain the City's overall low density
- 188 2. Preserve the rural character of Afton
- 189 3. Encourage agricultural uses
- 190 4. Maintain natural open spaces

191 Housing and Land Use Policies

- 192 1. The overall development density of the City shall not exceed one unit per ten acres
- 193 7. Prohibit rezoning of a parcel from Agricultural to Rural residential unless, in addition to
194 meeting other criteria, the parcel is more than 50% contiguous to a rural residential zoning
195 district and such rezoning would not result in development which is inconsistent with the
196 generally rural character of the surrounding area.
- 197 8. Discourage residential development on lands suitable for agricultural use and adhere to
198 planning practices that will allow farms to operate without external pressures

199 Land Use Strategies

- 200 9. Encourage the use of conservation and open space design subdivisions where the
201 subdivision permanently preserves open space or agricultural land uses or creates transition
202 zones with adjoining zones or jurisdictions.

203 He explained that a determination needs to be made as to whether the proposed rezoning of the property is in
204 harmony with the goals, policies and strategies of the Comprehensive Plan related to the overall land use of the
205 City and the preservation of agricultural uses and the rural character of the City. In the Metropolitan Council's
206 2040 development plan, Afton is designated as "Diversified Rural." This designation supports Afton's goals of
207 preserving agricultural land and uses and preserving its rural character. The City's role in relation to the
208 Diversified Rural designation is as follows: Plan for growth not to exceed forecasts and in patterns that do not
209 exceed 4 units per 40 acres; Identify and protect locally important agricultural areas, in addition to prime

210 agricultural lands, to provide a range of economic opportunities; Support existing agricultural uses as primary
211 long-term land uses and consider allowing agricultural-supportive land uses in local comprehensive plans; Plan
212 development patterns that incorporate the protection of natural resources; and, Consider implementing
213 conservation subdivision ordinances, cluster development ordinances, or environmental protection provisions in
214 local land use ordinances. Moose explained the Planning Commission must consider both the specific parcel
215 proposed in the rezoning application and the broader implications for other Agricultural parcels adjacent to Rural
216 Residential property and the effects on Agricultural property and in general and how that affects the overall
217 density of Afton. Further, Moose explained, Land Use Strategy #9 in the Comprehensive Plan encourages the use
218 of conservation design and open space subdivisions where the subdivision permanently preserves open space or
219 agricultural uses. A subdivision similar to the one reflected in the attached concept plan could be accomplished
220 through a Preservation and Land Conservation Development that would preserve the western 100 acres of the
221 Carlson property and would not require a rezoning.

222
223 Public Input

224 1) James Rickard, 5650 Odell Avenue S, felt the ordinance amendment for rezoning was invalid and
225 incomplete, as there was no record of ownership from the Dan Reynolds parcel. With a development of over 80
226 acres, he felt an Environmental Assessment Worksheet should be required. The roads indicate extension and that
227 further development of the west 100 acres will be forthcoming. There is no setback shown to the parcel to the
228 south; he believes the development proposal could not go forward with no setback. [Rickard provided copies of
229 his research to the city.]

230 2) Patti Wallen, 14099 50th Street S, felt Afton does not need this density of housing; Odell, shown as one of
231 the access points, cannot handle that amount of increased traffic as it is already in disrepair; the heavy
232 construction traffic on Odell will cause irreparable damage to a road that is already compromised.

233 3) Kathy Graham, 5912 Trading Post Trail S, it would be a safety hazard to have a dense subdivision access
234 road so close to the sharp turn in Trading Post Trail S to 60th Street S.

235 4) Kevin Slaikeu, 14233 60th Street S, the access road to this development will cause accidents with being so
236 close to the Trading Post turn; he felt the west 100 acres will become developed at sometime in the future if this is
237 approved.

238 5) Christian Dawson, 5888 Trading Post Trail S, the concept plan says “extension” to the west 100 acres,
239 meaning they plan to develop that as well. He felt this area of Afton should remain permanently rural and the city
240 should deny land prospectors from developing subdivisions in Afton. He wants to raise his family in a rural
241 community; he felt Afton needs to keep preserving the rural landscape and not allow denser housing development.

242 6) Nancy Turner, 13926 60th Street S, referred to Afton’s Comprehensive Plan which states that agriculture
243 and open space is the “highest and best use of land” in Afton. They researched communities, read Comprehensive
244 Plans, looked at Afton’s Land Use Map and picked here to live because of the ideas on land use. They are against
245 the city allowing such a subdivision in this area of Afton on agricultural land.

246 7) Doug Forbes, 5460 Odell Avenue S, he was concerned about the requirement of “being 50% surrounded
247 by Rural Residential” zoning to be able to rezone Agriculture to Rural Residential in order to subdivide to the
248 density proposed. He developed the Odell Avenue area and it took two years ago of working with the city to get
249 approvals. He chose to be in Afton and so subdivided the lots into 7 acre parcels, not the minimum lot size that he
250 could, because he wanted Afton’s rural character to be preserved. He felt this proposed subdivision was not what
251 the Schusters’ plan for their land would have been. He is against this rezoning and the subdivision density.

252 8) Sandra Carlson, wife of Will Carlson (the applicant), 2534 Stagecoach Trail S, they are residents of Afton
253 and not outside land prospectors. She stated they just want to give others the opportunity to live in Afton.

254 9) Ryan Bluhm, Westwood Consultants (the applicants planning representative), wished to respond to some
255 of the statements: he reported that the Carlsons have closed on both parcels that are still shown on Washington
256 County records under different ownership. The west 100 acres is currently being leased and farmed by another; he
257 claimed the farming runoff exceeds what will runoff from the impervious surface for the development [although
258 no statistics or calculation were provided]. The access off of 60th Street is conceptual and can be moved to the
259 west. The extension that is shown to the west acreage is required, as a development cannot leave a land-locked
260 parcel. This proposed subdivision will develop into residential, if the rezoning is successful or whether it will be a
261 Preservation and Land Conservation Development (PLCD).

262 10) Randy Graham, 5912 Trading Post Trail S, the development road shown accesses onto 60th Street S,
263 which is a gravel road. He knew of no plan by Afton or Denmark Township to have future plans to pave.

264 11) Mary McConnell, 5680 Odell Avenue S, believed the city should discourage changing farmland to
265 housing. She felt Carlsons need to show a burden of proof that this subdivision works and will have no adverse
266 impacts. Trout Brook runs through this land and it is a DNR protected waterway. If approved, the construction
267 will cause sediment to run into Trout Brook. The road access onto 60th Street S has safety issues. If this rezoning
268 is allowed, she felt nothing stands in the way of developing all the other areas in Afton. It was reported that last
269 year a 16 foot wide field road adjacent to their property was clear cut of trees and made into a 24 foot wide road,
270 which cut trees on their property without their permission. [McConnell provided the city with copies of her full
271 statement

272 12) Teresa Dawson, 5888 Trading Post Trail S,

273 13) 13560 60th Street S, stated he used to live on Tower Drive in Woodbury when that was basically rural; he
274 moved to Cottage Grove on 70th Street. He doesn't believe 60th Street S is capable of supporting this density. This
275 area is the most beautiful view of farm land in Afton. He felt with the rezoning of Agricultural to Rural
276 Residential zoning the rural feel and character of Afton is being eradicated. He hopes Afton will not allow it.

277 14) Franz Hall, 57?? Trading Post Trail S, felt that a rezoning to Rural Residential will impact the area
278 watershed; runoff from all of the land on the east portion, shown to be the high density residential, will go into
279 Trout Brook. The impervious surface created by this many homes will affect the quality of water; it's a bad idea.

280 15) James Rickard, stated he offered Carlson property for an easement, but it was not accepted.

281 16) Susan Winsor, 15269 42nd Street S, commented that every time a portion of Afton is developed, we lose
282 the character. She stated that uses like housing developments cause algae growth; the Planning Commission and
283 City Council are here to protect Afton's natural resources and environment.

284 17) Chair Ronningen read into the record comments she had received via email.

285 a. Ray Lehman, 5118 Trading Post Trail, felt the city should not change the Comprehensive Plan
286 anytime someone wants development.

287 b. Peg Nolz, former City Council member, stated some of the PID numbers were incorrect on the
288 application; she asked what is Will Carlson's standing in Afton [to be able to ask for a Comp Plan
289 change]. The Comp Plan shows soils in this area are unsuitable for septic systems; this portion of
290 Afton is identified in the Comp Plan as "prime agricultural land" and is important to Afton's
291 designation as Diversified Rural; she believed the parcels in question land squarely in the Shoreland
292 Management area and would need to comply with all that entails. She added that in her 20 years'
293 experience in working with the City [on the Planning Commission and the City Council], there was
294 never a rezoning of property from Ag to RR, as it would compromise the build out (thereby
295 jeopardizing Afton's classification with the Met Council and inviting the MUSA in) or, if approved
296 and the city holds tough to buildout, it would deprive owners of tracts of Rural Residential land that
297 has a right to be sub-dividable. RR land costs more to acquire and pays higher taxes.

298
299 **Motion/Second: Patten/Kopitzke. To close the Public Hearing at 8:35 p.m. Motion carried 9-0-0.**

300
301 Commission Discussion

302 Kopitzke stated he didn't see what needs changing in the Comprehensive Plan, as a rezoning ordinance
303 amendment doesn't require a Comprehensive Plan change.

304 Moore explained that the Land Use Map shows these parcels as being in the Agricultural zoning district and
305 the applicant wants to develop it as Rural Residential density. Since a rezoning ordinance amendment would,
306 require a Comp Plan change, the application could have come forward contingent on a Comp Plan change. It was
307 felt that putting the Comp Plan change would cut the timelines shorter.

308 Seeberger commented that the Planning Commission members were tasked with reviewing Afton's
309 Comprehensive Plan sections. Her section was the Housing and Land Use section, so she felt she was steeped in
310 this subject. She stated that the Comp Plan echoes what the public commented. She felt this particular pocket of
311 land in Afton is the most gorgeous land and making this rezoning change would not be in compliance with the
312 Comprehensive Plan.

314 **Motion/Second: Seeberger/Wroblewski. To recommend DENIAL to City Council for the Will Carlson**
315 **application for a Comprehensive Plan Amendment to enable a rezoning of the easterly portion of the**
316 **property north of 60th Street and west of Trading Post Trail with the following four PID's:**
317 **33.028.20.32.0001, 33.028.20.33.0004, 33.028.20.33.0005 and 33.028.20.41.0002, from Agricultural to Rural**
318 **Residential to enable a subdivision of the property to create 18 lots on 113 acres, with the following:**
319

320 **Findings of Fact**

- 321 1. **This ordinance amendment is not compatible with the surrounding neighborhood.**
322 2. **This amendment is not compatible with the Goals and Policies of Afton's Comprehensive Plan:**
323

324 **Patten offered a friendly amendment to the Findings.**

- 325 3. **The citizen can still subdivide in compliance with the Agricultural regulations.**
326 4. **This ordinance amendment violates the tenets of the Comprehensive Plan, especially protections for**
327 **Afton's water resources.**
328 5. **There is a protected waterway in this area that would be at risk without more information.**
329

330 **The friendly amendment was accepted by the motion and second. Motion carried 8-1-0. (Nay: Kopitzke.)**
331

332 C. Conditional Use Permit for a Trailer Parking Facility, Anchor Bank, FSB and Brockman Investments,
333 located on Hudson Road with PID# 05.028.20.11.0007 – Chair Ronningen opened the Public Hearing at 8:43
334 p.m.

335 Administrator Moose reviewed the application from Anchor Bank and Brockman Investments for applied for
336 a Conditional Use Permit for a trailer parking lot on the property on Hudson Road with PID# 05.028.20.11.0007,
337 located east of the Chandler, Inc. property at 13526 Hudson Road. Brockman Trucking currently has two similar
338 trailer parking lots along Hudson Road S. The trailer parking lot falls within the "storage enclosed or screened"
339 use, which requires a Conditional Use Permit. He reported the City Engineer reviewed the grading and drainage
340 plan with the applicant and revisions were made. The City Engineer has indicated the Preliminary Plans and
341 Stormwater Management Plan meet the stormwater and grading requirements, and overall he recommends
342 approval of the proposed project subject to the items in his September 7 memo being addressed prior to final
343 permit issuance by the City. Moose indicated that the proposed driveway serving the parking area meets the
344 grading requirements, but does involve disturbance of a small area 18% or greater slope adjacent to Hudson
345 Road. This area was not shown on the survey. Staff has requested this area be added to the survey. Valley Branch
346 Watershed District (VBWD) reviewed the grading and drainage plan; their permit review report indicates the
347 plan meets the rate, volume and water quality requirements of the VBWD. Moose explained that the proposed
348 use must be enclosed or fully screened. The intent of this requirement is that this use would not be visible to the
349 public. The trailer parking lot constructed by Brockman in 2014 was to be fully screened by vegetation. While
350 the vegetation to screen the trailers was installed according to the approved landscape plan, the vegetation does
351 not provide sufficient screening, either from Hudson Road or from I-94. For the current application, because the
352 land slopes down substantially from Hudson Road, and a portion of the slope is in the Hudson Road right-of-way,
353 the trees need to be planted at the bottom of the slope. This may not enable the trailers to be screened from view
354 by traffic on Hudson Road. Moose also indicated that in the I-1C Zone, there are architectural standards
355 regarding landscaping that require screening that provides 95% opacity year round. The standards also require a
356 landscape guarantee, which is an agreement between the City and the owner which states that, in exchange for
357 issuance of a building permit, the owner will construct, install, and maintain all items shown on the approved
358 plan and that the owner will replace and/or correct any deficiencies or defaults that occur in the plan for a period
359 of two complete growing seasons subsequent to the installation of the landscaping plan. The landscape guarantee
360 agreement includes a performance bond. If after two growing seasons all the commitments are met, then the bond
361 and contract agreement are released to the applicant or property owner. Moose reported that the applicant has
362 indicated this use is planned to be a replacement for the existing trailer parking area at the corner of Manning and
363 Hudson Road should that site be developed for a higher value use. Although they do not need the currently
364 proposed parking lot at this time, they have made this CUP application and plan to construct the parking area so

365 that it is available when needed in the future. While the approval of the trailer parking CUP in 2014 included a
366 condition that construction would begin within one year of the date of issuance of the permit or the permit would
367 become null and void, this is not a requirement in the zoning code. There is flexibility in the length of time
368 allowed for construction to begin.

369 There was no public input.

370
371 Commission Discussion

372 Ronningen asked why the city would grant a Conditional Use Permit without a time limit or plan to have the
373 use constructed; that is not good public policy. It was noted that Anchor Bank is on the application, as Brockman
374 Trucking has to have city approval to proceed in order to purchase the property.

375 Bowman asked about the property line; if the contours were from the DNR lidar data; and, are they using fill
376 to raise the lot?

377 Patten asked if the Comprehensive Plan speaks to diversification in the Industrial Zone, as he felt Afton is
378 getting a lot of truck parking facilities that aren't very attractive to other uses.

379 Wroblewski asked about the vegetative screening and how it can be better than the last parking lot.

380 Ronningen suggested adding the condition to keep the trees alive for 5 years or replace them, and to have the
381 trees maintained and watered; she felt this should be added to the city's ordinance so that it is a requirement, and
382 not part of application conditions.

383 Langan felt the screening on the other two lots is inadequate and has noticed that Hudson Road has sunk from
384 all the traffic.

385 Ronningen reminded that Hudson Road is a state road, and not a priority, so it gets plowed last.

386
387 **Motion/Second: Doherty/Kopitzke. To recommend APPROVAL concerning the Anchor Bank, FSB and**
388 **Brockman Investments application for a conditional use permit for a trailer parking facility on the**
389 **property on Hudson Road with PID# 05.028.20.11.0007, including findings and conditions.**

390
391 Findings of Fact:

- 392 1. The applicant has submitted all necessary documents needed for a Conditional Use Permit.
- 393 2. The applicant is proposing a 4.51 acre gravel-surfaced trailer parking facility with 209 parking
394 stalls.
- 395 3. The applicant has submitted a landscape plan, illustrating 50 coniferous trees, including two rows
396 of trees along the south boundary of the parking area. A similar landscaping plan did not provide
397 sufficient screening for a similar facility at Neal and Hudson Road.
- 398 4. The proposal does not include any lighting.
- 399 5. Access into the site is proposed at one location off Hudson Road via a driveway which accesses the
400 parking lot.
- 401 6. The proposed parking area meets setback requirements.
- 402 7. The proposal meets impervious coverage requirements
- 403 8. The proposal meets the Valley Branch Watershed District's stormwater management requirements
- 404 9. The proposal includes grading of a small area of steep slopes adjacent to Hudson Road for the
405 driveway access to the property.

406
407 Conditions: The following is the list of conditions that were placed on the trailer parking CUP in 2014; the
408 Planning Commission added #23.

- 409 1. All appropriate provisions of the Afton Code of Ordinances shall be complied with for the duration
410 of the permit.
- 411 2. Valley Branch Watershed District provisions and recommendations shall be met for the duration of
412 the permit.
- 413 3. City Engineer specifications and recommendations for all work including the driveway shall be met
414 for the duration of the permit.
- 415 4. Mn/DOT requirements and recommendations regarding site access shall be met.

- 416 5. **The grading and drainage plan, including ponding areas and the infiltration area, shall be**
417 **constructed according to plans approved by the VBWD and the City Engineer and in conformity**
418 **with Valley Branch Watershed District requirements, and two rows of trees shall be planted south**
419 **of the parking area and at the southwest corner of the parking area as indicated on an approved**
420 **landscaping plan and maintained for screening. The developer shall post an irrevocable letter of**
421 **credit in the amount of 125% of the estimated cost of construction of the stormwater facilities and**
422 **the plantings; such letter of credit shall extend for three years beyond the date of approval of this**
423 **permit by the City Council, and shall be used as a guarantee that the grading will be completed, the**
424 **drainage facilities will be built and the vegetation planted will survive.**
- 425 6. **There shall be no fueling of vehicles on site.**
- 426 7. **There shall be no maintenance of vehicles on site.**
- 427 8. **Design and location of trailer parking shall conform to the approved site and construction plans.**
- 428 9. **Storage of anything other than the trailers used by the applicant shall not be allowed, nor shall the**
429 **applicant use the site for storage of personal property or other vehicles, campers, boats,**
430 **automobiles, etc.**
- 431 10. **Parking areas shall have a durable and dustless surface, as approved by the City Engineer**
- 432 11. **The proposal does not include lighting. If any lighting is added, it shall require an administrative**
433 **permit. Any lighting shall be designed so that light is directed from the perimeter of the facility**
434 **towards the center. Lights shall not be directed towards the residential area to the south of the**
435 **facility, nor shall they adversely affect other property in the area.**
- 436 12. **Design, location, and specifications of all signs shall conform to the Afton Sign Ordinance. All signs**
437 **shall require a permit to be issued by the Zoning Administrator.**
- 438 13. **Silt fences or other types of erosion control shall be properly installed prior to construction; and,**
439 **shall maintained in good condition until the construction is complete.**
- 440 14. **No trucks or trailers shall be parked in areas other than those indicated on the plan.**
- 441 15. **Primary hours of operation shall be between the hours of 6:00 a.m. and 8:00 p.m. No more than an**
442 **average of 10 trucks per day shall be operated in or out of the property between the hours of 6:00**
443 **a.m. and 8:00 p.m. The average shall be calculated on a monthly basis.**
- 444 16. **All trucks shall use the Manning Avenue exit/entry on Interstate Highway 94 for the purpose of**
445 **entering and exiting the site.**
- 446 17. **The used of guard dogs on the premises is prohibited.**
- 447 18. **No hazardous substances, pollutants, (including petroleum and petroleum products) contaminants**
448 **or harmful substances shall be located or handled or stored on site**
- 449 19. **Non-compliance with the conditions of this permit shall be considered a violation; and, may result**
450 **in revocation of this permit.**
- 451 20. **Compliance with conditions of this permit shall be monitored on a periodic basis. The conditions of**
452 **this permit shall apply to the property described and shall not in any way, except as herein noted,**
453 **be affected by any subsequent sale, lease, or other change in ownership.**
- 454 21. **Construction shall begin within one year of the date of issuance of this permit or the permit shall**
455 **become null and void.**
- 456 22. **An amended conditional use permit shall be required for any future expansions or alterations.**
- 457 23. **The screening plan shall be approved by the City Engineer. Trees that become diseased or die will**
458 **be replaced for 5 years.**

459
460 **D. Ordinance Amendment Opting Out of the Temporary Health Care Dwelling Statute – Chair Ronningen**
461 **opened the Public Hearing at 9:19 p.m.**

462 Administrator Moorse reported that in May 2016, a new statutory requirement regarding temporary health
463 care dwellings was signed into law. The statute includes a complex set of requirements related to allowing
464 temporary health care dwellings on residential lots in addition to the principal dwelling. Cities have the right to
465 opt out of the statutory requirements. Afton currently has ordinance language that allows the use of a
466 manufactured home as a temporary dwelling unit for an infirm family member. The City also allows non-rental

467 guest apartments within certain parameters, which could be used as a temporary healthcare dwelling unit for a
468 family member.

469 There was no public comment.

470

471 Commission Discussion

472 Kopitzke felt the city shouldn't opt out as the care units might be okay.

473 Doherty felt it might be risky using the state regulations, as we would be bound by that if the state decided to
474 change its parameters.

475

476 **Motion/Second: Wroblewski/Langan. To close the Public Hearing at 9:20 p.m.**

477

478 **Motion/Second: Patten/Wroblewski. To recommend to City Council approval of the ordinance opting out
479 of the statutory requirements for temporary health care dwellings as written. Motion carried 9-0-0.**

480

481 E. Ordinance Amendment for Steep Slope Exception to Restrictions for Areas of Existing Man-Made
482 Slopes that were Created by the Construction of Roads and Related Ditches – **Chair Ronningen opened the**
483 **Public Hearing at 9:23 p.m.**

484

485 **Motion/Second: Ronningen/Kopitzke. To continue the Steep Slope public hearing to the October Planning**
486 **Commission meeting. Motion carried 9-0-0.**

487

488 F. Ordinance Amendment to Adopt the Washington County Septic Ordinance by Reference – **Chair**
489 **Ronningen opened the Public Hearing at 9:25 p.m.**

490 Administrator Moore summarized that in April of 2015, Washington County adopted an updated Subsurface
491 Sewage Treatment Systems Ordinance. The Planning Commission and City Council reviewed the ordinance and
492 the City Council directed that the ordinance be adopted by reference.

493 There were no public comments.

494

495 **Motion/Second: Ronningen/Wroblewski. To recommend approval to the City Council to adopt the**
496 **Washington County Septic Ordinance by reference. Motion carried 9-0-0.**

497

498 **8. NEW BUSINESS** – none.

499

500 **9. OLD BUSINESS** -

501 A. Comprehensive Plan Update Process – Chair Ronningen indicated that due to the late hour, this
502 discussion will be delayed to the October 3 meeting.

503

504 B. Draft City Council Minutes – Council Member Ross reported on highlights of the August 16 Council
505 meeting: Reithmeyer's Nelson Estates Preliminary Plat was approved; the DeMaster Interim Use Permit
506 application was withdrawn and fees refunded.

507

508 **10. ADJOURN** –

509

510 **Motion/Second: Wroblewski/Seeberger. To adjourn the meeting at 9:26 p.m. Motion carried 9-0-0.**

511

512 Respectfully submitted by:

513

514

515

516 _____
517 Kim Swanson Linner, City Clerk

518

To be approved on October 3, 2016 as (check one): Presented: _____ or Amended: _____

RESOLUTION 2016-42

CITY OF AFTON
WASHINGTON COUNTY, MINNESOTA

**A RESOLUTION APPROVING THE ROGER MEISNER VARIANCE TO FRONT YARD
AND STREAM SETBACKS TO CONSTRUCT AN ADDITION AT 1520 STAGECOACH TRAIL
FOR A HANDICAPPED ACCESSIBLE BATHROOM**

- WHEREAS,** the City of Afton is a municipal corporation organized and existing under the laws of the State of Minnesota; and,
- WHEREAS,** the City Council of the City of Afton has adopted zoning, subdivision, and building regulations as part of the Afton Code of Ordinances, to promote the orderly, economic, and safe development and utilization of land within the City; and,
- WHEREAS,** Roger Meisner has applied for variances at 1520 Stagecoach Trail to enable the construction of an addition to the existing house for a handicap accessible bathroom; and,
- WHEREAS,** City staff reviewed the request and drafted a report for consideration; and,
- WHEREAS,** the Planning Commission held a public hearing on the application at its regular meeting of July 11, 2016 and recommended APPROVAL of the variance on a vote of 6-0-0; and,
- WHEREAS,** the City Council heard the request at its regular meeting on July 19, 2016, at which it considered all of the comments, concerns and recommendations of the Planning Commission and Zoning Administrator and the applicant; and,
- WHEREAS,** the six additional findings added from the Planning Commission did not get inserted into Resolution 2016-33 for Council consideration.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Afton does hereby APPROVE the Roger Meisner variance application to construct a handicap accessible bathroom addition at 1520 Stagecoach Trail, based on the following findings (#'s 1-5 from the staff review; and #'s 6-11 added by the Planning Commission at their July 11, 2016 meeting).

Findings:

1. The existing house is legally nonconforming in terms of both the front yard and stream setback.
2. The front yard and stream setbacks for the proposed addition are greater than those setbacks for the existing house.
3. The existing house is too small to accommodate a handicap bathroom.
4. The proposed addition is the minimal size that will accommodate a handicap bathroom.
5. The health status of the property owner is such that a handicap bathroom is necessary.
6. The application meets all of the criteria for granting a variance, including that the lot is sub-standard.
7. There is no other buildable solution for the lot and structure.
8. The structure is over 100 years old and has had no adverse effects to the neighborhood or health and safety.
9. There is vegetative screening on both sides of the reduced setbacks.
10. The addition does not make the structure more non-conforming.
11. The current 5-year old septic system was sized to meet the full capacity of the house.

**ADOPTED BY THE CITY COUNCIL OF THE CITY OF AFTON THIS 20TH DAY OF
SEPTEMBER, 2016.**

RESOLUTION 2016-42

SIGNED:

Richard Bend, Mayor

ATTEST:

Ronald J. Moorse, City Administrator

Motion by:
Second by:
Palmquist:
Richter:
Ross:
Nelson:
Bend:

City of Afton
3033 St. Croix Trl, P.O. Box 219
Afton, MN 55001

Meeting Date Sept. 20, 2016

Council Action Memo

To: Mayor Bend and Members of the City Council
From: Ron Moorse, City Administrator
Date: September 14, 2016
Re: SEV MN1, LLC and Janice Schwitters and Steven Moll application to amend relevant sections of the Zoning Code to allow “solar farm” as a conditional use or interim use in the Agricultural District, including a specific proposal for the property at 12351 15th Street.
Resolution 2016-43

Background

SEV MN1, LLC and Janice Switters and Steven Moll have made an application to amend relevant sections of the Zoning Code to allow “solar farm” as a conditional use or interim use in the Agricultural District, including a specific proposal for the property at 12351 15th Street. Attached are proposed ordinance amendment language and materials related to the application.

Solar Farm

The current definition of a solar farm in the City’s solar energy ordinance is as follows:

Solar Farm - A commercial facility that converts sunlight into electricity, whether by photovoltaics (PV), concentrating solar thermal devices (CST), or other conversion technology, for the primary purpose of wholesale sales of generated electricity. A solar farm is the principal land use for the parcel on which it is located.

The ordinance prohibits solar farms from the Agricultural and Rural Residential zoning districts due to concerns regarding the impact of large areas of solar arrays on the rural character of the City. Solar farms are allowed in the Industrial Districts.

Proposal at 12351 15th Street

The proposed solar farm at 12351 15th Street is proposed to have a 5-megawatt array of photovoltaic panels. This requires approximately 40 acres of photovoltaic panels. The attached materials include a site plan showing the location of the proposed photovoltaic array and existing and proposed vegetative screening, as well as photos showing the appearance of typical solar panel arrays in a field.

Solar Energy Ordinance Background

In 2015, the Planning Commission worked with a solar energy consultant to prepare and recommend to the Council a solar energy ordinance, and the Council adopted the ordinance. The ordinance allows solar arrays of substantial size in the Agricultural and Rural Residential Zones, to a maximum of 2,000 square feet when they are fully screened. As indicate above, the ordinance prohibits solar farms from the Agricultural and Rural Residential zoning districts due to concerns regarding the impact of large areas of solar arrays on the rural character of the City. Solar farms are allowed in the Industrial Districts.

Land Use Plan.

The Housing and Land Use Plan section of the Comprehensive Plan indicates the following regarding the preservation of agricultural land and uses:

“The residents of the City of Afton value the agricultural economy and rural character that an agricultural environment provides. This Plan intends to preserve agricultural land for permanent agricultural use, and does not accept the belief held by some that agricultural use is merely a temporary use or that agricultural lands are merely a holding area for future residential or other development. Moreover, the community values agricultural land as open space in an increasingly urban environment, a sanctuary for a rural lifestyle that Afton residents have consistently desired to maintain.”

Impact on Rural Character. The installation of large expanses of solar arrays in the agricultural zone would change the natural, open, rural countryside views that currently are characteristic of the Agricultural zone and the rural area of the City. This is the character that has drawn people to Afton, and that is the foundation of the City’s Comprehensive Plan. Even if the solar farm use was to be allowed only as an interim use for the 25 year term of a lease on the property, the negative effect of solar farms on the City’s rural character could make it substantially more difficult to preserve the rural character.

Potential Land Use Issues

The proposed ordinance amendment would allow solar farms to be installed on properties in the Agricultural zone. The proposed ordinance amendment does not require setbacks beyond those currently required for all structures. The proposed ordinance includes an exemption from maximum impervious surface requirements, which substantially affects open space and also affects stormwater management.

Neighboring Property Impacts. One of the most common issues addressed by land use regulations are potential impacts upon neighboring land uses. The ground-mounted solar panels are proposed to be designed to rotate for sun angle and are proposed to be approximately 12 feet in height. These arrays would be visible to adjoining property. While the proposed ordinance requires the solar array to be screened from adjacent houses and public roads, it does not require screening along the full perimeter of the property to provide screening from existing and future agricultural or residential uses. As part of the relatively recent public meeting regarding Manning Avenue development planning, those who lived and/or farmed in the Agricultural zone did not want to see the open, rural views changed due to land use changes.

Also of potential concern with a solar farm use may be visual glare reflecting from the solar panels, particularly in a large array. It is understood that technology exists to address such concerns with an anti-reflective coating on the panels that minimize reflective glare. This would need to be addressed as part of a Conditional Use Permit or Interim Use Permit process, if utilized.

Planning Commission recommendation

The Planning Commission recommended, on a vote of 9-0-0, denial of the ordinance amendment application.

Resolutions

Attached are a resolution of denial reflecting the Planning Commission's recommendation and a resolution of approval, for the Council's consideration.

COUNCIL ACTION REQUESTED:

Motion regarding the adoption of a resolution regarding the SEV MN1, LLC and Janice Schwitters and Steven Moll application to amend relevant sections of the Zoning Code to allow "solar farm" as a conditional use or interim use in the Agricultural District.

RESOLUTION 2016-43

**CITY OF AFTON
WASHINGTON COUNTY, MINNESOTA**

A RESOLUTION DENYING THE SEV MN1, LLC AND JANICE SCHWITTERS AND STEVEN MOLL APPLICATION TO AMEND RELEVANT SECTIONS OF THE ZONING CODE TO ALLOW “SOLAR FARM’ AS A CONDITIONAL USE OR INTERIM USE IN THE AGRICULTURAL DISTRICT

- WHEREAS,** the City of Afton is a municipal corporation organized and existing under the laws of the State of Minnesota; and
- WHEREAS,** the City Council of the City of Afton has adopted zoning, subdivision, and building regulations as part of the Afton Code of Ordinances, to promote the orderly, economic, and safe development and utilization of land within the City; and
- WHEREAS,** SEV MN1, LLC and Janice Schwitters and Steven Moll have made an application to amend relevant sections of the Zoning Code to allow “solar farm” as a conditional use or interim use in the Agricultural District; and
- WHEREAS,** City staff reviewed the request and drafted a report for consideration; and
- WHEREAS,** the Planning Commission held a public hearing on the application at its regular meeting of September 12, and recommended DENIAL of the zoning code amendment application on a vote of 9-0-0; and
- WHEREAS,** the City Council heard the request at its regular meeting on September 20, 2016, at which it considered all of the comments, concerns and recommendations of the Planning Commission and Zoning Administrator and the applicant;

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Afton does hereby DENY the SEV MN1, LLC and Janice Schwitters and Steven Moll application to amend relevant sections of the Zoning Code to allow “solar farm” as a conditional use or interim use in the Agricultural District. based on the findings listed below.

Findings:

1. The Planning Commission, in its deliberations regarding the current solar energy ordinance, intentionally prohibited solar farms from the Agricultural District to preserve the natural, open, rural character of the Agricultural District, and chose instead to support solar energy by allowing individual properties to have solar arrays at a scale that protects the City’s rural character.
2. The proposed ordinance amendment includes an exemption from maximum impervious surface requirements, which substantially affects open space and also affects stormwater management.
3. The proposed ordinance amendment is in conflict with the City’s policies regarding preservation of open space and the City’s natural, rural character.
4. The proposed ordinance amendment would substantially adversely affect the existing open, rural views of surrounding properties.

ADOPTED BY THE CITY COUNCIL OF THE CITY OF AFTON THIS 20TH DAY OF SEPTEMBER, 2016.

SIGNED:

RESOLUTION 2016-43

Richard Bend, Mayor

ATTEST:

Ronald J. Moorse, City Administrator

Motion by:

Second by:

Palmquist:

Richter:

Ross:

Nelson:

Bend:

RESOLUTION 2016-XX

**CITY OF AFTON
WASHINGTON COUNTY, MINNESOTA**

A RESOLUTION APPROVING THE SEV MN1, LLC AND JANICE SCHWITTERS AND STEVEN MOLL APPLICATION TO AMEND RELEVANT SECTIONS OF THE ZONING CODE TO ALLOW "SOLAR FARM" AS A CONDITIONAL USE OR INTERIM USE IN THE AGRICULTURAL DISTRICT

- WHEREAS,** the City of Afton is a municipal corporation organized and existing under the laws of the State of Minnesota; and
- WHEREAS,** the City Council of the City of Afton has adopted zoning, subdivision, and building regulations as part of the Afton Code of Ordinances, to promote the orderly, economic, and safe development and utilization of land within the City; and
- WHEREAS,** SEV MN1, LLC and Janice Schwitters and Steven Moll have made an application to amend relevant sections of the Zoning Code to allow "solar farm" as a conditional use or interim use in the Agricultural District; and
- WHEREAS,** City staff reviewed the request and drafted a report for consideration; and
- WHEREAS,** the Planning Commission held a public hearing on the application at its regular meeting of September 12, and recommended DENIAL of the zoning code amendment application on a vote of 9-0-0; and
- WHEREAS,** the City Council heard the request at its regular meeting on September 20, 2016, at which it considered all of the comments, concerns and recommendations of the Planning Commission and Zoning Administrator and the applicant;

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Afton does hereby APPROVE the SEV MN1, LLC and Janice Schwitters and Steven Moll application to amend relevant sections of the Zoning Code to allow "solar farm" as a conditional use or interim use in the Agricultural District, based on the findings listed below.

Findings:

The Council is to provide the findings on which an approval is based.

ADOPTED BY THE CITY COUNCIL OF THE CITY OF AFTON THIS 20TH DAY OF SEPTEMBER, 2016.

SIGNED:

Richard Bend, Mayor

ATTEST:

Ronald J. Moorse, City Administrator

Motion by:
Second by:
Palmquist:
Richter:
Ross:
Nelson:
Bend:

MNCLÉ © 2012

P010

STATE OF MINNESOTA
COUNTY OF WASHINGTON

TENTH JUDICIAL DISTRICT
DISTRICT COURT
PROBATE DIVISION

Court File No. 82-PR-14-501

Estate of
Reuben F. Moll, aka Reuben Fred Moll,

LETTERS TESTAMENTARY

Decedent

1. The Decedent died on January 13, 2014.
2. Janice J. Schwitters and Steven W. Moll have been appointed Co-Personal Representatives of Decedent's Estate in

- an informal unsupervised
- a formal unsupervised
- a formal supervised

administration and is now qualified to act as Personal Representative of the Estate and has authority to administer the Estate according to law.

Dated: 3/3/14

Pamela Kneen
Registrar

(COURT SEAL)

I do hereby certify that this instrument is a true and correct copy of the original on file and of record in my office, and that as of the date hereof, said Letters were in full force and effect and that no objection to appointment has been filed and no formal proceedings have been commenced in this County.

Dated 3/5/14
Court File No. 82-PR-14-501
Court Administrator
Washington County, MN
By *[Signature]*
Deputy

FILED
File # _____
WASHINGTON COUNTY
DISTRICT COURT
MAR 03 2014
COURT ADMINISTRATOR
By *[Signature]* Deputy
FILED

Application to
Amend the
City of Afton
Zoning
Ordinance



601 Carlson Parkway, Suite 1050,
Minnetonka, Minnesota 55305



July 11, 2016

Mr. Ronald J. Moore, City Administrator
City of Afton
3033 St. Croix Trail, P.O. Box 219
Afton, Minnesota 55001

Re: Application to Amend the Zoning Ordinance

Dear Mr. Moore and Members of the Afton City Council:

We request that the City amend the text of its zoning regulations to allow "solar farms" as either an Interim or a Conditional Use in the City's Agriculture zoning district. Presently, commercial-scale solar energy conversion facilities are allowed only in your Industrial zoning district.

This document provides a supplementary description of what we propose to build if the zoning regulations are so amended, the steps we would take to help the facility conform to your planning objectives and a rationale for this change.

Our proposed 5 megawatt array of photovoltaic panels will generate electricity that will be purchased by Xcel Energy under a 25-year contract. The solar garden will not generate any carbon or other harmful emissions, will be created from an inexhaustible source, the sun, will help Xcel Energy meet the State's mandate for use of renewable energy sources, and will align with the City's goals for sustainability. In addition, Xcel customers may subscribe to a share of the electrical output from the project, thus supporting this clean source of energy. Sunrise will own and operate the development for its lifetime.

We seek to be a good corporate citizen and work cooperatively with each community to support the City's community development objectives while creating a successful solar energy facility.

Please give our application your approval so that we can all benefit from this wise new source of electricity for our homes and businesses.

Sincerely,

A handwritten signature in black ink, appearing to read "DL", with a stylized flourish at the end.

Dean Leischow
Chief Executive Officer

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Proposed Amendments to the Zoning Regulations

Sunrise Energy requests that the City of Afton amend its zoning regulations to allow “solar farms” as either an Interim or a Conditional Use in the Agriculture zoning district. These facilities are presently allowed only as a Conditional Use in the Industrial zoning district. This amendment would affect these sections of the City Code:

- **12-134, Table of Uses in the Zoning Districts**
Add “solar farms” to the table as either an Interim or a Conditional Use in the Agriculture District. Some Cities classify them as Interim Uses, others as Conditional Uses.
- **12-140, Agriculture Zoning District**
Amend, D, Conditionally Permitted Uses, to include Solar Farms, or
Add E., Interim Permitted Uses, list Solar Farms and specify a term of 26 years.
- **12-140 (E), Standards for Granting Conditional Use Permits in the Agriculture Zoning District**
Exempt “solar farms” from the provision of Section 12-139, which requires that non-farm structures “shall be sited on a separately surveyed and described parcel”.
- **12-230, Solar Energy Systems**
Change or delete sub-section F-3, G1 and G-2, which limit “solar farms” to the Industrial districts. Clarify that solar farms are also allowed in the Agriculture district.
Require a planting plan to screen the view from adjacent houses and public roads.
Change or delete those sub-sections that treat all solar energy conversion systems as if they were small, accessory uses. Those sections include:
 - E, Standards
 - F-2, c: Maximum panel square footage and minimum setback.
- **12-132, Minimum Requirements**
Establish these setbacks for a “solar farm” in the Agriculture zoning district:
 - Front: 150 feet (150 feet from the road centerline or 117 feet from the public right-of-way)
 - Side: 50 feet
 - Rear: 50 feet.Exempt “solar farms” from the requirement for maximum site coverage by any structure or impervious surface.
- **12-230-C, Definitions**
Under the definition of “solar farm,” delete the sentence that reads, “A solar farm is the principal land use for the parcel on which it is located” because there may already be a principal use on the parcel, such as a house. Yet, a solar farm would not be an accessory use because it would not be “subordinate to and serving the principal use”.

Reasons Supporting the Proposed Amendments

We offer these reasons in support of the proposed amendments to the Afton zoning regulations.

- 1. Maintain Rural Land Use:** Solar energy conversion systems will provide income to the owners of relatively small farm tracts, thus reducing the pressure to rezone, subdivide and sell land for housing development. Some owners have been known to use a solar farm as a way to preserve the property for their children.
- 2. Compatible with the Rural Landscape:** Solar collection systems can be visually compatible with the rural landscape. Their low height in combination with the right site, proper setbacks and vegetative screening help make them inconspicuous. They are a passive use of the land, comparable to a greenhouse, which also collects solar energy. Greenhouses are well received in rural areas and have a visual impact similar to that of a solar farm. Developers of semi-rural housing have sometimes included a community solar energy system to improve marketability.
- 3. No Public Services Required:** A solar energy conversion system will not require any police or fire services. There is virtually no chance that a solar energy system could catch fire. Traffic to and from a completed solar facility is negligible, only 1 or two pick-up trucks per month. The sites will be fenced for security and insurance purposes.
- 4. No Impact on Adjacent Property Values.** Studies in Washington County and other states have concluded that there is no loss of property value for residential, agricultural or open properties adjacent to existing or proposed solar farms. Copies of these studies can be provided to the City.
- 5. Interim Land Use:** Solar farms are a temporary land use. When the 25 year contract with Xcel Energy expires, the panels can be removed and the site returned to agriculture. Because there is very little disturbance to the soil, there is no loss of agricultural productivity. Moreover, after 25 years, these sites can be certified as suitable for organic farming.
- 6. Environmentally Beneficial:** Solar farms would be consistent with the environmental ethic of Afton. They improve the quality and quantity of surface water runoff compared to a cultivated field. They require no harmful chemical applications. They can be planted with pollinator-friendly and native ground covers and kept free of noxious weeds. They contain no hazardous materials and emit no noise or glare. They help reduce global warming by using the renewable power of the sun instead of carbon fuels.
- 7. Few such Systems:** There will be a very small number of solar energy conversion systems proposed in Afton because the Xcel substations that would receive the energy have limited remaining capacity. Xcel Energy will not be accepting any more applications for 5 megawatt solar systems for the foreseeable future, according to state law. Future applications, if any, will likely be 1 megawatt in size, requiring only about 7 acres each.

Project Description

If the Afton zoning ordinance were amended as proposed, Sunrise Energy would likely submit an application for a 5 megawatt “solar farm” as described below.

Site Location

The site of the proposed solar farm is east of Manning Avenue and south of 15th Street as shown by Figures 1 and 2.

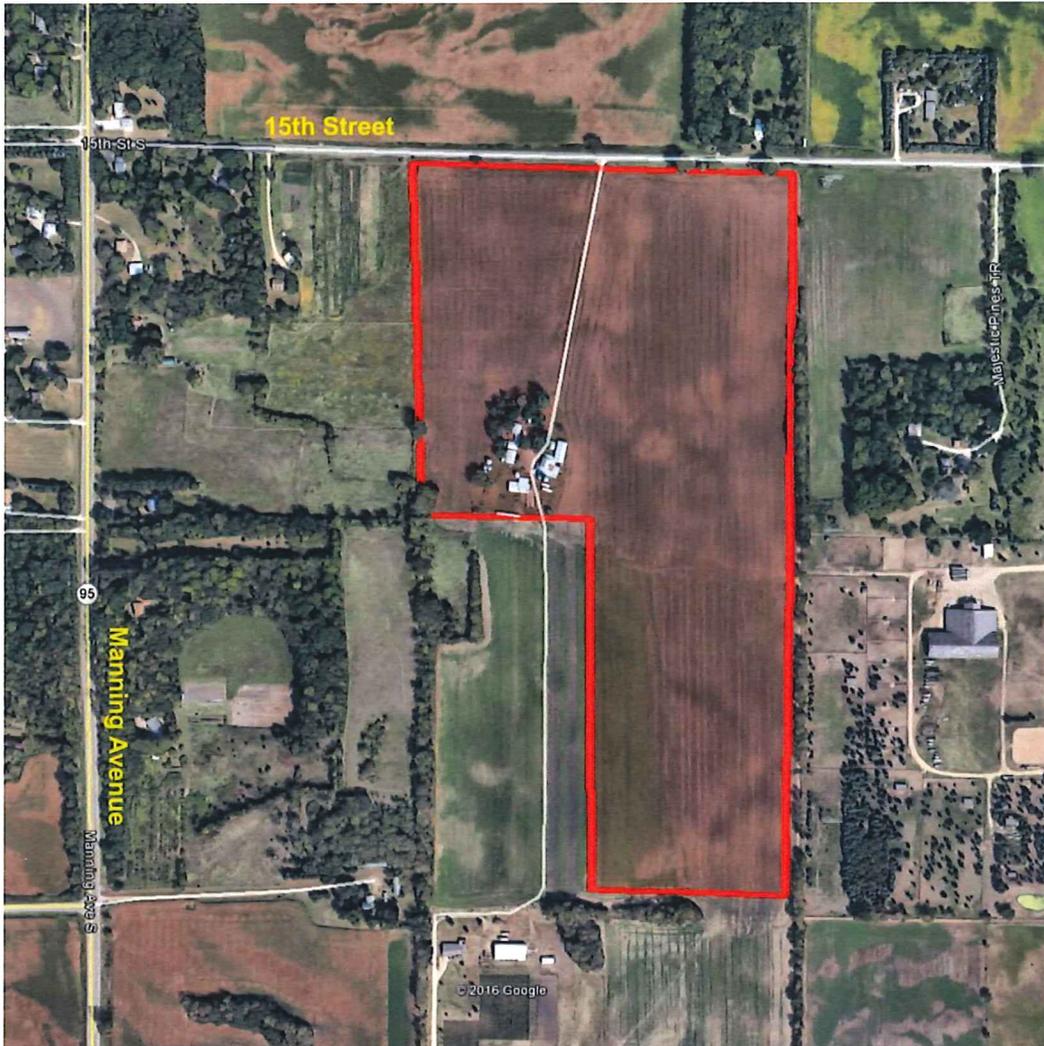


Figure 1: Site Location



Figure 2: Regional Location

Zoning on and near the Site

The site and all of the adjacent parcels are zoned Agriculture District, as shown by Figure 3. There is a Conservancy Overlay on some of the lands to the west and north. Off-site to the south, there is a Shoreland Overlay district.

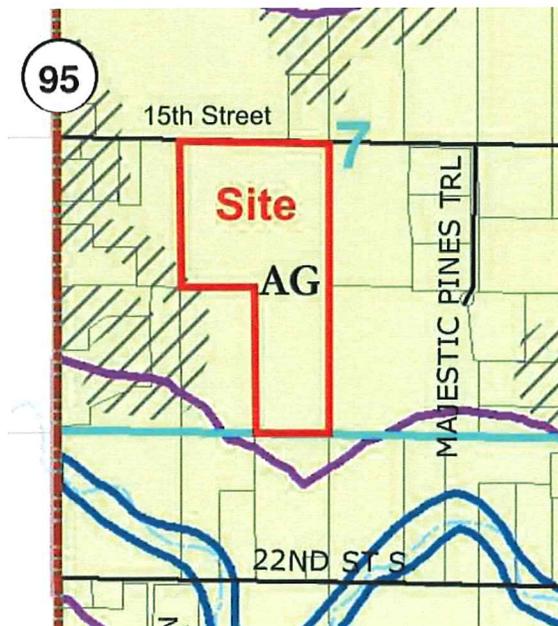


Figure 3: Zoning Map

Existing Conditions

On-Site and Nearby Land Use

The prospective site is presently farmed. The owner's house and accessory farm buildings occupy part of the site and will remain.

Land uses adjacent to the site are agricultural or open as shown by Figure 4. A high-voltage electrical transmission line runs along the eastern side of the site.

The pattern of nearby parcels is shown by Figure 5.



Figure 4: Nearby Land Use

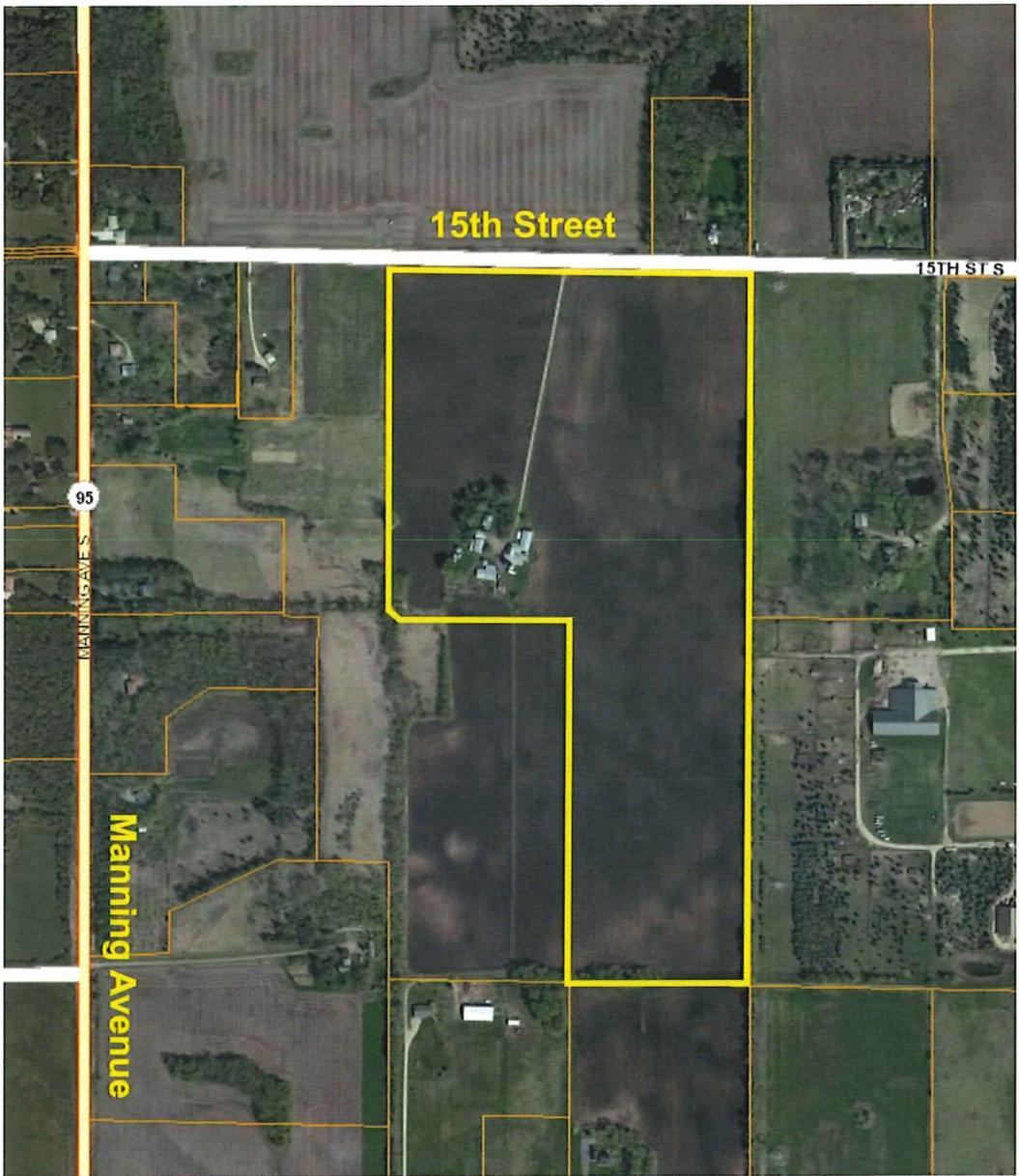


Figure 5: Nearby Land Parcels

Topography

The site is generally flat and slopes gradually up from the north to the south.

Vegetation

The site is a cultivated field with a windrow of trees on the eastern and southern edges. Off-site there are other windrows, and the nearby farmsteads and houses all have trees and shrubs around them. This pattern of trees can be seen on Figure 1, Site Location.

These photos give a sense of the conditions on the site.



Figure 6: Looking south across the site



Figure 7: Looking ESE from 15th Street



Figure 8 Looking west along 15th Street



Figure 9: Looking east along 15th Street

Site Access

Access to the site of the solar farm will be from 15th Street in the same location as the existing farm driveway. The farmstead will be removed.

Grading, Drainage and Erosion Control

Grading for the solar farm will be limited to creating gravel service roads among the blocks of arrays and pads for the electrical inverters. The solar arrays can conform to the slopes and do not require that terraces be created because each solar array is installed by simply drilling posts into the ground.

Normal steps will be taken to control erosion during and after the installation process, and these can be specified as conditions of the permit. Disturbed soils will be returned closely to their original contours. The final site will be seeded with a native and pollinator-friendly seed mix and mowed as necessary to prevent woody species from establishing. Consequently, the rate, volume and quality of the surface water runoff is expected to be improved from the present values generated by a plowed field of row crops.

Our engineering consultant, Emmons and Olivier Resources, Inc., will provide to the City and the Valley Branch Watershed hydrologic modeling calculations for rate control, volume control and water quality, including proposed pond locations.

Wetlands and Streams

Public Waters Wetlands

There are no mapped public waters or wetlands on the site according to a review of information provided by the Valley Branch Watershed District.

Floodplain

There is no floodplain mapped on the site by the Federal Emergency Management Administration.

Visual Compatibility and Screening

Sunrise Energy recognizes the importance of maintaining the image of a rural landscape in Afton. Consequently, we have searched and found a site that is already visually isolated from houses, farmsteads and public roads. Sunrise would supplement the existing natural screening with additional plantings along 15th Street.

Thus, the solar farm will be visually compatible with its agricultural and rural residential neighbors by virtue of these characteristics:

- The solar arrays will be **set back** approximately 400 to 575 feet from 15th Street and 50 feet from other sides.
- The **existing vegetation** around the perimeter of the site will be retained.
- **Conifers will be planted** along 15th Street to screen the view to the distant solar collectors. The planting plan will consist of two rows of fast-growing Balsam Fir and/or White Spruce trees 5 to 6 feet in height planted 20 feet on-center for a total of 81 trees, as illustrated by Figure 12. Diseased or dying trees will be replaced by Sunrise Energy. Images of these two species are shown below.
- The sun-tracking collectors will be approximately **12 feet** in height.



BALSAM FIR | *Abies balsamea*



WHITE SPRUCE | *Picea glauca*

Figure 11: Photos of Proposed Perimeter Trees

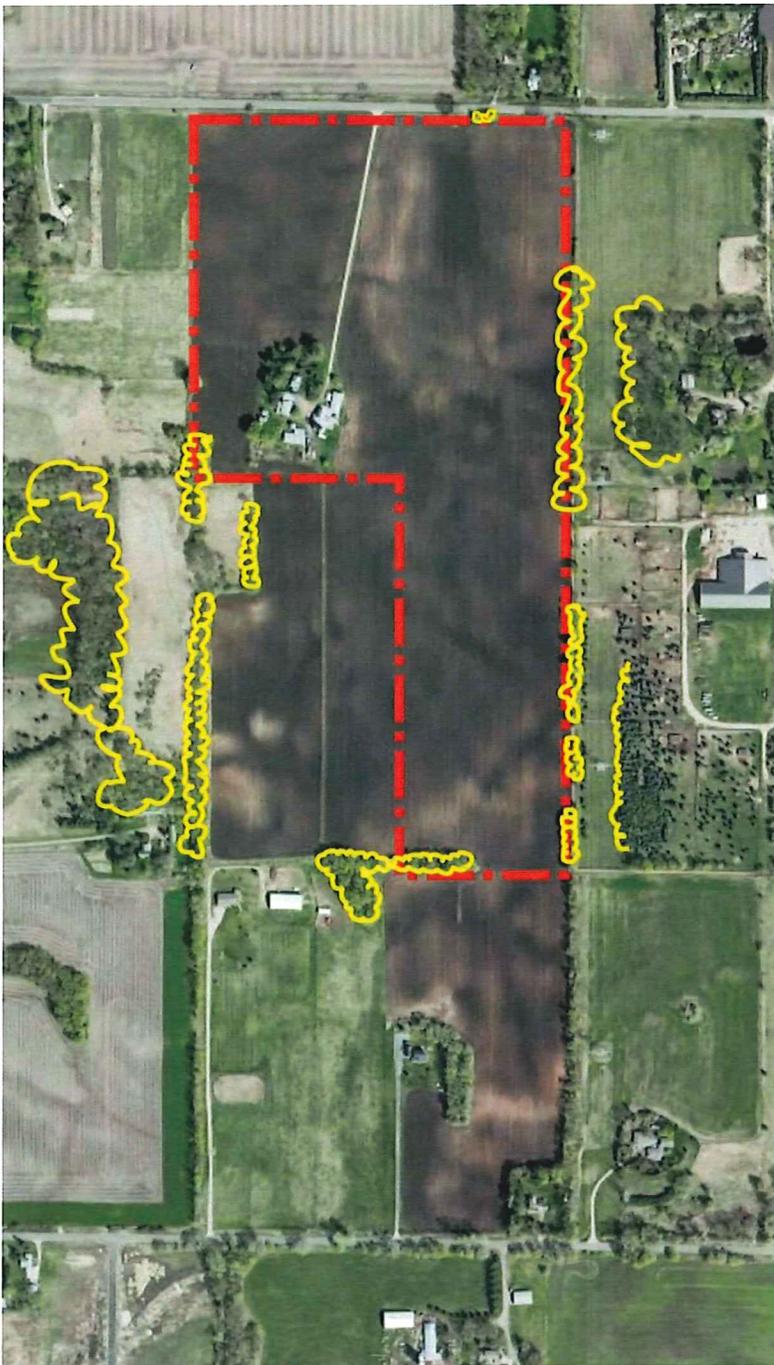


Figure 12: Locations of Existing Screening



● Balsam Fir ● White Spruce
 Figure 13: Landscaping Plan

Solar Energy Conversion Panels

Solar energy conversion panels may be built with a fixed, unmovable angle or designed to track the sun through the day and, with some, the year. Fixed-angle arrays are typically 10 to 12 feet tall while tracking systems are typically 12 feet tall. Fixed-angle models are mounted in arrays as illustrated by Figures 14 through 16.



Figure 14: Typical Tracker Solar Arrays



Figure 15: Typical Fixed-Angle Solar Arrays



Figure 16: Appearance of Typical Solar Panel Arrays in a Field

Connection to the Xcel System

The on-site link to the Xcel grid, called the common coupling or the interconnection, will be located underground approximately 550 feet south of 15th Street.

Three Xcel Energy wires will run overhead from the on-site interconnection to the Xcel three-wire distribution line that exists along Highway 95.

Tree Removal

The trees around the farmstead will be removed, as will the house and farm buildings.

Ground Cover

Sunrise Energy will use native plantings as ground cover. These grasses and forbs will enhance local biodiversity, consistent with the Pollinator Protection Pledge of the local solar power industry. They will be especially helpful to pollinator species such as bees and butterflies. The ground cover will be kept mowed to a workable height, and noxious weeds will not be allowed to flourish and spread into nearby farm fields.

Perimeter Fence

A black-coated, galvanized chain-link perimeter fence will be installed for safety and security. The fence will be 6 feet tall, topped with three strands of barbed wire. The fence alignment is illustrated by Figure 11, Site Plan.

The fence will only encompass the facility and will be located toward the interior of the site relative to existing perimeter trees and shrubs in order to maintain that vegetation and obscure the view of the fence.

Sign

A small freestanding identification sign will be erected near the entrance to the site. The sign will be within the height and size limits of City Code.

<p>City of Afton 3033 St. Croix Trl, P.O. Box 219 Afton, MN 55001</p>
--

Meeting Date Sept. 20, 2016

Council Action Memo

To: Mayor Bend and Members of the City Council

From: Ron Moorse, City Administrator

Date: September 14, 2016

Re: Will Carlson Application for a Comprehensive Plan Amendment to enable a rezoning of the easterly portion of the property north of 60th Street and west of Trading Post Trail from Agricultural to Rural Residential to enable a subdivision of the property to create 18 lots on 113 acres. The property has the following four PID's: 33.028.20.32.0001, 33.028.20.33.0004, 33.028.20.33.0005 and 32.028.20.41.0002. **Resolution 2016-44**

Background

Will Carlson owns approximately 200 acres of property north of 60th Street and west of Trading Post Trail. Mr. Carlson is planning to subdivide the eastern 103 acres of the property into eighteen 5-acre lots, as shown on the attached sketch plan. The majority of the 200 acres of property is currently zoned Agricultural. Mr. Carlson desires to rezone the easterly 100 acres of the property to Rural Residential to enable the subdivision. Because the Comprehensive Plan shows the property as Agricultural on the Future Land Use Map, a rezoning requires an amendment to the Comprehensive Plan. Mr. Carlson has applied for a Comprehensive Plan amendment to revise the Future Land Use Map to show the easterly 100 acres of property as Rural Residential vs. Agricultural.

The Comprehensive Plan includes a number of goals, policies and strategies related to the rezoning of property from Agricultural to Rural Residential. These are as follows:

Housing and Land Use Goals

1. Maintain the City's overall low density
2. Preserve the rural character of Afton
3. Encourage agricultural uses
4. Maintain natural open spaces

Housing and Land Use Policies

1. The overall development density of the City shall not exceed one unit per ten acres
7. Prohibit rezoning of a parcel from Agricultural to Rural residential unless, in addition to meeting other criteria, the parcel is more than 50% contiguous to a rural residential zoning district and such rezoning would not result in development which is inconsistent with the generally rural character of the surrounding area.

8. Discourage residential development on lands suitable for agricultural use and adhere to planning practices that will allow farms to operate without external pressures

Land Use Strategies

9. Encourage the use of conservation and open space design subdivisions where the subdivision permanently preserves open space or agricultural land uses or creates transition zones with adjoining zones or jurisdictions.

Because the small parcel in the northwest quadrant of 60th Street and Trading Post Trail is zoned Rural Residential, the property proposed to be rezoned to Rural Residential is more than 50% contiguous to a rural residential zoning district, which meets a portion of Housing and Land Use Policy #7 in the Comprehensive Plan. A determination also needs to be made as to whether the proposed rezoning of the property is in harmony with the goals, policies and strategies of the Comprehensive Plan related to the overall land use of the City and the preservation of agricultural uses and the rural character of the City.

There are numerous parcels in the city that are zoned Agricultural and located adjacent to Rural Residential parcels. The Comprehensive Plan shows all of these areas as Agricultural on the Future Land Use Map. This reflects the goals, policies and strategies listed above. The Planning Commission's review of the Comprehensive Plan Amendment should consider both the specific parcel in the application and the broader implications for other Agricultural parcels adjacent to Rural Residential property and the effects on Agricultural property in general.

Land Use Strategy #9 in the Comprehensive Plan encourages the use of conservation design and open space subdivisions where the subdivision permanently preserves open space or agricultural uses. A subdivision similar to the one reflected in the attached concept plan could be accomplished through a Preservation and Land Conservation Development that would preserve the western 100 acres of the Carlson property and would not require a rezoning.

Metropolitan Council 2040 Plan

In the Metropolitan Council's 2040 development plan, Afton is designated as "Diversified Rural". This designation supports Afton's goals of preserving agricultural land and uses and preserving its rural character. The City's role in relation to the Diversified Rural designation is as follows:

- Plan for growth not to exceed forecasts and in patterns that do not exceed 4 units per 40 acres.
- Identify and protect locally important agricultural areas, in addition to prime agricultural lands, to provide a range of economic opportunities.
- Support existing agricultural uses as primary long-term land uses and consider allowing agricultural-supportive land uses in local comprehensive plans.
- Plan development patterns that incorporate the protection of natural resources. Consider implementing conservation subdivision ordinances, cluster development ordinances, or environmental protection provisions in local land use ordinances.

Planning Commission recommendation

The Planning Commission, on a vote of 8-1-0, recommended denial of the Comprehensive Plan amendment application.

Resolutions

Attached are a resolution of denial reflecting the Planning Commission's recommendation, and a resolution of approval, for the Council's consideration.

COUNCIL ACTION REQUESTED:

Motion regarding the adoption of a resolution regarding the Will Carlson application for a Comprehensive Plan Amendment to enable a rezoning of the easterly portion of the property north of 60th Street and west of Trading Post Trail with the following four PID's: 33.028.20.32.0001, 33.028.20.33.0004, 33.028.20.33.0005 and 32.028.20.41.0002, from Agricultural to Rural Residential to enable a subdivision of the property to create 18 lots on 113 acres.

RESOLUTION 2016-44

**CITY OF AFTON
WASHINGTON COUNTY, MINNESOTA**

A RESOLUTION DENYING THE WILL CARLSON COMPREHENSIVE PLAN AMENDMENT FOR FOUR PARCELS WITH PID#S 33.028.20.32.0001, 33.028.20.33.0004, 33.028.20.33.0005 and 32.028.20.41.0002.

WHEREAS, the City of Afton is a municipal corporation organized and existing under the laws of the State of Minnesota; and

WHEREAS, the City Council of the City of Afton has adopted zoning, subdivision, and building regulations as part of the Afton Code of Ordinances, to promote the orderly, economic, and safe development and utilization of land within the City; and

WHEREAS, Will Carlson has applied for an amendment to the Comprehensive Plan for four parcels with **PID#s** 33.028.20.32.0001, 33.028.20.33.0004, 33.028.20.33.0005 and 32.028.20.41.0002; and

WHEREAS, the application proposes an amendment to the Comprehensive Plan to revise the Future Zoning Map to show the parcels listed above as Rural Residential vs. Agriculture; and

WHEREAS, City staff reviewed the request and drafted a report for consideration; and

WHEREAS, the Planning Commission held a public hearing on the application at its regular meeting of September 12, and recommended **DENIAL** of the Comprehensive Plan amendment on a vote of 8-1-0; and

WHEREAS, the City Council heard the request at its regular meeting on September 20, 2016, at which it considered all of the comments, concerns and recommendations of the Planning Commission and Zoning Administrator and the applicant;

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Afton does hereby **DENY** the Will Carlson application for an amendment to the Comprehensive Plan to show the four parcels with **PID#s** 33.028.20.32.0001, 33.028.20.33.0004, 33.028.20.33.0005 and 32.028.20.41.0002 as Rural Residential vs. Agriculture on the Future Zoning Map, based on the findings listed below.

Findings:

1. The proposal is in conflict with the following goals, policies and strategies of the Comprehensive Plan
 - a. Maintain the City's overall low density
 - b. Preserve the rural character of Afton
 - c. Encourage agricultural uses
 - d. Maintain natural open spaces
 - e. The overall development density of the City shall not exceed one unit per ten acres
 - f. Discourage residential development on lands suitable for agricultural use and adhere to planning practices that will allow farms to operate without external pressures

2. The property can be subdivided without a rezoning

RESOLUTION 2016-44

3. The proposal is not compatible with existing adjacent land uses

ADOPTED BY THE CITY COUNCIL OF THE CITY OF AFTON THIS 20TH DAY OF SEPTEMBER, 2016.

SIGNED:

Richard Bend, Mayor

ATTEST:

Ronald J. Moore, City Administrator

Motion by:
Second by:
Palmquist:
Richter:
Ross:
Nelson:
Bend:

RESOLUTION 2016-XX

**CITY OF AFTON
WASHINGTON COUNTY, MINNESOTA**

A RESOLUTION APPROVING THE WILL CARLSON COMPREHENSIVE PLAN AMENDMENT FOR FOUR PARCELS WITH PID#S 33.028.20.32.0001, 33.028.20.33.0004, 33.028.20.33.0005 and 32.028.20.41.0002.

WHEREAS, the City of Afton is a municipal corporation organized and existing under the laws of the State of Minnesota; and

WHEREAS, the City Council of the City of Afton has adopted zoning, subdivision, and building regulations as part of the Afton Code of Ordinances, to promote the orderly, economic, and safe development and utilization of land within the City; and

WHEREAS, Will Carlson has applied for an amendment to the Comprehensive Plan for four parcels with **PID#s** 33.028.20.32.0001, 33.028.20.33.0004, 33.028.20.33.0005 and 32.028.20.41.0002; and

WHEREAS, the application proposes an amendment to the Comprehensive Plan to revise the Future Zoning Map to show the parcels listed above as Rural Residential vs. Agriculture; and

WHEREAS, City staff reviewed the request and drafted a report for consideration; and

WHEREAS, the Planning Commission held a public hearing on the application at its regular meeting of September 12, and recommended DENIAL of the Comprehensive Plan amendment on a vote of 9-0-0; and

WHEREAS, the City Council heard the request at its regular meeting on September 20, 2016, at which it considered all of the comments, concerns and recommendations of the Planning Commission and Zoning Administrator and the applicant;

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Afton does hereby APPROVE the Will Carlson application for an amendment to the Comprehensive Plan to show the four parcels with **PID#s** 33.028.20.32.0001, 33.028.20.33.0004, 33.028.20.33.0005 and 32.028.20.41.0002 as Rural Residential vs. Agriculture on the Future Zoning Map, based on the findings listed below, and with the conditions listed below.

Findings:

The findings are to be provided by the Council

Conditions

The conditions, if any, are to be provided by the Council

ADOPTED BY THE CITY COUNCIL OF THE CITY OF AFTON THIS 20TH DAY OF SEPTEMBER, 2016.

SIGNED:

RESOLUTION 2016-XX

Richard Bend, Mayor

ATTEST:

Ronald J. Moore, City Administrator

Motion by:

Second by:

Palmquist:

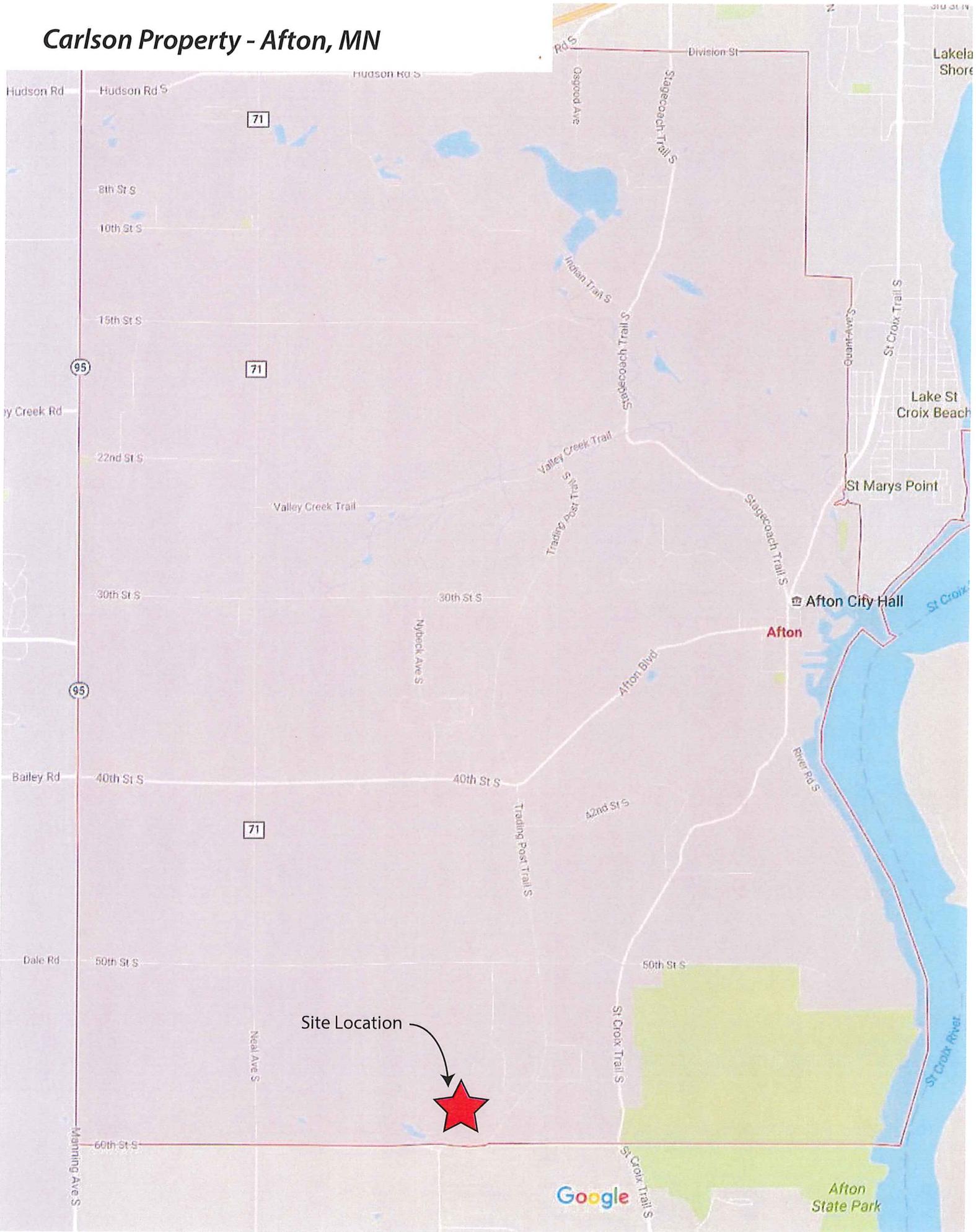
Richter:

Ross:

Nelson:

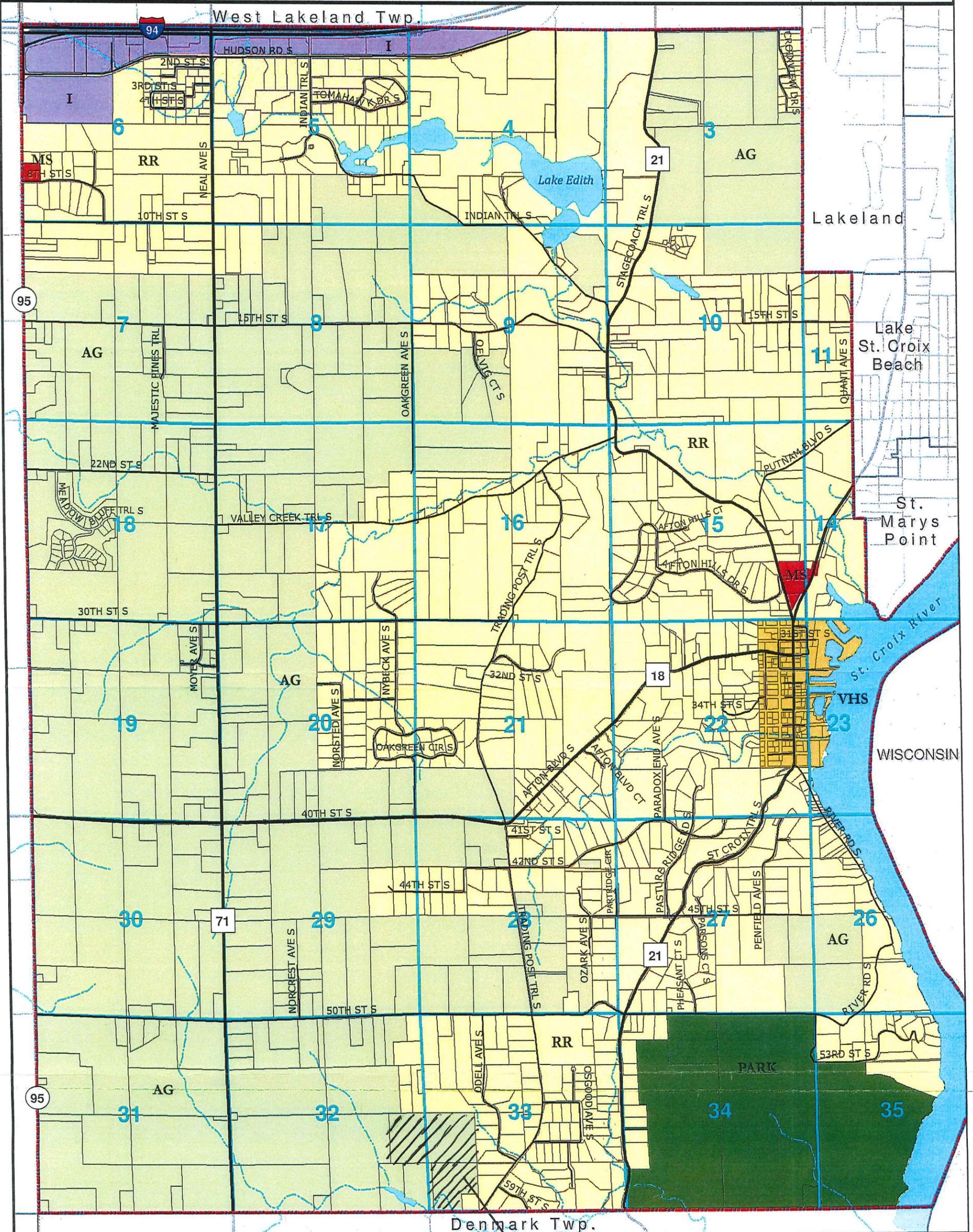
Bend:

Carlson Property - Afton, MN



Future Land Use

MAP 9

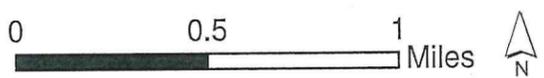


Future Land Use

- Agriculture
- Industrial
- Village Historic Site
- Rural Residential

- State Park
- Marina Services
- City of Afton
- Parcel Boundaries

- Section Lines
- Major Road
- Local Road
- Streams
- Lakes & Rivers



Current Households	Forecasted Households	Distributed to Agriculture District	Distributed to Rural Residential
1100	1250	50	100

Map prepared October 2010 1000 Friends of Minnesota TRC
 Data Sources: City of Afton, Metropolitan Council, MN DNR, MN DOT, & Washington County



FORREST M. ANDERSON

Attorney at Law

US BANK COTTAGE GROVE
7200 - 80th STREET SOUTH
COTTAGE GROVE, MN 55016
TELEPHONE (651) 459-0955
FAX (651) 459-7521

October 10, 2014

Albert Carlson
488 Atwater Circle
St. Paul, MN 55103

RE: Schuster Contract for Deed

Dear Mr. Carlson:

Enclosed herewith please find the Warranty Deed transferring title to the property which you purchased from the Schusters quite some time ago. It is my understanding the contract was paid off this spring and a deed had not been previously provided. In accordance with the contract for deed, the enclosed warranty deed is tendered at this time.

If you have any questions, do not hesitate to contact me.

Sincerely,

Forrest M. Anderson
FORREST M. ANDERSON

FMA/gah
enc.

Warranty Deed-Individual(s) to Individual(s)

STATE DEED TAX DUE HEREON: \$ _____

DATE: Oct 9, 2014

FOR VALUABLE CONSIDERATION Robert W. Schuster, a single person; and James L. Schuster and Carol Schuster, husband and wife, Grantor(s), hereby convey(s) and warrant(s) to Albert W. Carlson, Grantee(s) real property in Washington County, Minnesota, described as follows: .

See attached Exhibit A

(if more space is needed, continue on back)

together with all hereditaments and appurtenances belonging thereto, subject to the following exceptions: Any liens, encumbrances, adverse claims or other matters which the Grantee has created, suffered or permitted to accrue on or after April 21, 2010.

Check box if applicable:

The Seller certifies that the seller does not know of any wells on the described real property.

A well disclosure certificate accompanies this document.

I am familiar with the property described in this instrument and I certify that the status and number of wells on the described real property have not changed since the last previously filed well disclosure certificate.

Robert W. Schuster
Robert W. Schuster

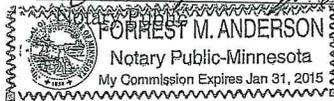
James L. Schuster
James L. Schuster

Carol W. Schuster
Carol Schuster

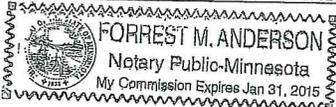
STATE OF MINNESOTA)
) ss.
COUNTY OF WASHINGTON)

The foregoing instrument was acknowledged before me on Oct 9, 2014 by Robert W. Schuster, a single person, Grantor(s).

STATE OF MINNESOTA)
) ss.
COUNTY OF WASHINGTON)



The foregoing instrument was acknowledged before me on Oct 9, 2014 by James L. Schuster and Carol Schuster, husband and wife, Grantor(s).



Forrest M. Anderson
Notary Public

This instrument was drafted by:
Forrest M. Anderson
Attorney at Law
7200 80th Street So.
Cottage Grove, MN 55016
651-459-0955

Tax statements go to:
Albert Carlson
488 Atwater Circle
St. Paul, MN 55103

EXHIBIT "A"

The Southeast Quarter of Section 32, Township 28, Range 20, Washington County, Minnesota, EXCEPTING THEREFROM the East One-half of the Southeast Quarter of the Southeast Quarter of said Section 32 and ALSO EXCEPTING the South 674.45 feet of the West One-half of the Southeast Quarter of the Southeast Quarter of said Section 32 and ALSO EXCEPT the South 674.45 feet of the East One-half of the Southwest Quarter of the Southeast Quarter of said Section 32.

TOGETHER WITH:

The Northwest Quarter of the Southwest Quarter of Section 33, Township 28, Range 20, Washington County, Minnesota.

The North 1 rod (16.5 feet) of the Southeast Quarter of the Southwest Quarter of Section 33, Township 28, Range 20, Washington County, Minnesota lying westerly of the road. 34.005

The North 329.49 feet lying east of the West 103.00 feet of the Southwest Quarter of the Southwest Quarter of Section 33, Township 28, Range 20, Washington County, Minnesota.

BERBERICH WAYNE F & MARGO L
or Current Resident
6089 OAKGREEN AVE S
STINGS MN 55033

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SCHEELA WALTER F & JANIE M
or Current Resident
5525 ODELL AVE S
AFTON MN 55001

TREPP PATRICIA A TRS & JAMES TREPP TRS
or Current Resident
5373 ODELL AVE S
AFTON MN 55001

DAWSON CHRISTIAN A & TERESA M LEWANDOWSKI
or Current Resident
5888 TRADING POST TRL S
AFTON MN 55001

KRAUSE DANIEL M & MARGARET E
or Current Resident
5585 ODELL AVE S
AFTON MN 55001

WILLIAM F DICKES FAMILY TRS
or Current Resident
14708 57TH ST S
AFTON MN 55001

MCCONNELL MARY
or Current Resident
5680 ODELL AVE S
AFTON MN 55001

LARSON MICHAEL P & MELISSA D
or Current Resident
14440 59TH ST S
AFTON MN 55001

AMARAL JAMES P TRS
or Current Resident
PO BOX 10
AFTON MN 55001

TURNER NANCY A & THOMAS RHODI
or Current Resident
13926 60TH ST S
AFTON MN 55001

HENDEL GARY D & DEBRA J
or Current Resident
555 57TH ST S
AFTON MN 55001

ALBERT W CARLSON TRS
or Current Resident
2534 STAGECOACH TR S
AFTON MN 55001

SEELIGER RANDALL K & CAROL M
or Current Resident
14555 59TH ST S
AFTON MN 55001

HELLER PATRICK RUSSELL
or Current Resident
5770 OSGOOD CT
AFTON MN 55001-0000

BRANNAN DANIEL C & THERESA M
or Current Resident
13997 S 50TH ST
AFTON MN 55001

KINNEY GEORGE & JULIE KINNEY
or Current Resident
14433 59TH ST S
AFTON MN 55001

TRS AGR RUSSELL A HAVIR & LINDA A WILCOX
or Current Resident
5682 TRADING POST TRL S
AFTON MN 55001

BERGGREN JEFFREY J
or Current Resident
13787 50TH ST S
AFTON MN 55001

LILLIGREN PATRICIA S TRS
or Current Resident
6211 OAKGREEN AVE S
HASTINGS MN 55033

CITY OF AFTON
or Current Resident
3033 ST CROIX TRL S PO BOX 219
AFTON MN 55001-0219

FORBES DOUGLAS M & JOY A
or Current Resident
5460 ODELL AVE S
AFTON MN 55001

SCHUSTER ROBERT W
or Current Resident
PO BOX 337
AFTON MN 55001

WELCH SHAWN R & PAULA J
or Current Resident
5865 TRADING POST TRL S
AFTON MN 55001

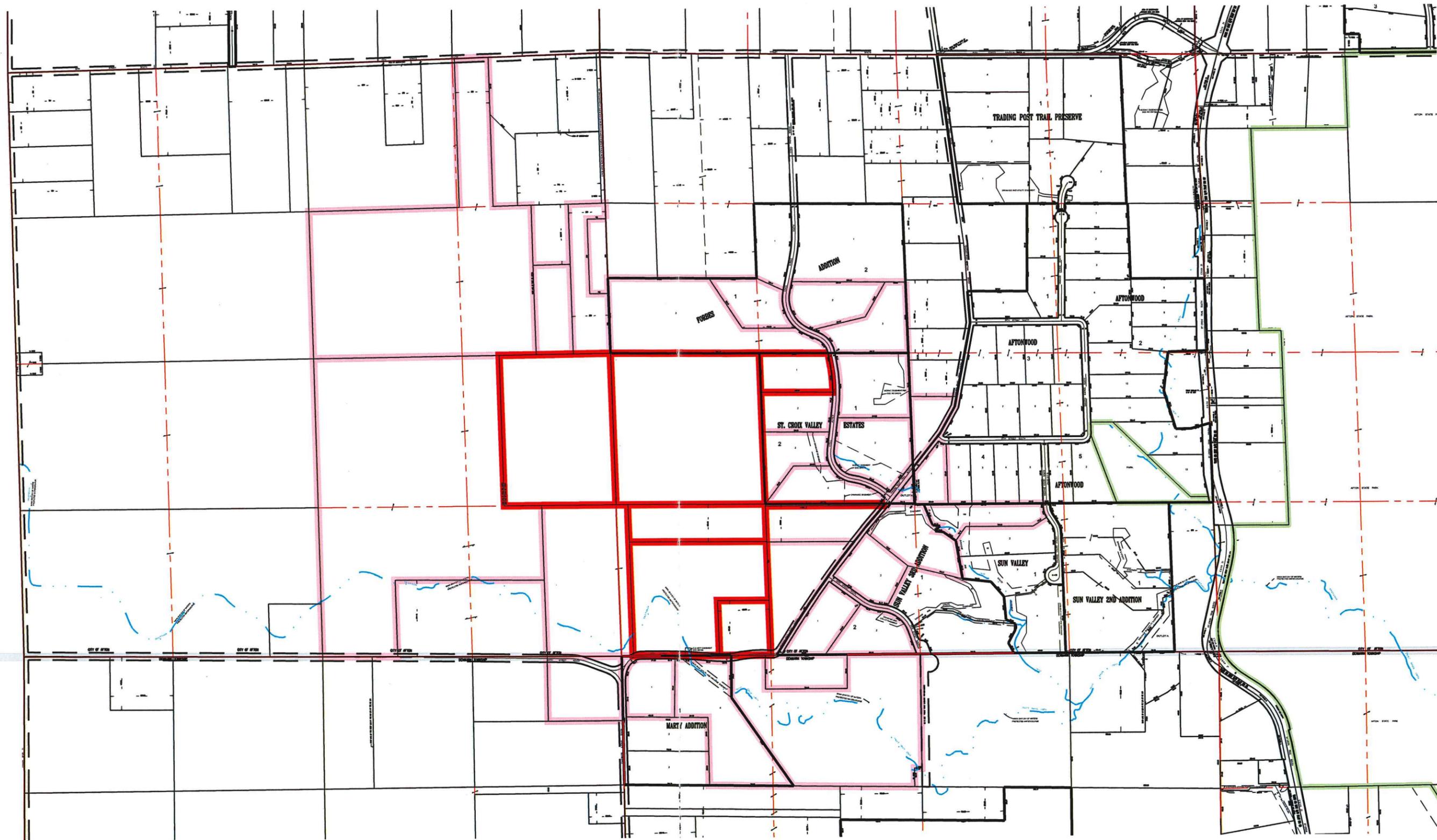
BELZ ROBERT C & PAMELA J
or Current Resident
14023 50TH ST S
AFTON MN 55001

SLAIKEU KEVIN S & VICTORIA L
or Current Resident
14233 60TH ST S
AFTON MN 55001

HALL FRANZ C & CAROL R
or Current Resident
5730 TRADING POST TRL S
AFTON MN 55001

RICKARD JAMES & NICOLE I METTLER
or Current Resident
5650 ODELL AVE S
AFTON MN 55001

LINGENFELTER THOMAS T & CAROL
or Current Resident
368 LONDIN PLACE
SAINT PAUL MN 55119



Washington County
 PUBLIC WORKS DEPARTMENT
 SURVEY AND LAND MANAGEMENT DIVISION
 14949 62nd Street North, P.O. Box 6
 Stillwater, Minnesota 55082-0006
 (651) 430-6875
 surveyor@co.washington.mn.us
 www.co.washington.mn.us/surveyor

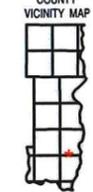
- LEGEND**
- DNR PROTECTED WATERS
 - DNR PROTECTED WETLAND
 - DNR PROTECTED WATERCOURSE
 - MUNICIPAL BOUNDARY
 - PARK BOUNDARY



SCALE: 1 inch = 870 feet

SECTION-TOWNSHIP-RANGE INDEX

2902820	2802820	2702820
3202820	3302820	3402820
0502720	0402720	0302720



* = LOCATION OF THIS MAP

SECTION VICINITY MAP

22	21	12	11
NW	+	NE	
23	24	13	14
	+		
32	31	42	41
SW	+	SE	
33	34	43	44

PROPERTY IDENTIFICATION NUMBER FORMAT (GEOCODE)

SECTION NUMBER	TOWNSHIP NUMBER	RANGE NUMBER	QUARTER NUMBER	SPECIFIC PARCEL
##	###	##	##	####

(0001) - LAST FOUR DIGITS OF PROPERTY IDENTIFICATION NUMBER

THIS DRAWING IS THE RESULT OF A COMPILATION AND REPRODUCTION OF LAND RECORDS AS THEY APPEAR IN VARIOUS WASHINGTON COUNTY OFFICES. WASHINGTON COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES.
 PROPERTY LINES AS SHOWN ARE FOR REFERENCE PURPOSES AND MAY NOT REPRESENT ACTUAL LOCATIONS.
 MAP LAST UPDATED: July 28, 2016
 NO ADDITIONAL CHANGES HAVE BEEN REPORTED TO DATE
 DATE OF CONTOURS: November, 2011 DATE OF PHOTOGRAPHY: None

CONCEPT SKETCH PLAN: RURAL RESIDENTIAL DEVELOPMENT



REZONING DATA:

Adjacent Zoning:	Parcel Perimeter:	Percentage:
Agriculture:	4,090 lf total	44.5%
Rural Residential	5,100 lf total	55.5%

LOT DATA

Lot #:	Gross Area:	Non-buildable Area:	Net Buildable Area:
Lot 1:	6.5 ac	1.0 ac	5.5 ac (net slivers)
Lot 2:	5.0 ac	-	5.0 ac
Lot 3:	5.1 ac	-	5.1 ac
Lot 4:	5.1 ac	-	5.1 ac
Lot 5:	5.2 ac	-	5.2 ac
Lot 6:	5.1 ac	0.7 ac	4.4 ac
Lot 7:	5.1 ac	1.2 ac	3.9 ac
Lot 8:	5.0 ac	-	5.0 ac
Lot 9:	7.0 ac	1.2 ac	5.8 ac
Lot 10:	5.9 ac	-	5.9 ac
Lot 11:	5.8 ac	-	5.8 ac
Lot 12:	5.2 ac	-	5.2 ac
Lot 13:	5.5 ac	-	5.5 ac
Lot 14:	5.1 ac	-	5.1 ac
Lot 15:	5.9 ac	-	5.9 ac
Lot 16:	5.1 ac	-	5.1 ac
Lot 17:	5.0 ac	1.2 ac	3.8 ac
Lot 18:	5.0 ac	0.6 ac	4.4 ac
Park:	6.8 ac	4.1 ac	2.7 ac
R/W:	8.9 ac	-	8.9 ac
Total:	113.3 ac	10.0 ac	103.3 ac

Non-Buildable Areas = Slopes 18% or greater and Wetlands

NOTE: Homes & driveways shown are artist's concepts only, and are subject to change based on final plans and actual building plans.

CONCEPT DATA

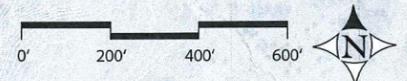
Existing Zoning:	Ag. & RR
102.9 acres zoned Ag; 10.4 acres zoned RR	
Proposed Rezoning:	RR
(>50% of adjacent property zoned RR)	
Gross Site Area:	113.3 ac
Allowable Density:	22 Lots
Minimum 5 acre Lots: 113.3/5.0	
Minimum Lot Area:	5.0 ac
Minimum Buildable Area:	2.5 ac
(net slopes 18% or greater, wetlands)	
Minimum Lot Frontage:	300 ft.
(on public street); For cul-de-sac Lots = min. lot width @ setback	
Minimum Lot Depth:	300 ft.
Setback Standards:	
Front Setback:	105' to Road CL
	150' to 60th Street
Side Setbacks:	50'
Rear Setbacks:	50'
Trout Creek Setback:	200' to OHWL for buildings
	150' to OHWL for septic
Steep Slope Setbacks:	40' to crest of 18%+ slopes
Proposed Single Fam Lots:	18 lots
Proposed Parkland:	6.8 ac.

Westwood

Phone (952) 937-5150 7609 Anagram Drive
 Fax (952) 937-8822 Eden Prairie, MN 55344
 Toll Free (888) 937-5150 westwoods.com

08-08-2016
 0009660

CARLSON PROPERTY
 AFTON, MN



City of Afton
3033 St. Croix Trl, P.O. Box 219
Afton, MN 55001

Meeting Date Sept. 20, 2016

Council Action Memo

To: Mayor Bend and Members of the City Council
From: Ron Moorese, City Administrator
Date: September 14, 2016
Re: Anchor Bank, FSB and Brockman Investments application for a conditional use permit for a trailer parking facility on the property on Hudson Road with PID# 05.028.20.11.0007, (located east of the Chandler, Inc. property at 13526 Hudson Road). **Resolution 2016-45**

Background

Anchor Bank and Brockman Investments have applied for a Conditional Use Permit for a trailer parking lot on the property on Hudson Road with PID# 05.028.20.11.0007, (located east of the Chandler, Inc. property at 13526 Hudson Road). This is similar to two other trailer parking lots Brockman Trucking currently has along Hudson Road. The trailer parking lot falls within the "storage enclosed or screened" use, which requires a conditional use permit.

Engineer Review

Attached is the review memo from the City Engineer. The City Engineer has reviewed the grading and drainage plan with the applicant, and revisions were made to address the City Engineer's initial review comments. The City Engineer has indicated the Preliminary Plans and Stormwater Management Plan meet the stormwater and grading requirements, and overall he recommends approval of the proposed project subject to the items in his September 7 memo being addressed prior to final permit issuance by the City.

Driveway Grading

The proposed driveway to serve the parking area meets the grading requirements for driveways, but does involve disturbance of a small area of slope 18% or greater adjacent to Hudson Road. This area was not shown on the survey. Staff has requested this area be added to the survey.

Valley Branch Watershed District (VBWD) Review

The grading and drainage plan was provided to the Valley Branch Watershed District (VBWD) for review and permitting. The VBWD permit review report is attached. The report indicates the plan meets the rate, volume and water quality requirements of the VBWD.

Findings of Fact

The Council's action needs to be based on a set of findings of fact. The findings of fact that are used as the basis of the Council's action should be listed.

Staff Findings: The following general findings are offered by staff for review and consideration by the Council

1. The applicant has submitted all necessary documents needed for a Conditional Use Permit.
2. The applicant is proposing a 4.51 acre gravel-surfaced trailer parking facility with 209 parking stalls.
3. The applicant has submitted a landscape plan, illustrating 50 coniferous trees, including two rows of trees along the south boundary of the parking area. A similar landscaping plan did not provide sufficient screening for a similar facility at Neal and Hudson Road.
4. The proposal does not include any lighting.
5. Access into the site is proposed at one location off Hudson Road via a driveway which accesses the parking lot.
6. The proposed parking area meets setback requirements.
7. The proposal meets impervious coverage requirements
8. The proposal meets the Valley Branch Watershed District's stormwater management requirements
9. The proposal includes grading of a small area of steep slopes adjacent to Hudson Road for the driveway access to the property.

The Council should consider the findings presented within this report, and any other findings the Council believes are pertinent, and act on the application in one of the three following ways:

1. If the Council determines that the findings support the approval of the application, the Council should approve a motion to recommend approval of the application for a Conditional Use Permit based upon the findings provided within this report or with revision thereof. Approval of the application should be made only with conditions which mitigate potential impacts of the proposal on the community.
2. If the Council determines that additional information is needed to proceed with the approval or denial of the application, the Council may approve a motion to table the application to a later meeting date. If the Council tables the application, the Council must identify the specific materials or information required by the Council to act on the application.
3. If the Council determines that the findings do not support the approval of the application, or directly support the denial of the application, the Council should approve a motion to recommend denial of the application. If the Council approves a motion recommending denial of the application, the Commission must cite specific findings supporting the denial of the application.

Screening

The proposed use must be enclosed or fully screened. The intent of this requirement is that this use would not be visible to the public. The trailer parking lot constructed by Brockman in 2014 was to be fully screened by vegetation. While the vegetation to screen the trailers was installed according to the approved landscape plan, the vegetation does not provide sufficient screening, either from Hudson Road or from I-94. For the current application, because the land slopes down substantially

from Hudson Road, and a portion of the slope is in the Hudson Road right-of-way, the trees need to be planted at the bottom of the slope. This may not enable the trailers to be screened from view by traffic on Hudson Road.

In the IIC Zone, there are architectural standards regarding landscaping that require screening that provides 95% opacity year round. The standards also require a landscape guarantee, which is an agreement between the City and the owner which states that, in exchange for issuance of a building permit, the owner will construct, install, and maintain all items shown on the approved plan and that the owner will replace and/or correct any deficiencies or defaults that occur in the plan for a period of two complete growing seasons subsequent to the installation of the landscaping plan. The landscape guarantee agreement includes a performance bond. If after two growing seasons all the commitments are met, then the bond and contract agreement are released to the applicant or property owner.

Planning Commission Recommendation

The Planning Commission recommended approval of the application on a vote of 8-1-0. The Commission expressed concern about the screening of the facility, and included conditions related to screening that require the final screening plan to be approved by the City Engineer's landscape architect and that require the screening vegetation to be maintained or replaced for a period of five years.

Findings

The following is the list of findings that were the basis of the Planning Commission's recommendation.

1. The applicant has submitted all necessary documents needed for a Conditional Use Permit.
2. The applicant is proposing a 4.51 acre gravel-surfaced trailer parking facility with 209 parking stalls.
3. The applicant has submitted a landscape plan, illustrating 50 coniferous trees, including two rows of trees along the south boundary of the parking area. A similar landscaping plan did not provide sufficient screening for a similar facility at Neal and Hudson Road.
4. The proposal does not include any lighting.
5. Access into the site is proposed at one location off Hudson Road via a driveway which accesses the parking lot.
6. The proposed parking area meets setback requirements.
7. The proposal meets impervious coverage requirements
8. The proposal meets the Valley Branch Watershed District's stormwater management requirements
9. The proposal includes grading of a small area of steep slopes adjacent to Hudson Road for the driveway access to the property.

Conditions

The following is the list of conditions the Planning Commission placed on the trailer parking CUP.

1. All appropriate provisions of the Afton Code of Ordinances shall be complied with for the duration of the permit.

2. Valley Branch Watershed District provisions and recommendations shall be met for the duration of the permit.
3. City Engineer specifications and recommendations for all work including the driveway shall be met for the duration of the permit.
4. Mn/DOT requirements and recommendations regarding site access shall be met.
5. The grading and drainage plan, including ponding areas and the infiltration area, shall be constructed according to plans approved by the VBWD and the City Engineer and in conformity with Valley Branch Watershed District requirements
6. The final landscape plan will need to be approved by the City Engineer's landscape architect.
7. The developer shall post an irrevocable letter of credit in the amount of 125% of the estimated cost of construction of the stormwater facilities and the landscape plan; such letter of credit shall extend for five years beyond the date of approval of this permit by the City Council, and shall be used as a guarantee that the grading will be completed, the drainage facilities will be built and the vegetation planted will survive. The portion of the letter of credit related to the grading and drainage facilities may be reduced after three years if the grading has been completed and the facilities are built and have been approved as built by the City Engineer.
6. There shall be no fueling of vehicles on site.
7. There shall be no maintenance of vehicles on site.
8. Design and location of trailer parking shall conform to the approved site and construction plans.
9. Storage of anything other than the trailers used by the applicant shall not be allowed, nor shall the applicant use the site for storage of personal property or other vehicles, campers, boats, automobiles, etc.
10. Parking areas shall have a durable and dustless surface, as approved by the City Engineer
11. The proposal does not include lighting. If any lighting is added, it shall require an administrative permit. Any lighting shall be designed so that light is directed from the perimeter of the facility towards the center. Lights shall not be directed towards the residential area to the south of the facility, nor shall they adversely affect other property in the area.
12. Design, location, and specifications of all signs shall conform to the Afton Sign Ordinance. All signs shall require a permit to be issued by the Zoning Administrator.
13. Silt fences or other types of erosion control shall be properly installed prior to construction; and, shall maintained in good condition until the construction is complete.
14. No trucks or trailers shall be parked in areas other than those indicated on the plan.
15. Primary hours of operation shall be between the hours of 6:00 a.m. and 8:00 p.m. No more than an average of 10 trucks per day shall be operated in or out of the property between the hours of 6:00 a.m. and 8:00 p.m. The average shall be calculated on a monthly basis.
16. All trucks shall use the Manning Avenue exit/entry on Interstate Highway 94 for the purpose of entering and exiting the site.
17. The used of guard dogs on the premises is prohibited.
18. No hazardous substances, pollutants, (including petroleum and petroleum products) contaminants or harmful substances shall be located or handled or stored on site

19. Non-compliance with the conditions of this permit shall be considered a violation; and, may result in revocation of this permit.
20. Compliance with conditions of this permit shall be monitored on a periodic basis. The conditions of this permit shall apply to the property described and shall not in any way, except as herein noted, be affected by any subsequent sale, lease, or other change in ownership.
21. Construction shall begin within one year of the date of issuance of this permit or the permit shall become null and void.
22. An amended conditional use permit shall be required for any future expansions or alterations.

Resolutions

Attached are a resolution of approval reflecting the Planning Commission's recommendation, and a resolution of denial, for the Council's consideration.

COUNCIL ACTION REQUESTED:

Motion regarding the adoption of a resolution regarding the Anchor Bank, FSB and Brockman Investments application for a conditional use permit for a trailer parking facility on the property on Hudson Road with PID# 05.028.20.11., including conditions if needed.

RESOLUTION 2016-45

**CITY OF AFTON
WASHINGTON COUNTY, MINNESOTA**

A RESOLUTION APPROVING THE ANCHOR BANK, FSB AND BROCKMAN INVESTMENT APPLICATION FOR A CONDITIONAL USE PERMIT FOR A TRAILER PARKING FACILITY ON THE PROPERTY ON HUDSON ROAD WITH PID# 05.028.20.11.0007

WHEREAS, the City of Afton is a municipal corporation organized and existing under the laws of the State of Minnesota; and

WHEREAS, the City Council of the City of Afton has adopted zoning, subdivision, and building regulations as part of the Afton Code of Ordinances, to promote the orderly, economic, and safe development and utilization of land within the City; and

WHEREAS, Anchor Bank, FSB and Brockman Investments have made an application for a conditional use permit for a trailer parking facility on the property on Hudson Road with PID# 05.028.20.11.0007; and

WHEREAS, City staff reviewed the request and drafted a report for consideration; and

WHEREAS, the Planning Commission held a public hearing on the application at its regular meeting of September 12, and recommended APPROVAL of the application on a vote of 8-1-0; and

WHEREAS, the City Council heard the request at its regular meeting on September 20, 2016, at which it considered all of the comments, concerns and recommendations of the Planning Commission and Zoning Administrator and the applicant;

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Afton does hereby APPROVE the Anchor Bank, FSB and Brockman Investments application for a conditional use permit for a trailer parking facility on the property on Hudson Road with PID# 05.028.20.11.0007, based on the findings listed below and with the conditions listed below.

Findings:

1. The applicant has submitted all necessary documents needed for a Conditional Use Permit.
2. The applicant is proposing a 4.51 acre gravel-surfaced trailer parking facility with 209 parking stalls.
3. The applicant has submitted a landscape plan, illustrating 50 coniferous trees, including two rows of trees along the south boundary of the parking area. A similar landscaping plan did not provide sufficient screening for a similar facility at Neal and Hudson Road.
4. The proposal does not include any lighting.
5. Access into the site is proposed at one location off Hudson Road via a driveway which accesses the parking lot.
6. The proposed parking area meets setback requirements.
7. The proposal meets impervious coverage requirements
8. The proposal meets the Valley Branch Watershed District's stormwater management requirements
9. The proposal includes grading of a small area of steep slopes adjacent to Hudson Road for the driveway access to the property.

Conditions of Approval:

RESOLUTION 2016-45

1. All appropriate provisions of the Afton Code of Ordinances shall be complied with for the duration of the permit.
2. Valley Branch Watershed District provisions and recommendations shall be met for the duration of the permit.
3. City Engineer specifications and recommendations for all work including the driveway shall be met for the duration of the permit.
4. Mn/DOT requirements and recommendations regarding site access shall be met.
5. The grading and drainage plan, including ponding areas and the infiltration area, shall be constructed according to plans approved by the VBWD and the City Engineer and in conformity with Valley Branch Watershed District requirements
6. The final landscape plan will need to be approved by the City Engineer's landscape architect.
7. The developer shall post an irrevocable letter of credit in the amount of 125% of the estimated cost of construction of the stormwater facilities and the landscape plan; such letter of credit shall extend for five years beyond the date of approval of this permit by the City Council, and shall be used as a guarantee that the grading will be completed, the drainage facilities will be built and the vegetation planted will survive. The portion of the letter of credit related to the grading and drainage facilities may be reduced after three years if the grading has been completed and the facilities are built and have been approved as built by the City Engineer.
6. There shall be no fueling of vehicles on site.
7. There shall be no maintenance of vehicles on site.
8. Design and location of trailer parking shall conform to the approved site and construction plans.
9. Storage of anything other than the trailers used by the applicant shall not be allowed, nor shall the applicant use the site for storage of personal property or other vehicles, campers, boats, automobiles, etc.
10. Parking areas shall have a durable and dustless surface, as approved by the City Engineer
11. The proposal does not include lighting. If any lighting is added, it shall require an administrative permit. Any lighting shall be designed so that light is directed from the perimeter of the facility towards the center. Lights shall not be directed towards the residential area to the south of the facility, nor shall they adversely affect other property in the area.
12. Design, location, and specifications of all signs shall conform to the Afton Sign Ordinance. All signs shall require a permit to be issued by the Zoning Administrator.
13. Silt fences or other types of erosion control shall be properly installed prior to construction; and, shall maintained in good condition until the construction is complete.
14. No trucks or trailers shall be parked in areas other than those indicated on the plan.
15. Primary hours of operation shall be between the hours of 6:00 a.m. and 8:00 p.m. No more than an average of 10 trucks per day shall be operated in or out of the property between the hours of 6:00 a.m. and 8:00 p.m. The average shall be calculated on a monthly basis.
16. All trucks shall use the Manning Avenue exit/entry on Interstate Highway 94 for the purpose of entering and exiting the site.
17. The used of guard dogs on the premises is prohibited.
18. No hazardous substances, pollutants, (including petroleum and petroleum products) contaminants or harmful substances shall be located or handled or stored on site
19. Non-compliance with the conditions of this permit shall be considered a violation; and, may result in revocation of this permit.

RESOLUTION 2016-45

20. Compliance with conditions of this permit shall be monitored on a periodic basis. The conditions of this permit shall apply to the property described and shall not in any way, except as herein noted, be affected by any subsequent sale, lease, or other change in ownership.
21. Construction shall begin within one year of the date of issuance of this permit or the permit shall become null and void.
22. An amended conditional use permit shall be required for any future expansions or alterations.

ADOPTED BY THE CITY COUNCIL OF THE CITY OF AFTON THIS 20TH DAY OF SEPTEMBER, 2016.

SIGNED:

Richard Bend, Mayor

ATTEST:

Ronald J. Moorese, City Administrator

Motion by:
Second by:
Palmquist:
Richter:
Ross:
Nelson:
Bend:

RESOLUTION 2016-XX

**CITY OF AFTON
WASHINGTON COUNTY, MINNESOTA**

A RESOLUTION DENYING THE ANCHOR BANK, FSB AND BROCKMAN INVESTMENT APPLICATION FOR A CONDITIONAL USE PERMIT FOR A TRAILER PARKING FACILITY ON THE PROPERTY ON HUDSON ROAD WITH PID# 05.028.20.11.0007

WHEREAS, the City of Afton is a municipal corporation organized and existing under the laws of the State of Minnesota; and

WHEREAS, the City Council of the City of Afton has adopted zoning, subdivision, and building regulations as part of the Afton Code of Ordinances, to promote the orderly, economic, and safe development and utilization of land within the City; and

WHEREAS, Anchor Bank, FSB and Brockman Investments have made an application for a conditional use permit for a trailer parking facility on the property on Hudson Road with PID# 05.028.20.11.0007; and

WHEREAS, City staff reviewed the request and drafted a report for consideration; and

WHEREAS, the Planning Commission held a public hearing on the application at its regular meeting of September 12, and recommended APPROVAL of the application on a vote of 8-1-0; and

WHEREAS, the City Council heard the request at its regular meeting on September 20, 2016, at which it considered all of the comments, concerns and recommendations of the Planning Commission and Zoning Administrator and the applicant;

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Afton does hereby DENY the Anchor Bank, FSB and Brockman Investments application for a conditional use permit for a trailer parking facility on the property on Hudson Road with PID# 05.028.20.11.0007, based on the findings listed below and with the conditions listed below.

Findings:

1. The zoning code requires that this use be “enclosed or screened”. The proposed use is not enclosed. The applicant has submitted a landscape plan, illustrating 50 coniferous trees. A similar landscaping plan did not provide sufficient screening for a similar facility at Neal and Hudson Road. The applicant has indicated that due to the topography of the site, it is not possible to substantially screen the trailers from Hudson Road.

ADOPTED BY THE CITY COUNCIL OF THE CITY OF AFTON THIS 20TH DAY OF SEPTEMBER, 2016.

SIGNED:

Richard Bend, Mayor

ATTEST:

RESOLUTION 2016-XX

Ronald J. Moorse, City Administrator

Motion by:

Second by:

Palmquist:

Richter:

Ross:

Nelson:

Bend:



Memorandum

To: Ron Moorse, City of Afton
From: Jesse Carlson, WSB
Date: September 7, 2016
Re: Brockman Truck Parking Plan Resubmittal Review
WSB Project No. 1856-500

A proposed plan was submitted for a grading project to create a large gravel parking area to park truck trailers. The plans were resubmitted on 8/17/2016. WSB staff has reviewed the revisions according to the comments in the Review Memo from 7/19/2016. The following were reviewed:

- Plans, dated 8/12/2016
- Stormwater Management Plan, dated 8/12/2016

The following comments must be addressed prior to obtaining a final permit from the City of Afton:

Procedural

1. Prior to the start of any construction provide documentation that an NPDES permit has been obtained.

Stormwater Management

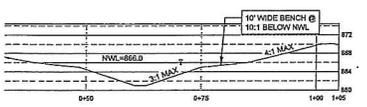
2. The pond configuration on Sheet 3 indicates that once the water elevation in the biofiltration basin reaches 864, the pipe between the pretreatment basin and the biofiltration basin will allow the elevations to equalize. Equalizing the basin elevations will produce new discharge rates and basin HWLs.
The HydroCAD model should be modified to account for equalization between the biofiltration and pre-treatment basins. This may be accomplished by:
 - Using the Sim-Route Reach Routing Method
 - Combining the storage volumes of the biofiltration and pre-treatment basins.

Erosion and Sediment Control

3. The erosion and sediment control plan shall be modified to include the stabilization of the pretreatment basin and infiltration basin pond side slopes with erosion control blanket. This appears as a note in the plan, but it is not exclusively called out or shown to be used around the pretreatment basin.
4. The plan shall include a detail and show the location for the installation of a rock construction entrance.

The Preliminary Plans and Stormwater Management Plan were adequately revised to meet the stormwater and grading requirements and overall we recommend approval of the proposed project with the above noted items being addressed prior to a final permit issuance by the City of Afton.

WET POND TYPICAL SECTION:



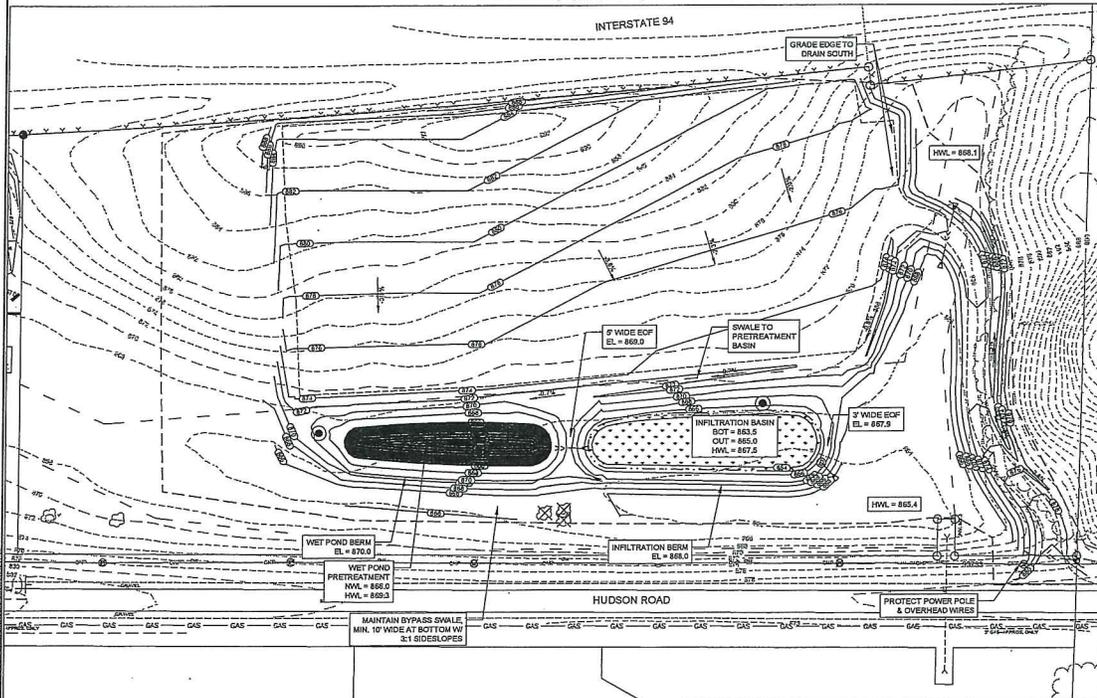
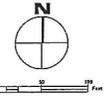
EARTHWORK SUMMARY:

CUT		FILL	
TOPSOIL STRIP (EV)=	8,400 CY	SHRINKAGE =	2,993 CY
RAW CUT (EV)=	17,703 CY	MATERIAL AVAIL. (CV)=	23,140 CY
SECTION CUT (EV)=	0 CY	MODEL FILL (CV)=	22,789 CY
TOTAL CUT=	26,103 CY	SITE BALANCE (CV)=	351 CY (EXCESS)

- EARTHWORK NOTES:**
- All earthwork data is approximate. Contractor is responsible for making earthwork determination.
 - Expanded Volume (EV) is volume of material as presented in existing condition. Contracted Volume (CV) is volume of material placed and compacted.
 - Typical depth and shrinkage factors are estimates (assumed 25% typical shrink and 5% suitable shrink). Topsoil striping estimate includes 8" over proposed grading area.
 - Gravel not included in excess.
 - Contractor to balance sites right aggregate parking area up or down uniformly as necessary.

LEGEND:

- PROPOSED EDGE AGGREGATE
- PROPOSED D & U EASEMENT
- - - EXISTING STORM / CULVERT
- - - PROPOSED STORM / CULVERT
- - - CONSTRUCTION LIMITS
- - - EXISTING CONTOUR
- - - PROPOSED CONTOUR
- XXX DRAINAGE DIRECTION / GRADE
- EXISTING TREE LINE
- PROPOSED AGGREGATE SURFACE
- ▨ PROPOSED POND PRETREATMENT
- ▩ PROPOSED INFILTRATION BASIN
- REMOVE TREE
- ⊗ SOIL BORING LOCATION
- DETAILING / SHEETING



GENERAL NOTES:

- The subsurface utility location information in this plan is utility quality level D. This utility quality level was determined according to the guidelines of CHASCE 38-02, titled "Standard Guidelines for the Collection and Depiction of Existing Subsurface Utility Data." Engineer does not guarantee the accuracy of utility location or that all existing utilities are shown. Certificate of survey completed by Folk, Freeman, Erickson, Inc.
- Contractor is responsible for locating utilities prior to digging.
- Contractor shall comply with all applicable governing codes.
- Contractor is responsible for obtaining all necessary permits not previously obtained by owner.
- Contractor is solely responsible for job site conditions, including safety of all persons and property throughout the duration of the project (not limited to working hours).
- Protect light poles and other existing utilities, signs, trees, etc. Relocation of any private utilities not directed on these plans shall be concluded with the utility owner.
- Damaged items or property not identified for removal shall be repaired or replaced at Contractor's expense; no extra compensation will be allowed for repair or replacement not indicated on plans or agreed upon with previously written authorization.
- Contractor shall not encroach on private property.
- See geotechnical report and test pile case for additional soil information.

GRADING NOTES:

- Topsoil from grading areas shall be stripped, salvaged and stockpiled for respreading to a minimum depth of 6" over the site. Subcut below final grade in fill areas; all organic material / topsoil shall be removed prior to fill.
- Unless noted otherwise, all proposed contours indicate finished grades.
- Soil to be removed and compacted per MNDOT 211.5. Stored and compact in layers less than 8" thick with suitable compaction equipment.
- Berms shall have a maximum side slope of 3:1 (H:V) in fill areas and 2:1 in cut areas; all slopes to be established / powered shall be 3:1 maximum slope.
- Subgrade preparation is incidental to items bid, and shall be approved by Engineer prior to placement of aggregate. Additional suitable material may be mined from disturbed areas.
- Compact all fill placed in gravel areas to 95% of Standard Proctor within 3 feet of the subgrade elevation, and 90% from 3 feet below the subgrade elevation to the bottom of the excavation. A suitable compacted subgrade is required in all areas of aggregate placement (excavated).
- Contact Owner or Engineer if hazardous material is discovered.

AGGREGATE DRIVE & PARKING AREA NOTES:

- MNDOT specification 2211 shall apply to the Class 50 aggregate drive and pad construction. The depth and class of aggregate to be constructed shall be as shown on the plans. Aggregate construction shall take place only after the subgrade condition and grade has been examined by the Owner/Engineer.
- Aggregate shall be placed in lifts no greater than 4". Each layer course shall be verified and noted to achieve maximum compaction of 100% Standard Proctor per MNDOT 2211. Verification of compaction density is the responsibility of Contractor (incident).
- Gravel entrance drive shall include a minimum 2.0%-2.0% slope.
- Established final grade of aggregate surface areas shall be verified by Contractor with shots taken at no more than 50' intervals.

INFILTRATION BASIN & POND NOTES:

- The infiltration area shall be staked / fenced prior to construction to prevent excessive compaction throughout construction. Minimize traffic in this area.
- Excavate infiltration basin to final grade with light-weight equipment or from outside the basin footprint to minimize compaction to extent practical.
- After final grade is reached, add 2" Grade 2 compact (MNDOT 3850.2B), 18" 8-12" deep. Plant native seed and mulch bottom and sideslopes of infiltration basin (Sheet 6).
- Ensure sediment control log is in place around perimeter of infiltration basin (Sheet 6) / remains in place until site is completely vegetated.
- Wet pond area to be lined with impermeable 30 Mil EPDM liner up to the normal water elevation. Liner seams to be developed and sealed per manufacturer installation instructions to provide a waterproof barrier and prevent pond seepage. Cover liner with minimum of 6" gravel to bring to grade. Gravel shall be free of debris, rocks or anything else that may puncture liner. Compacted driveway liner may be substituted, but VSWO requirements must be verified and met (Contractor responsibility).

PRELIMINARY

CIVIL METHODS, INC.
 1351 Livingston Avenue, Suite 104
 West St. Paul, MN 55118
 o:763.210.5713 | www.civilmethods.com

Folk, Freeman, Erickson, Inc.
 LAND PLANNING + SURVEYING + ENGINEERING

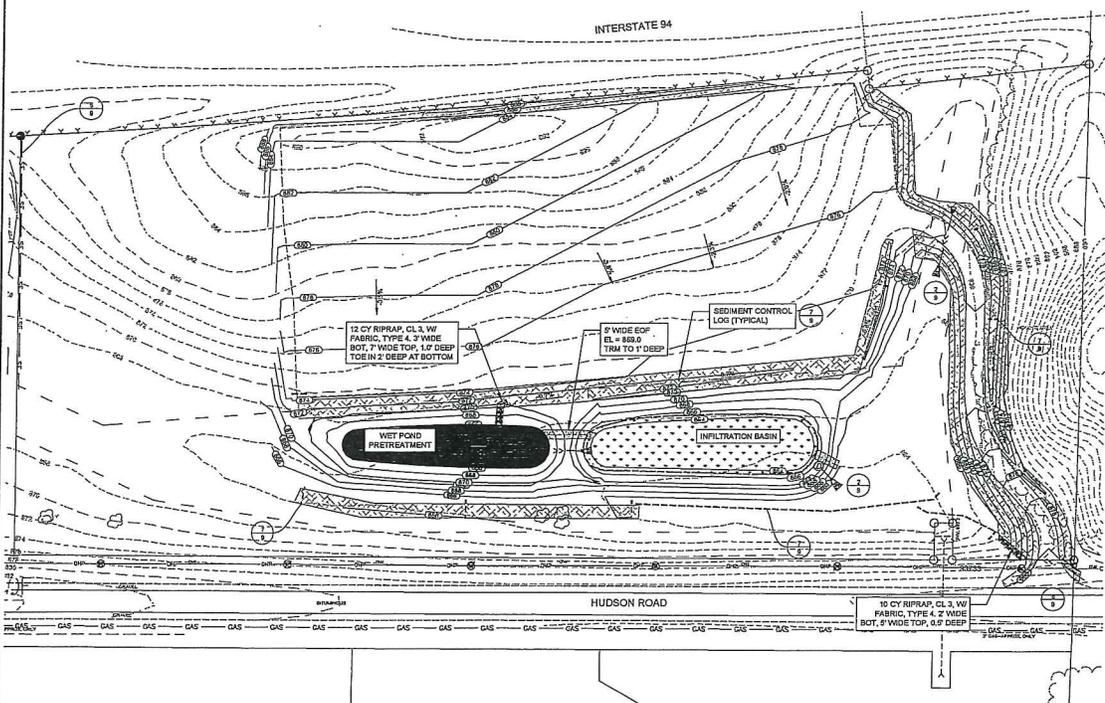
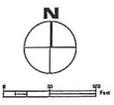
 12445 35TH STREET NORTH
 LAKE ELMO, MINNESOTA 55042
 Phone (612) 431-9833 www.fec.com

DATE OF REVISION: 08/12/2018
 DRAWN BY: DAVID W. FOGG
 CHECKED BY: [Signature]
 SCALE: 44572

BROCKMAN TRUCKING, INC.
 13380 HUDSON ROAD SOUTH
 AFTON, MN 55001

GRADING & DRAINAGE
 BROCKMAN TRUCK PARKING
 AFTON, MN

04
 09



LEGEND:

---	PROPOSED EDGE AGGREGATE	□	PROPOSED AGGREGATE SURFACE
---	PROPOSED D & U CASEMENT	▨	PROPOSED POND PRETREATMENT
---	EXISTING STORM / CULVERT	▩	PROPOSED INFILTRATION BASIN
---	PROPOSED STORM / CULVERT	▧	RIPRAP W/ FABRIC
---	EXISTING CONTOUR	▦	EROSION CONTROL BLANKET, CAT. 3
---	PROPOSED CONTOUR	▥	TURN REINFORCEMENT MAT, CAT. 1
---	STORAGE DIRECTION / GRADE	⊕	DETAIL (N.O.) SHEET NO.
---	SILT FENCE, 18"	⊙	
---	SEDIMENT CONTROL LOG		

- EROSION CONTROL NOTES:**
- See SWPPP sheet for additional information.
 - Install construction entrance and perimeter controls prior to beginning grading operations.
 - Topsoil shall be re-spaced to a minimum thickness of 6" in all restored green spaces.
 - Infiltration basin shall include seed, Type 33-281, and erosion control blanket, Type 0 (P888).
 - Seed areas to be mowed / maintained with MinDOT Mix 25-131.
 - Seed all other areas with MinDOT Mix 25-141.
 - Erosion control blanket, MinDOT Type 3, Wood Fiber 25, shall be installed in ditch bottoms and up slopes minimum of 1:0 vertical feet, and on all slopes 2:1 (H:V) and steeper.
 - All other disturbed areas shall be mulched with MinDOT Type 1 mulch applied at a rate of 200 lb/cy, or blanketed.
 - Sediment control logs shall be minimum 6" diameter and installed up slope to ensure overflow and prevent flow around edge of log during high flow.
 - Base EOPs to include but reinforcement mat, Cat. 1, (P888) as indicated.
 - Riprap quantity and type as indicated, and shall include fabric.

PRELIMINARY

CIVIL METHODS, INC.
 1551 Livingston Avenue, Suite 104
 West St. Paul, MN 55118
 e: 763.210.5713 | www.civilmethods.com

Folz, Freeman, Erickson, Inc.
 LAND PLANNING + SURVEYING + ENGINEERING
 12445 55TH STREET NORTH
 LAKE ELMO, MINNESOTA 55042
 Phone: (953) 439-8833 | www.f3e.com

DESIGNED BY: DAVID M. FOLZ, LICENSED PROFESSIONAL ENGINEER
 DATE: 06-12-2016
 CHECKED BY: DAVID M. FOLZ
 SCALE: AS SHOWN

DATE/REVISION

BROCKMAN TRUCKING, INC.
 13380 HUDSON ROAD SOUTH
 AFTON, MN 55001

EROSION & SEDIMENT CONTROL 06
 BROCKMAN TRUCK PARKING
 AFTON, MN 09

To: VBWD Managers
From: John Hanson
Subject: Brockman Truck Parking, Permit 2016-22
Date: September 1, 2016
Page: 3
Project: 23/82-0020.00 2200 365
c: Susannah Torseth, Ray Roemmich, Melissa Imse

easements) and providing as-built drawings that show that the project was constructed as approved by the Managers and in conformance with the VBWD rules and regulations.

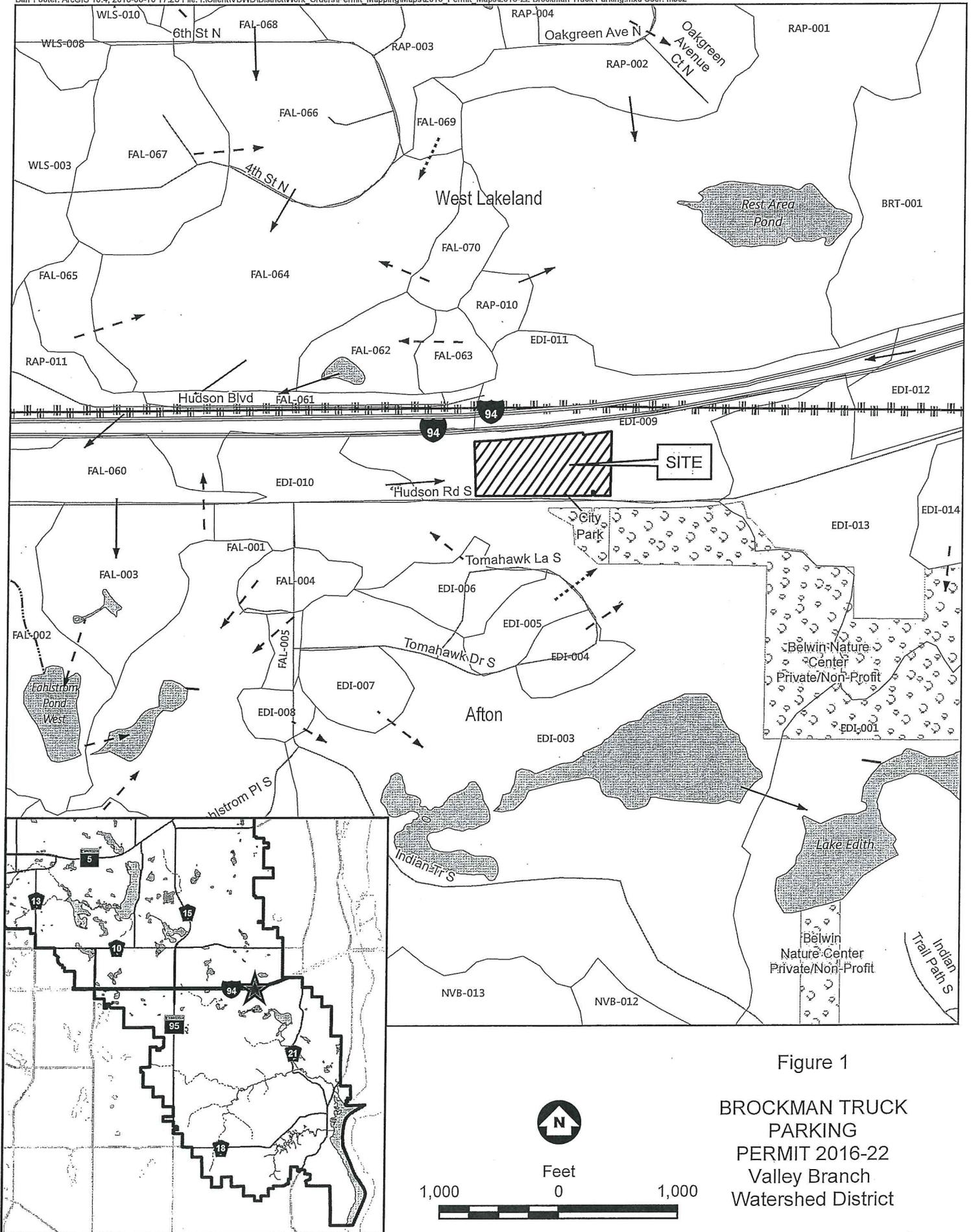


Figure 1

BROCKMAN TRUCK
PARKING
PERMIT 2016-22
Valley Branch
Watershed District



Valley Branch Watershed District Permit Review Memorandum

Subject: Brockman Truck Parking, Permit 2016-22
Applicant and Owner: Jim Brockman
Owner: Anchor Bank
Applicant's Agent: Dave Poggi, Civil Methods, Inc.
Date: September 1, 2016
Barr Project No.: 23/82-0020.00 2200 365

Location: 13900 Hudson Road, Afton
Section/Township/Range: Part of the northeast quarter of Section 5, Township 28 North, Range 20 West
Project Purpose: Construct a 6.26-acre gravel parking lot, a wet pond, and a bioinfiltration basin on a 13.2-acre site

Conformance Summary:

Issue		Conforms to VBWD & WCA Rules?	Comments
Stormwater Management	Rate	Yes	
	Volume	Yes	
	Quality	Yes	
	Maintenance Agreement	No	See Suggested Site-Specific Condition 1
	Easement	Yes	See Standard Conditions 9 and 10
Erosion Control Plan		See comment	See Standard Conditions 4-8
Wetland Management & Buffers	Delineation	NA	
	MNRAM Evaluation	NA	
	Classification	NA	
	Filling/Sequencing	NA	
	Excavating	NA	
	Buffers	NA	
	Hydrology	NA	
	Replacement Plan	NA	
Banking Plan	NA		
Floodplain Management	100-Year Flood Level	Yes	
	Minimum Floor Elevations	NA	
	Filling within Floodplain	NA	
	Easement	No	See Standard Conditions 9 and 10
Permit Fee	Yes	Barr received a check for \$4,448.62, which is enclosed in Treasurer Marchan's packet.	
Surety	No	See Suggested Site-Specific Condition 2	

Suggested Site-Specific Conditions:

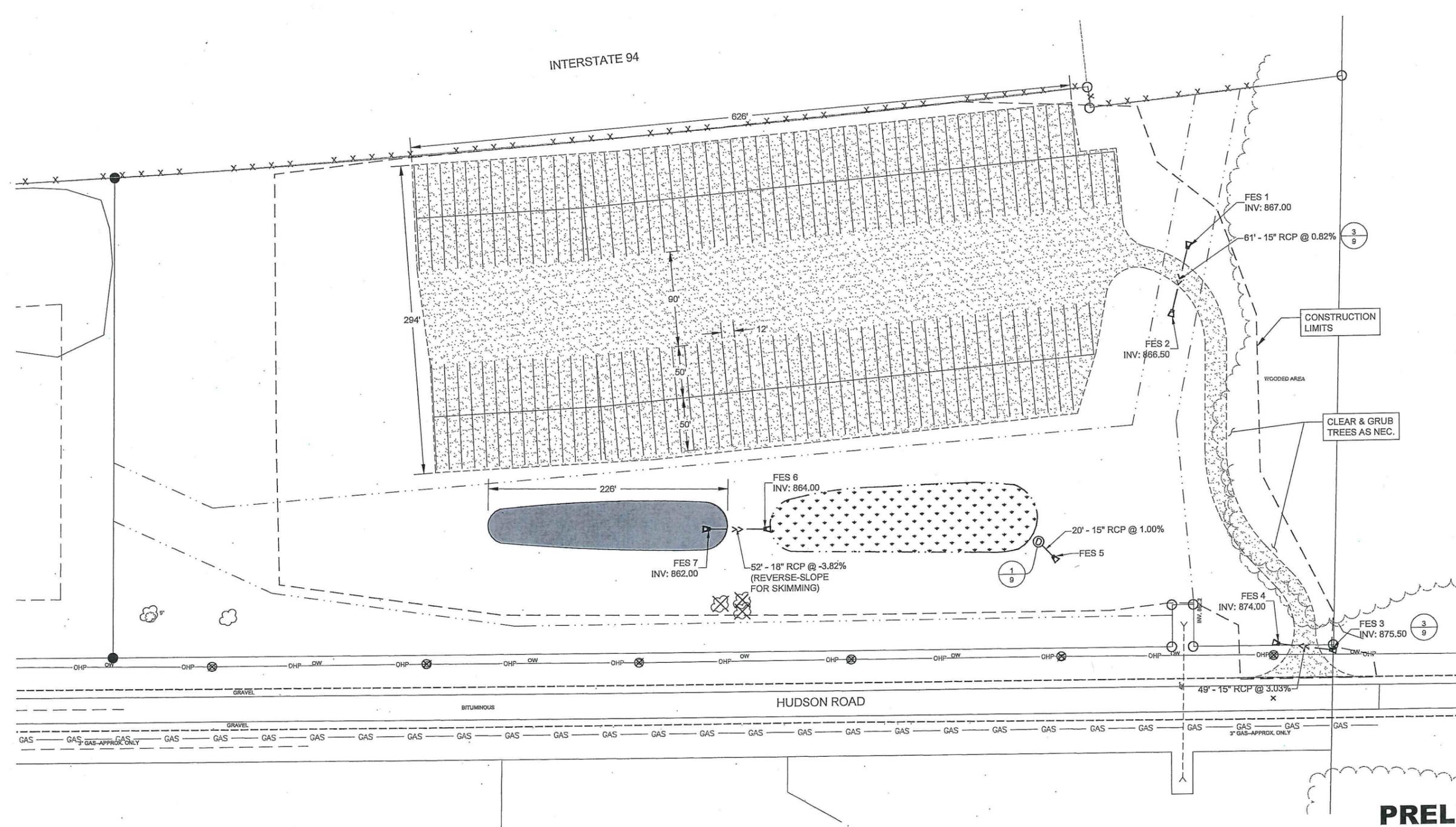
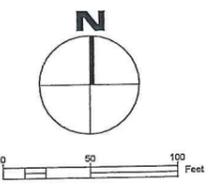
1. This permit is not valid until a maintenance agreement in the general format of Appendix B of the VBWD Rules is submitted to and approved by the VBWD Attorney.
2. The required surety shall be submitted prior to construction.

SITE SUMMARY:

PROPERTY SIZE: 13.22 ACRE
 EXISTING IMPERVIOUS AREA: 0.00 ACRE
 PROPOSED IMPERVIOUS AREA: 4.61 ACRE (8" CLASS 5 AGGREGATE)
 PROPOSED PARKING STALLS: 209
 PROPOSED IMPERVIOUS COVER: 34.9%

LEGEND:

- PROPOSED EDGE AGGREGATE
- - - PROPOSED D & U EASEMENT
- - - EXISTING STORM / CULVERT
- >> PROPOSED STORM / CULVERT
- - - CONSTRUCTION LIMITS
- ~ ~ ~ EXISTING TREE LINE
- [Stippled Box] PROPOSED AGGREGATE SURFACE
- [Blue Box] PROPOSED POND PRETREATMENT
- [Dotted Box] PROPOSED INFILTRATION BASIN
- [X in Circle] REMOVE TREE
- [X in Circle] DETAIL NO. / SHEET NO.



PRELIMINARY

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CIVIL METHODS, INC.
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 o: 763.210.5713 | www.civilmethods.com

Folz, Freeman, Erickson, Inc.
 LAND PLANNING ♦ SURVEYING ♦ ENGINEERING

 12445 55TH STREET NORTH
 LAKE ELMO, MINNESOTA 55042
 Phone (651) 439-8833 www.ffe-inc.com

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

 DAVID M. POGGI
 DATE: 08-12-2016
 LIC. NO.: 44573

DATE / REVISION:

BROCKMAN TRUCKING, INC.
 13380 HUDSON ROAD SOUTH
 AFTON, MN 55001

LAYOUT & UTILITIES
 BROCKMAN TRUCK PARKING
 AFTON, MN

03
 09

EARTHWORK SUMMARY:

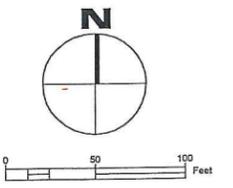
CUT		FILL	
TOPSOIL STRIP (EV)=	8,430 CY	SHRINKAGE =	2,993 CY
RAW CUT (EV)=	17,703 CY	MATERIAL AVAIL. (CV)=	23,140 CY
SECTION CUT (EV)=	0 CY	MODEL FILL (CV)=	22,789 CY
TOTAL CUT=	26,133 CY	SITE BALANCE (CV)=	351 CY (EXCESS)

EARTHWORK NOTES:

- All earthwork data is approximate; Contractor is responsible for making earthwork determination.
- Excavated Volume (EV) is volume of material as present in existing condition; Compacted Volume (CV) is volume of material placed and compacted.
- Topsoil stripping depth and shrinkage factors are estimates (assumed 25% topsoil shrink and 5% suitable shrink). Topsoil stripping estimate includes 8" over proposed grading area.
- Section cut included in raw cut.
- Contractor to balance site; adjust aggregate parking area up or down uniformly as necessary.

LEGEND:

- PROPOSED EDGE AGGREGATE
- - - PROPOSED D & U EASEMENT
- - - EXISTING STORM / CULVERT
- >> PROPOSED STORM / CULVERT
- - - CONSTRUCTION LIMITS
- - - EXISTING CONTOUR
- - - PROPOSED CONTOUR
- > DRAINAGE DIRECTION / GRADE
- EXISTING TREE LINE
- [Pattern] PROPOSED AGGREGATE SURFACE
- [Pattern] PROPOSED POND PRETREATMENT
- [Pattern] PROPOSED INFILTRATION BASIN
- [Symbol] REMOVE TREE
- [Symbol] SOIL BORING LOCATION
- [Symbol] DETAIL NO. / SHEET NO.



GENERAL NOTES:

- The subsurface utility location information in this plan is utility quality level D. This utility quality level was determined according to the guidelines of C/ASCE 38-02, titled "Standard Guidelines for the Collection and Depiction of Existing Subsurface Utility Data." Engineer does not guarantee the accuracy of utility locations or that all existing utilities are shown.
- Certificate of Survey completed by Folz, Freeman, Erickson, Inc.
- Contractor is responsible for locating utilities prior to digging.
- Construction shall comply with all applicable governing codes.
- Contractor is responsible for obtaining all necessary permits not previously obtained by owner.
- Contractor is solely responsible for jobsite conditions, including safety of all persons and property throughout the duration of the project (not limited to working hours).
- Protect light poles and other existing utilities, signs, trees, etc. Relocation of any private utilities not directed on these plans shall be coordinated with the utility owner.
- Damaged items or property not identified for removal shall be repaired or replaced at Contractor's expense; no extra compensation will be allowed for repair or replacement not indicated on plans or agreed upon with previously written authorization.
- Contractor shall not encroach on private property.
- See geotechnical report and test pit data for additional soil information.

GRADING NOTES:

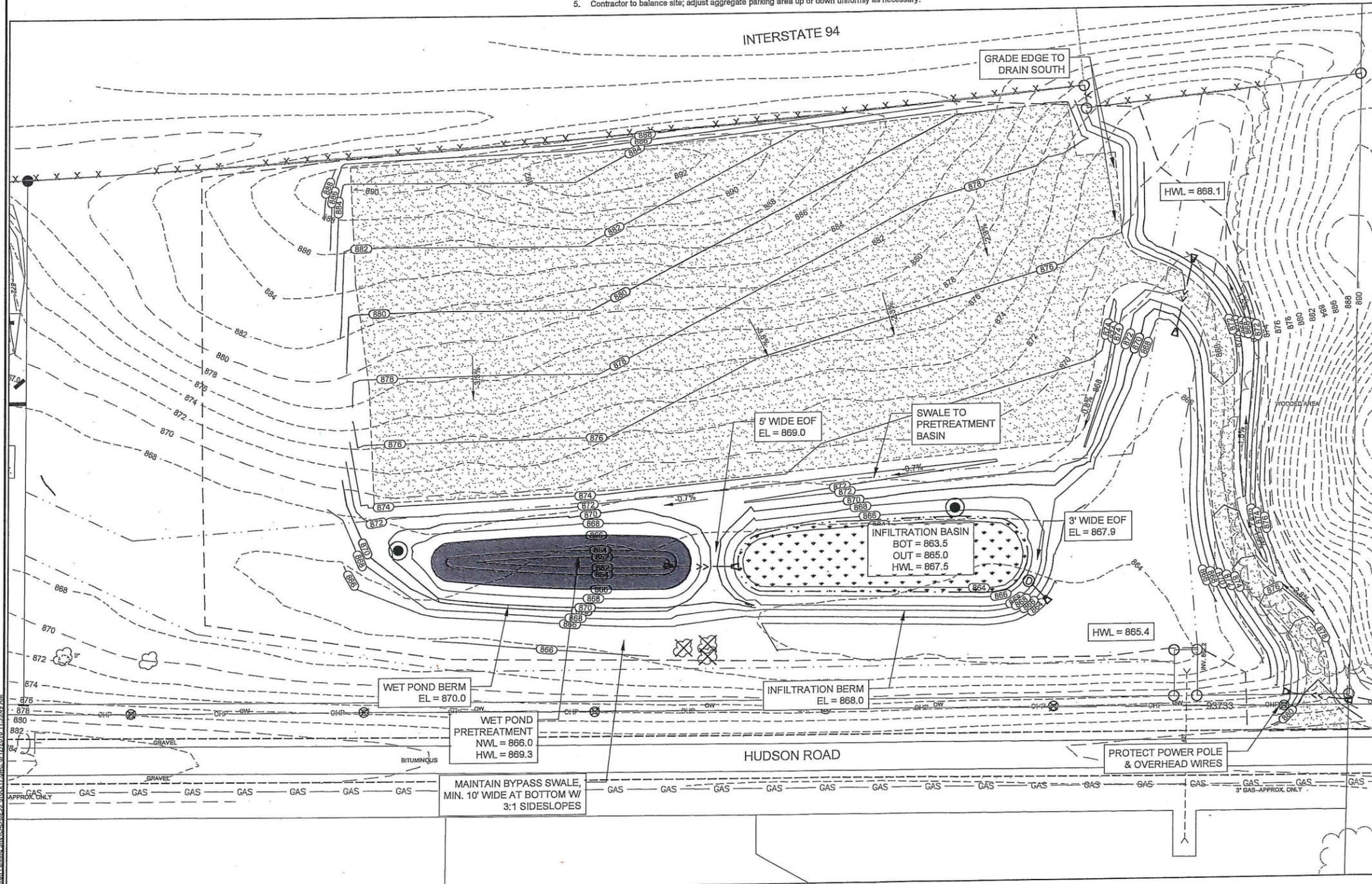
- Topsoil from grading areas shall be stripped, salvaged and stockpiled for respreading to a minimum depth of 6" over the site. Subcut below final grade in fill areas; all organic material / topsoil shall be removed prior to fill.
- Unless noted otherwise, all proposed contours indicate finished grades.
- Swales to be formed and compacted per Mn/DOT 2105. Spread and compact in layers less than 8" thick with suitable compaction equipment.
- Berms shall have a maximum sideslope of 3:1 (H:V) in fill areas and 2:1 in cut areas; all slopes to be maintained / mowed shall be 3:1 maximum slope.
- Subgrade preparation is incidental to items bid, and shall be approved by Engineer prior to placement of aggregate. Additional suitable material may be mined from disturbed areas.
- Compact all fill placed in gravel areas to 95% of Standard Proctor within 3 feet of the subgrade elevation, and 90% from 3 feet below the subgrade elevation to the bottom of the excavation. A suitable compacted subgrade is required in all areas of aggregate placement (incidental).
- Contact Owner or Engineer if hazardous material is discovered.

AGGREGATE DRIVE & PARKING AREA NOTES:

- Mn/DOT specification 2211 shall apply to the Class 5Q aggregate drive and pad construction.
- The depth and class of aggregate to be constructed shall be as shown on the plans. Aggregate construction shall take place only after the subgrade condition and grade has been examined by the Owner/Engineer.
- Aggregate shall be placed in lifts no greater than 4". Each layer course shall be wetted and rolled to achieve maximum compaction of 100% Standard Proctor per Mn/DOT 2211. Verification of compaction density is the responsibility of Contractor (Incidental).
- Gravel entrance drive shall include a minimum 2.0% - 3.0% cross slope.
- Established final grades of aggregate surface areas shall be verified by Contractor with shots taken at no more than 50 ft intervals.

INFILTRATION BASIN & POND NOTES:

- The infiltration area shall be staked / fenced prior to construction to prevent excessive compaction throughout construction. Minimize traffic in this area.
- Excavate infiltration basin to final grade with light-weight equipment or from outside the basin footprint to minimize compaction to extent practical.
- After final grade is reached, add 2" Grade 2 compost (Mn/DOT 3890.2B), till 8-12" deep.
- Plant native seed and blanket bottom and sideslopes of infiltration basin (Sheet 6).
- Ensure sediment control log is in place around perimeter of infiltration basin plantings / seed (to remain in place until site is completely vegetated).



PRELIMINARY

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 13380 HUDSON ROAD SOUTH
 AFTON, MN 55001

GRADING & DRAINAGE
 BROCKMAN TRUCK PARKING
 AFTON, MN

04
 09

ALL CONSTRUCTION ACTIVITIES MUST MEET THE REQUIREMENTS OF THE MPCA'S GENERAL PERMIT AUTHORIZATION TO DISCHARGE STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITY UNDER THE NPDES/SDS PROGRAM (MNR100001). All sheets of this planset, as well as the related Project SWMP, are hereby referenced as part of this SWPPP; any related pages shall be revised as appropriate for differing site conditions.

RESPONSIBLE PARTIES:

OWNER: Jim Brockman
 Contact: _____ Phone: _____
 SWPPP PREPARER: Civil Methods, Inc.
 Contact: Dave Poggi, PE Phone: 763.210.5713
 CONTRACTOR: _____
 Main Contact: _____ Phone: _____
 Responsible Inspector: _____ Phone: _____

CONSTRUCTION DESCRIPTION:

This project includes site grading for a truck parking lot in the City of Afton, Washington County, MN (Lat: 44.947750, Long: -92.825053). The site work will include disturbance of 11.0 of the 13.2 acre property for the construction of a 20' wide aggregate drive and 209 stall truck parking lot, as well as associated grading and utility work. Approximately 26,000 CY of material will be excavated and moved on-site, and all areas will be stabilized and restored as indicated in the plans. Riprap will be installed at all culvert pipe outlets, as well as discharge areas where erosion is a concern. The contractor shall sign the MPCA NPDES Construction Stormwater Permit application as "Operator" and be solely responsible for meeting the erosion and sediment control requirements of the permit.

Disturbed Area: 9.0 acres
 Pre-Construction Impervious Area: 0.00 acres
 Post-Construction Impervious Area: 4.61 acres
 Newly Created Impervious Area: 4.61 acres
 Permanent Stormwater Treatment Required (if >1.0 acre): YES

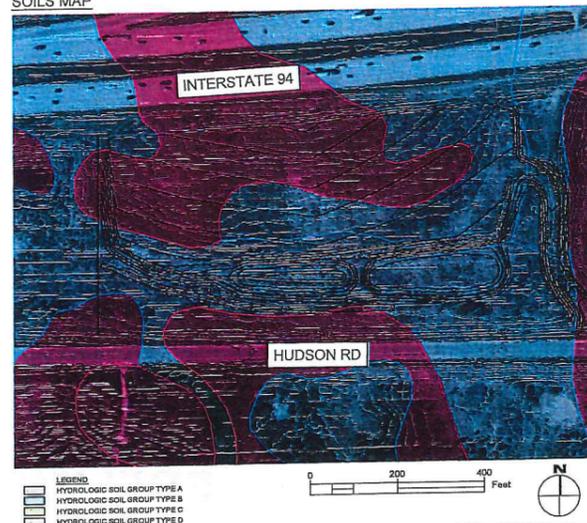
STORMWATER MANAGEMENT:

Permanent stormwater management is required by the MPCA, Valley Branch Watershed District, and City of Afton, and is described in detail in the project Stormwater Management Plan (SWMP) document. In summary, the site has been designed to infiltrate a WQV of 1.1" from the site impervious area, which will be pretreated in a wet-pool basin. Discharge rates from the site have been maintained for the design rainfall events, as required.

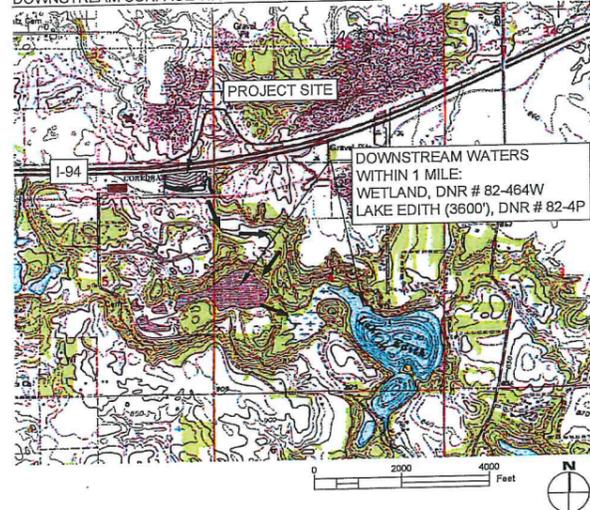
The entire site drains to a 42" CMP culvert under Hudson Rd near the southeast corner of the property, which also receives offsite runoff from the east (Chandler) and north (Mn/DOT ROW). The receiving waters within 1 mile of the site include a wetland and Lake Edith (see figure below), neither of which appear on the MPCA's Impaired Waters List.

Soils at the site are primarily silty-sand loams, with more silts in the low areas of the site. The underlying soils is sand, with weathered limestone bedrock below. The soils range in hydrologic condition, from highly permeable HSG Type A soils to moderately permeable Type B. Borings in the area of the proposed infiltration basin indicate it is suitable for infiltration practices.

SOILS MAP



DOWNSTREAM SURFACE WATERS AND WETLANDS



EROSION & SEDIMENT CONTROL QUANTITIES

EROSION & SEDIMENT CONTROL

- 1) The contractor shall use phased construction whenever practical to minimize disturbed area at any one time.
- 2) All exposed soil areas must be stabilized as soon as possible to limit soil erosion but in no case later than **14 days** after the construction activity in that portion of the site has temporarily or permanently ceased.
- 3) The following shall be installed within **24 hours** of connection to surface water or property edge:
 - a. Energy dissipation (riprap) at all outlet aprons
 - b. Stabilization of temporary or permanent drainage swales within 200' of property boundary or connection to surface water (e.g., storm sewer inlet, drainage swale, etc.)
- 4) A vehicle tracking BMP must be installed at the site entrance where haul vehicles are entering and exiting the site, including: rock pad, slash mulch, wash rack, etc. Streets must be swept within 24 hours of discovery of offsite tracking.
- 5) Temporary stockpiles must have silt fence or other applicable sediment control device around the base of the pile.
- 6) The Contractor shall be responsible to control sediment-laden surface water from leaving site. All mobilized sediment that has left the construction zone shall be collected by the contractor and properly disposed of at no additional cost to the owner.
- 7) **Any fines levied due to inadequate erosion or sediment control practices, sediment discharging from the site, etc., shall be the responsibility of the Contractor.**
- 8) Inlets shall be protected from sediment at all times, with appropriate protection installed for each phase of development.
- 9) Adjacent roads must be inspected and kept clear of sediment; roads to be swept within 24 hours of tracked sediment discovery.
- 10) Additional temporary BMPs may be required to reduce the potential for sediment transport during construction. If deemed necessary by onsite personnel, Engineer or Owner shall be contacted immediately for approval or guidance, if available. Otherwise best judgment shall be used to provide rapid stabilization or sediment controls as necessary to minimize potential pollutant discharge.

CONSTRUCTION IMPLEMENTATION SCHEDULE & PHASING

1. Install perimeter silt fence and construction entrance as shown prior to site disturbance.
2. Complete topsoil stripping and rough grading of site (do not cut infiltration area to final grade initially).
3. Stake / fence off infiltration basin area and avoid excessive compaction by minimizing traffic to the area.
4. Wet pond area (not infiltration area) may be used for construction treatment, but must be restored to design elevation.
5. Install culverts and complete grading.
6. Construction infiltration cell; protect from sediment until site is stabilized.
7. Complete site restoration.
8. Ensure final stabilization measures are complete (remove temporary controls after vegetation is established).
9. Submit Notice of Termination (NOT) to MPCA within 30 days.

DEWATERING & BASIN DRAINING

- 1) Dewatering water, if necessary, must be discharged to a temporary or permanent sediment basin when feasible; if not feasible, appropriate BMPs must be used to prevent sediment-laden water from discharging downstream.
- 2) Use appropriate energy dissipation measures on all discharges to prevent erosion at discharge outlet. Discharge must not cause nuisance or erosive conditions to downstream properties or receiving channels. Excessive inundation of downstream wetlands is not permitted (if applicable).
- 3) If filters with backwash water are used, all backwash water must be hauled offsite for disposal, returned to the beginning of the treatment process, or incorporated into the site in a manner not causing erosion.

INSPECTIONS & MAINTENANCE

- 1) The contractor must routinely inspect the construction site once every 7 days during construction, and within 24 hrs of receiving more than 1/2" of rain in 24 hrs. Rainfall amounts must be measured by a properly installed rain gage onsite, or from a weather station within 1 mile of the project.
- 2) All inspections must be recorded and retained onsite with the SWPPP. Inspections shall include: date/time, name of individual, date & amount of rainfall, findings, corrective actions, observed discharge/location/description, any proposed SWPPP amendments.
- 3) Inspections may be suspended when work is stopped due to frozen conditions. The Contractor's inspector must resume inspections within 24 hours after runoff occurs at the site or prior to resuming construction, whichever comes first.
- 4) Silt fence (or related perimeter control device) must be maintained when accumulated sediment reaches 1/2 of the device height, or if device becomes ineffective (by the end of the next business day following discovery).
- 5) Permanent and temporary sediment basins, if applicable, shall be drained and cleaned when sediment depth reaches 1/2 of original storage volume; complete within 72 hrs of discovery. Must be cleaned prior to project completion.
- 6) Non-functional BMPs must be repaired or replaced by the end of the next business day following discovery.
- 7) Inspect downstream ditch / drainage system for signs of erosion or sediment buildup during each inspection; stabilize within 7 days.

POLLUTION PREVENTION

- 1) All solid waste generated at the site must be disposed of in accordance with all applicable federal and state regulations.
- 2) All hazardous materials must be properly stored/contained to prevent spills or leaks; materials must be properly disposed of per applicable regulations, including Minn. Rule Ch. 7045. Restricted access storage areas must be provided to prevent vandalism.
- 3) Vehicle or equipment washing must be confined to a defined area (minimum of 100' from pond or drainage ditch); runoff containing any hazardous materials must be collected and properly disposed of. Defined area must be delineated with heavy-duty silt fence (incidental); no engine degreasing is allowed on-site.
- 4) Pesticides, herbicides, insecticides, fertilizers, treatment chemicals, and landscape materials must be under cover to prevent pollutant discharge, or protected by similar means to minimize potential contact with stormwater.
- 5) Concrete and other washout waste must be effectively contained - solid and liquid washout waste must not contact ground and be disposed of properly in compliance with MPCA rules. A sign must be installed at washout area requiring personnel to utilize the proper facilities for disposal of concrete and other wastes.
- 6) The contractor is solely responsible for monitoring air pollution and ensuring that it does not exceed levels set by any agency or LGU. This includes dust created by work performed at the site; air pollution and dust control measures are incidental to the contract. The engineer may require additional dust control measures to be implemented, as necessary.
- 7) Adequate temporary restroom facilities shall be present onsite during construction operations, and shall be maintained in an adequate functioning condition.

FINAL STABILIZATION

- 1) The contractor must ensure final site stabilization meets the permit requirements, and submit the NOT within 30 days.
- 2) Final stabilization includes uniform perennial vegetative cover of at least 70% of the expected final growth density over the entire pervious surface area, or other equivalent cover to prevent soil erosion.
- 3) All temporary synthetic and structural BMPs must be removed as part of final stabilization.

TRAINING REQUIREMENTS

The permittees must comply with the training requirements as outlined in Part III.F of the Permit. The Contractor shall have a trained individual performing BMP inspections, as required.

RECORD RETENTION

- 1) The SWPPP, all revisions to it, and inspection & maintenance records are the responsibility of the Contractor and must remain at the site during construction.
- 2) Training documentation shall be provided by Contractor as required by Permit Section III.A.3.
- 3) The SWPPP, project permits, inspection/maintenance logs, stormwater maintenance agreements, and stormwater management design calculations must be retained for 3 years after submittal of permit NOT. Contractor shall provide Engineer copies of inspection and maintenance logs prior to final payment.

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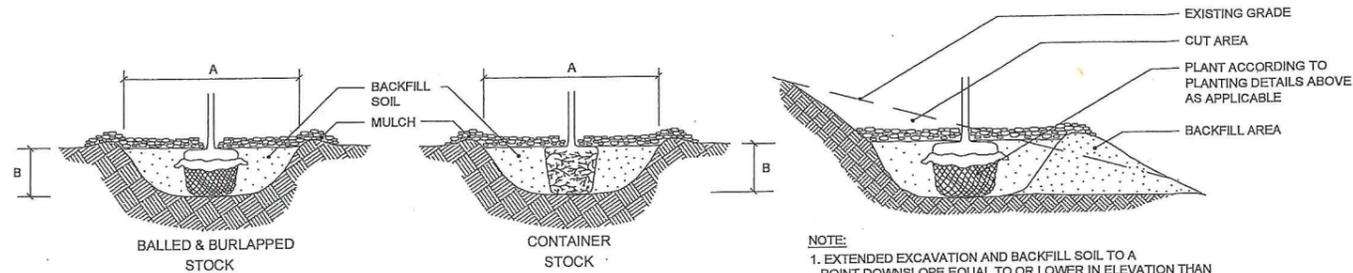
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 LIC. NO.: 44573

DATE / REVISION:

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 13380 HUDSON ROAD SOUTH
 AFTON, MN 55001

SWPPP
 BROCKMAN TRUCK PARKING
 AFTON, MN



PLANTING DETAIL FOR STEEP SLOPES

PLANT TYPE	PLANT SIZE (UP TO AND INCLUDING)	MINIMUM HOLE DIMENSIONS (INCHES)	
		A	B
CONIFEROUS TREES	3' B.B.	42	11
	4' B.B.	51	13
	5' B.B.	60	13
	6' B.B.	66	15
	7' B.B.	72	16
	8' B.B.	81	18
9' B.B.	90	20	
10' B.B.	102	21	
CONTAINER GROWN PLANTS	#1 cont.	18	6
	#2 cont.	23	7.5
	#3 cont.	29	8.5
	#5 cont.	30	11
	#7 cont.	37	11
	#10 cont.	44	14
#15 cont.	45	15	
#20 cont.	60	17	
#25 cont.	72	16	

NOTES:

1. THE PLANTING DETAILS REPRESENT ADEQUATELY DRAINED SOIL CONDITIONS. THE CONTRACTOR SHOULD EXERCISE DISCRETION IN SETTING PLANTS 1"-3" HIGHER IN POORLY DRAINED SOILS.
2. ON 2:1 SLOPES OR GREATER, DO NOT CONSTRUCT THE UPHILL HALF OF THE WATERING BASIN.
3. ON WET, POORLY DRAINED SOILS, DO NOT CONSTRUCT WATERING BASIN.
4. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATE DRAINAGE IN HEAVY POORLY DRAINED OR IMPERVIOUS SOILS.
5. PLANTS SHOULD BE SET AT THE PROPER DEPTH WHEREBY THE BEGINNING TAPER OF THE ROOT FLARE IS AT THE SAME ELEVATION AS THE FINISHED SOIL GRADE. THIS SHOULD BE THE SAME DEPTH AS THE PLANTS WERE GROWN AT IN THE NURSERY. NOTE THAT THE ROOTS OF BALLED AND BURLAPPED PLANTS ARE UNACCEPTABLE WHEN THEY ARE COVERED BY MORE THAN 4" OF SOIL IN THE TOP OF THE BALL.
6. DELAY MULCH PLACEMENT IF NECESSARY TO ALLOW MORE TIME FOR EXCESS SOIL MOISTURE TO EVAPORATE FROM PLANTING AREAS BEFORE PLACING MULCH.

BALLED & BURLAPPED STOCK

1. SCARIFY SIDES AND BOTTOM OF HOLE.
2. PROCEED WITH CORRECTIVE PRUNING AS DIRECTED BY ENGINEER.
3. SET PLANT ON UNDISTURBED NATIVE SOIL, OR THOROUGHLY COMPACTED BACKFILL SOIL AT THE SAME DEPTH (IF PROPER) AS IT WAS GROWN IN THE NURSERY.
4. PLANT SHALL BE PLACED IN PLANTING HOLE WITH BURLAP AND WIRE BASKET, IF USED, INTACT. ONCE IN PLACE, THE PLANT SHALL BE BACKFILLED TO WITHIN 12" OF THE TOP OF THE ROOTBALL AND WATERED. THE TOP LOOPS OF THE WIRE BASKETS SHALL BE REMOVED AND THE BURLAP SHALL BE FOLDED OR CUT BACK.
5. PLUMB AND BACKFILL WITH THE BACKFILL SOIL SPECIFIED.
6. APPLY WATER TO SETTLE PLANTS AND FILL VOIDS THEN CONSTRUCT 3" DEPTH WATERING BASIN.
7. WATER THOROUGHLY WITHIN 2 HOURS.
8. PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.
9. BIODEGRADABLE TWINE MAY BE LEFT ON AS SUPPORT BETWEEN THE ROOT BALL AND ROOT COLLAR UNTIL THE END OF THE PLANT ESTABLISHMENT PERIOD AT WHICH TIME IT MUST BE CUT AND TOTALLY REMOVED FROM THE ROOT COLLAR. THE TWINE MUST BE TIED OR RETIED TO MID-LEVEL LOOPS OR POINTS ON THE BASKET. USE OF NONBIODEGRADABLE TWINE SHALL NOT BE PERMITTED.

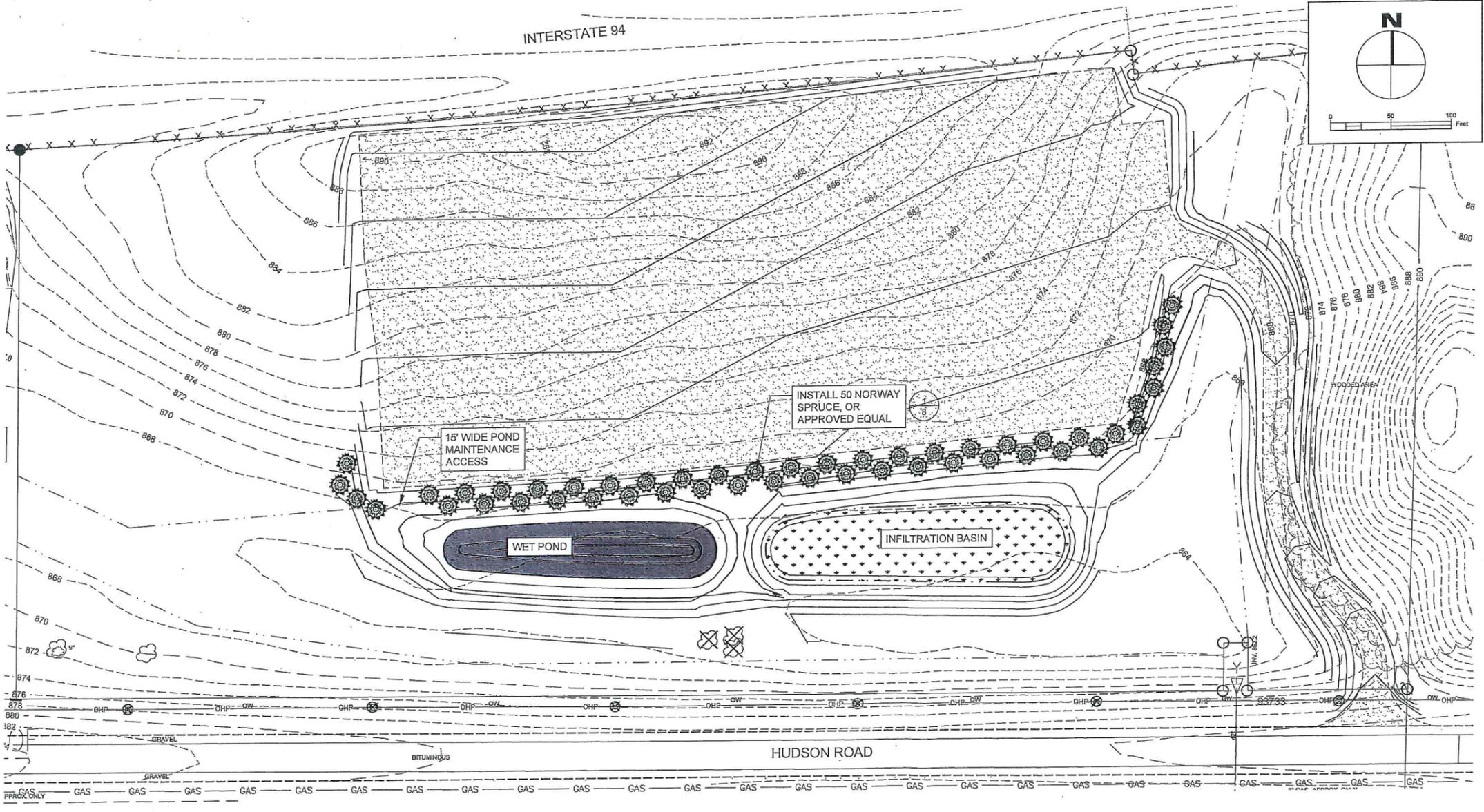
CONTAINER STOCK

1. SCARIFY SIDES AND BOTTOM OF HOLE.
2. PROCEED WITH CORRECTIVE PRUNING AS DIRECTED BY ENGINEER.
3. REMOVE CONTAINER AND SCORE OR PRUNE OUTSIDE OF SOIL MASS TO REDIRECT CIRCLING FIBROUS ROOTS AS NECESSARY.
4. SET PLANT ON UNDISTURBED NATIVE SOIL, OR THOROUGHLY COMPACTED BACKFILL SOIL AT THE SAME DEPTH (IF PROPER) AS IT WAS GROWN IN THE NURSERY.
5. APPLY WATER TO SETTLE PLANTS AND FILL VOIDS THEN CONSTRUCT 3" DEPTH WATERING BASIN.
6. WATER THOROUGHLY WITHIN 2 HOURS.
7. PLACE MULCH WITHIN 48 HOURS OF THE SECOND WATERING UNLESS SOIL MOISTURE IS EXCESSIVE.

LEGEND:

- PROPOSED EDGE AGGREGATE
- PROPOSED D & U EASEMENT
- - - EXISTING CONTOUR
- - - PROPOSED CONTOUR
- ☼ PROPOSED TREE - CONIFER
- ▨ PROPOSED AGGREGATE SURFACE
- ▩ PROPOSED POND PRETREATMENT
- ▧ PROPOSED INFILTRATION BASIN
- ⊗/⊙ DETAIL NO. / SHEET NO.

TREE PLANTING



PRELIMINARY

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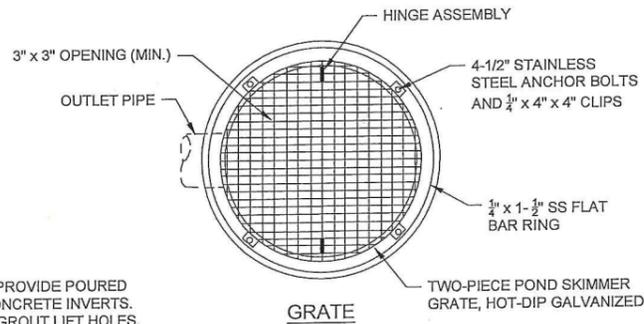
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LANDSCAPING
BROCKMAN TRUCK PARKING
AFTON, MN

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NOTES: 1. PROVIDE POURED CONCRETE INVERTS.
2. GROUT LIFT HOLES.

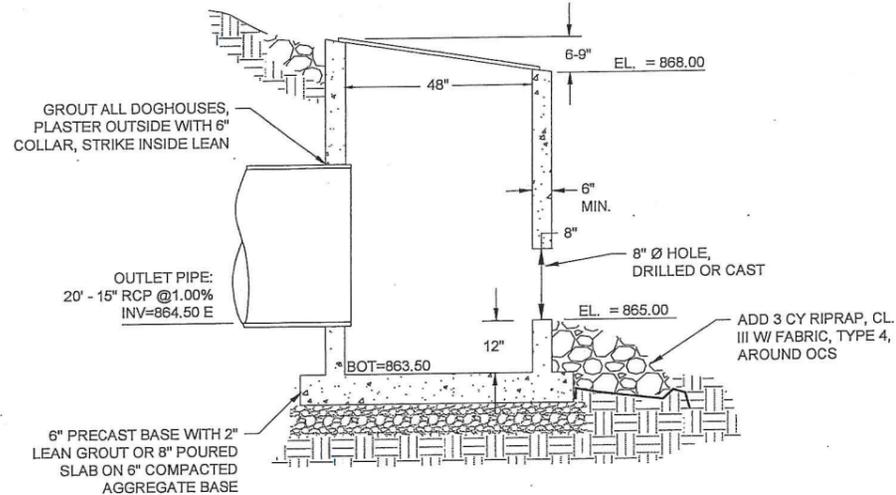
TABLE OF QUANTITIES
RIPRAP AT RCP OUTLETS

DIA. OF ROUND PIPE (IN.)	L (FT.)	CLASS I d ₅₀ = 8"			CLASS II d ₅₀ = 9"			CLASS III d ₅₀ = 12"			CLASS IV d ₅₀ = 12"		
		GRANULAR FILTER UNDER APRON (SQ. YD.)	TEXTILE FILTER UNDER APRON (SQ. YD.)	12" RIPRAP (CU. YD.)	GRANULAR FILTER UNDER APRON (SQ. YD.)	TEXTILE FILTER UNDER APRON (SQ. YD.)	18" RIPRAP (CU. YD.)	GRANULAR FILTER UNDER APRON (SQ. YD.)	TEXTILE FILTER UNDER APRON (SQ. YD.)	24" RIPRAP (CU. YD.)	GRANULAR FILTER UNDER APRON (SQ. YD.)	TEXTILE FILTER UNDER APRON (SQ. YD.)	24" RIPRAP (CU. YD.)
12	8	18.9	0.2	3.0	19.9	0.3	4.8	22.9	0.4	8.4	23.9	0.5	8.4
15	8	18.0	0.2	3.2	20.8	0.3	4.8	23.8	0.4	8.4	24.8	0.5	8.4
18	10	22.4	0.3	4.3	25.8	0.4	6.4	29.0	0.5	12.3	30.0	0.6	12.3
21	10	24.1	0.4	4.7	27.4	0.5	7.1	31.8	0.7	14.3	32.8	0.8	14.3
24	12	29.7	0.5	6.2	33.4	0.8	9.2	37.3	1.0	18.3	38.3	1.2	18.3
27	12	31.4	0.6	6.8	35.2	0.9	9.9	39.2	1.1	20.3	40.2	1.3	20.3
30	14	37.4	0.8	8.2	41.6	1.1	12.3	46.2	1.4	24.3	47.2	1.7	24.3
36	18	45.9	1.1	10.8	50.5	1.6	15.8	55.4	2.1	31.3	56.4	2.5	31.3
42	18	52.8	1.2	12.9	57.8	1.7	18.7	63.0	2.3	34.3	64.0	2.7	34.3
48	20	61.1	1.5	14.9	66.2	2.2	22.2	72.0	2.9	40.3	73.0	3.5	40.3

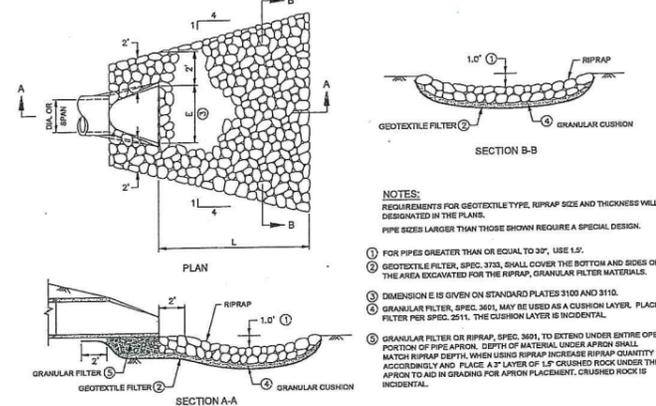
TABLE OF QUANTITIES
RIPRAP AT RCP-A OUTLETS

SPAN OF PIPE ARCH (IN.)	L (FT.)	CLASS I d ₅₀ = 8"			CLASS II d ₅₀ = 9"			CLASS III d ₅₀ = 12"			CLASS IV d ₅₀ = 12"		
		GRANULAR FILTER UNDER APRON (SQ. YD.)	TEXTILE FILTER UNDER APRON (SQ. YD.)	12" RIPRAP (CU. YD.)	GRANULAR FILTER UNDER APRON (SQ. YD.)	TEXTILE FILTER UNDER APRON (SQ. YD.)	18" RIPRAP (CU. YD.)	GRANULAR FILTER UNDER APRON (SQ. YD.)	TEXTILE FILTER UNDER APRON (SQ. YD.)	24" RIPRAP (CU. YD.)	GRANULAR FILTER UNDER APRON (SQ. YD.)	TEXTILE FILTER UNDER APRON (SQ. YD.)	24" RIPRAP (CU. YD.)
22	10	22.4	0.3	4.1	25.8	0.4	6.1	29.0	0.5	8.1	30.0	0.6	8.1
24	12	29.7	0.5	6.2	33.4	0.8	9.2	37.3	1.0	12.3	38.3	1.2	12.3
26	14	37.4	0.8	8.2	41.6	1.1	12.3	46.2	1.4	16.3	47.2	1.7	16.3
28	16	45.9	1.1	10.8	50.5	1.6	15.8	55.4	2.1	20.3	56.4	2.5	20.3
30	18	52.8	1.2	12.9	57.8	1.7	18.7	63.0	2.3	23.3	64.0	2.7	23.3
32	20	61.1	1.5	14.9	66.2	1.9	19.9	70.7	2.5	26.3	71.7	2.9	26.3

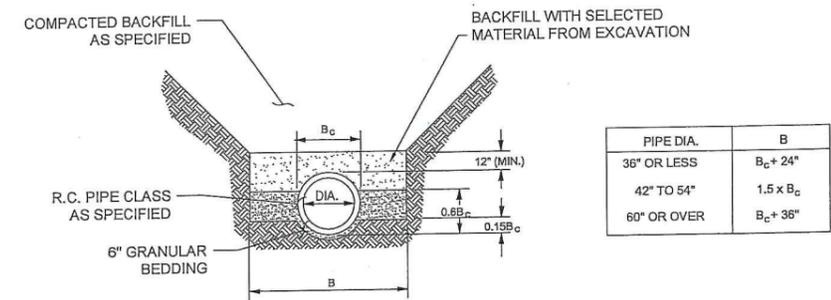
- Pipe Installation Notes:
- 1) Granular bedding & encasement shall conform to Mn/DOT specification 3149.2F.
 - 2) Encasement, foundation and backfill material is incidental to storm sewer pipe construction.
 - 3) Culvert inverts shall be kept clean during construction; the contractor is responsible to clean all pipe that has been contaminated during construction.
 - 4) Joints shall include rubber gaskets and be water-tight.
 - 5) Contractor may, at its own discretion, wrap joints with geotextile fabric in lieu of placing mastic in the joint.
 - 6) Bedding and encasement shall be compacted to 90% Standard Proctor using Specified Density Method, or as recommended by manufacturer, whichever is denser.
 - 7) Backfill shall be compacted to Specified Density Method:
 - (a) 100% Standard Proctor from subgrade elevation down 3 feet.
 - (b) 95% Standard Proctor from bottom of excavation up to 3 feet below subgrade elevation.



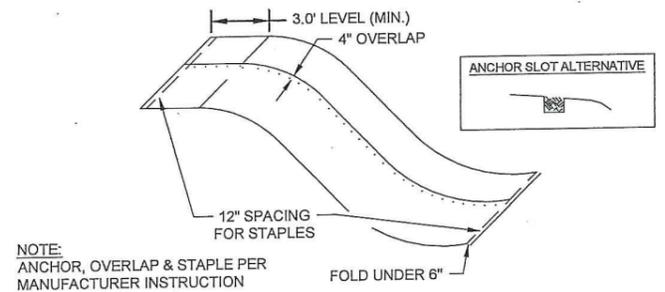
1 9 OUTLET CONTROL STRUCTURE



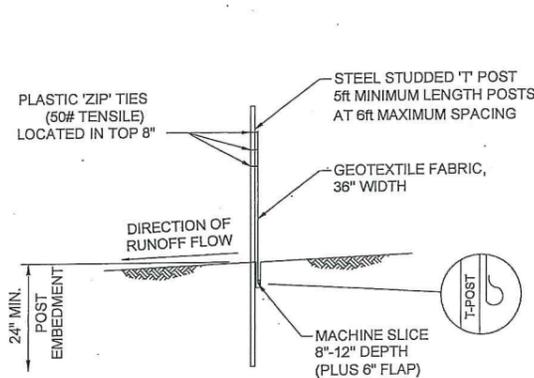
2 9 RIPRAP AT FLARED END SECTION



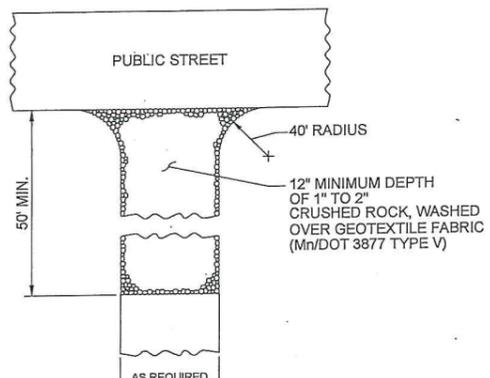
3 9 CONCRETE PIPE TRENCH - CLASS B BEDDING



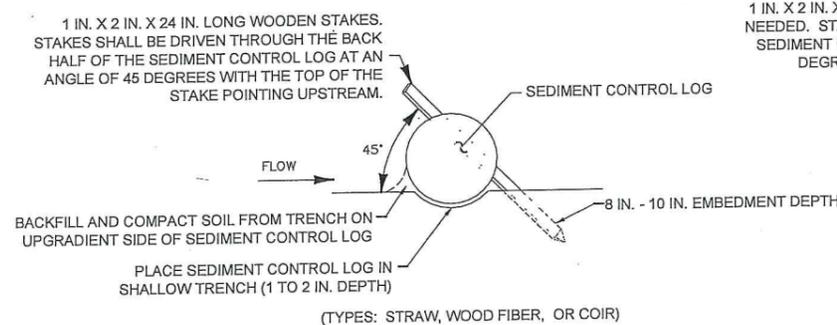
4 9 EROSION CONTROL BLANKET INSTALLATION



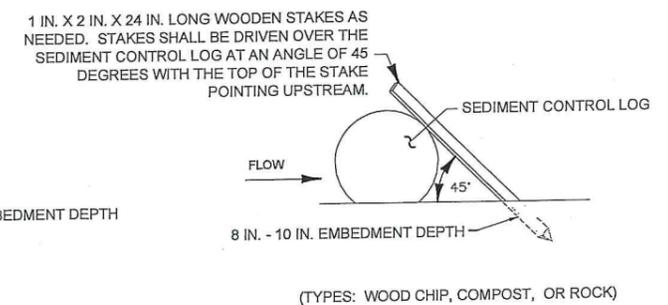
5 9 SILT FENCE - MACHINE SLICED



6 9 ROCK CONSTRUCTION ENTRANCE



7 9 SEDIMENT CONTROL LOGS



City of Afton
3033 St. Croix Trl, P.O. Box 219
Afton, MN 55001

Meeting Date Sept. 20, 2016

Council Action Memo

To: Mayor Bend and Members of the City Council
From: Ron Moorse, City Administrator
Date: September 14, 2016
Re: Ordinance Adopting the Washington County Septic Ordinance by Reference - **Ordinance 08-2016**

In April of 2015, Washington County adopted an updated Subsurface Sewage Treatment Systems Ordinance. The Planning Commission and City Council have reviewed the ordinance and the City Council directed that the ordinance be adopted by reference. A public hearing regarding the ordinance was held at the September 12 Planning Commission meeting, and the Planning Commission recommended approval of the ordinance. The ordinance adopting the Washington County Subsurface Sewage Treatment Systems Ordinance by reference is attached.

COUNCIL ACTION REQUESTED:

Motion regarding the adoption of Ordinance 08-2016 adopting the Washington County Septic Ordinance by reference.

ORDINANCE 08-2016

CITY OF AFTON
WASHINGTON COUNTY, MINNESOTA

**AN ORDINANCE AMENDING CHAPTER 12, ARTICLE IX. SEWAGE, ADOPTING BY REFERENCE
THE WASHINGTON COUNTY SUBSURFACE SEWAGE TREATMENT SYSTEM (SSTS)
ORDINANCE #196 BY REFERENCE.**

THE CITY COUNCIL OF THE CITY OF AFTON, MINNESOTA HEREBY ORDAINS: The following sections shall be amended by adding the underlined language and renumbering sections as shown below.

Subdivision III. Use of Individual Sewage Treatment Systems

Sec. 12-2006. Purpose and Intent.

The City of Afton recognizes that it is essential to the health, safety and welfare of the residents of this City to provide appropriate regulations for the location, design, installation, use and maintenance of individual subsurface sewage treatment systems that comply with Minnesota Statute 115.55, 115.56 and Minnesota Statutes Chapter 145A.

Sec. 12-2007. Adopt by Reference.

The City of Afton does hereby adopt by reference the individual subsurface sewage treatment system regulations of Washington County Chapter 4. Subsurface Sewage Treatment System (SSTS) Regulations, Ordinance #196, as adopted by Washington County, April 28, 2015, as if set out in full.

Sec. 12-2008—12-2040. Reserved.

This change shall take effect upon publication of this ordinance.

ADOPTED BY THE CITY OF AFTON CITY COUNCIL THIS 20th DAY OF SEPTEMBER, 2016.

SIGNED:

Richard Bend, Mayor

ATTEST:

Ronald J. Moorse, City Administrator

Motion:

Second:

Palmquist:

Richter:

Ross:

Nelson:

Bend:

City of Afton
3033 St. Croix Trl, P.O. Box 219
Afton, MN 55001

Meeting Date Sept. 20, 2016

Council Action Memo

To: Mayor Bend and Members of the City Council
From: Ron Moose, City Administrator
Date: September 14, 2016
Re: Ordinance Opting Out of the Temporary Health Care Dwelling Statute - **Ordinance 09- 2016**

Background

In May of 2016, a new statutory requirement regarding temporary health care dwellings was signed into law. The statute includes a complex set of requirements related to allowing temporary health care dwellings on residential lots in addition to the principal dwelling. The City has the option of opting out of the statutory requirements. Attached is a report from the League of Minnesota Cities regarding the statute and the opt-out option. The City Administrator of a neighboring city surveyed 30 cities regarding whether they planned to opt out of the statutory requirements. All but one of the cities indicated they had or were preparing to opt out. Afton currently has ordinance language that allows the use of a manufactured home as a temporary dwelling unit for an infirm family member. The City also allows non-rental guest apartments within certain parameters, which could be used as a temporary healthcare dwelling unit.

Planning Commission Recommendation

The Planning Commission, on a vote of 9-0-0, recommended approval of the ordinance opting out of the statutory requirements regarding temporary health care dwellings.

Ordinance

Attached for the Council's consideration is an ordinance opting out of the new statutory requirements regarding temporary health care dwellings.

COUNCIL ACTION REQUESTED:

Motion regarding the adoption of ordinance 09-2016 opting out of the statutory requirements regarding temporary health care dwellings.

ORDINANCE 09-2016

CITY OF AFTON, MINNESOTA
WASHINGTON COUNTY, MINNESOTA

**AN ORDINANCE OPTING-OUT OF THE REQUIREMENTS OF MINNESOTA STATUTES,
SECTION 462.3593 FOR TEMPORARY FAMILY HEALTH CARE DWELLINGS**

WHEREAS, on May 12, 2016, Governor Dayton signed into law the creation and regulation of temporary family health care dwellings, codified at Minn. Stat. § 462.3593, which permit and regulate temporary family health care dwellings; and,

WHEREAS, subdivision 9 of Minn. Stat. §462.3593 allows cities to “opt out” of those regulations; and,

WHEREAS, the City of Afton allows in Section 12-213 (B) the use of a manufactured home as a temporary accessory dwelling unit to be occupied by persons meeting the conditions therein.

THEREFORE THE CITY COUNCIL OF THE CITY OF AFTON ORDAINS:

Chapter 12 of the Afton City Code, Section 12-213 is amended to OPT-OUT OF MINNESOTA STATUTES, SECTION 462.3593 by adding the following underlined language to Sec. 12-213 B:

SECTION 12-213. Manufactured homes.

B. Care facilities...

5. Pursuant to authority granted by Minnesota Statutes, Section 462.3593, subdivision 9, the City of Afton opts-out of the requirements of Minn. Stat. §462.3593, which defines and regulates Temporary Family Health Care Dwellings.

This ordinance shall take effect immediately upon passage and publication.

ADOPTED BY THE CITY COUNCIL OF THE CITY OF AFTON THIS 20th DAY OF SEPTEMBER, 2016.

SIGNED:

Richard Bend, Mayor

ATTEST:

Ronald J. Moore, City Administrator

Motion by:
Second by:
Palmquist:
Richter:
Ross:
Nelson:
Bend:



engineering · planning · environmental · construction

477 Temperance Street
St. Paul, MN 55101
Tel: 651-286-8450
Fax: 651-286-8488

Memorandum

To: *Honorable Mayor and City Council, City of Afton*

From: *Diane Hanke, PE, City Engineer*

Date: *September 20, 2016*

Re: *September Engineering Staff Report
WSB Project No. 1856-500*

-
- 2016 Bridge Inspections:** Last year 5 bridges were inspected through Mn/DOT's annual bridge inspection program. Some bridges are inspected every year and some every other. This year 2 bridges need to be inspected and reports submitted by October 31, 2016 – enclosed. The estimated cost to inspect the bridges is \$2,466. The base reporting work will be completed along with the onsite inspections and final copies sent to the City.

Action: Authorize bridge inspections for an amount not to exceed \$2,466.

If you have any questions, please contact me at 651-286-8479 or dhanke@wsbeng.com.



September 7th, 2016

Mr. Ron Moorse
3033 St. Croix Trail South
PO Box 219
Afton, MN 55001

Re: 2016 Annual Bridge Safety Inspections
City of Afton
WSB Project 01856-170

Dear Mr. Moorse

On behalf of WSB & Associates, Inc. (WSB), I am pleased to submit this proposal to provide professional engineering services as they relate to bridge inspections in the City of Afton. MnDOT has recently upgraded their SIMS bridge management program to be in compliance with the new FHWA bridge inspection standards for 2016 which implements element level inspections of all structures. This new program as lead to slight increase in the amount of time necessary to inspect and report on each structure as MnDOT transitions to the new program over the next two years.

There are seven bridges for which the City has inspection-reporting jurisdiction. Two of these bridges are due for inspection during the 2016 inspection cycle. These bridges are:

- Bridge L8167, TRADG PT TR S (22) over STREAM
- Bridge L8170, VALLEY CRK TR (53) over VALLEY CREEK (TRIBUTARY)

WSB & Associates, Inc. is proposing to provide the following scope of services:

- We will perform bridge inspections and submit inspection reports to MnDOT for the two bridges outlined in the attached inspection due report.
- A qualified and certified Bridge Safety Inspector from Minnesota will perform the work as required by MnDOT.
- WSB will update structure information in the MnDOT SIMS system.
- The inspection will be in accordance with current MnDOT and FHWA inspection procedures.
- Program administrator duties as required by MnDOT such as audits and scour reporting.
- WSB will make recommendations for repair and maintenance of the structures and will submit a summary inspection letter to the City for their records.

Mr. Moorse
September 7th, 2016
Page 2

The proposed work will be completed before the required inspection due dates. Your inspection team leader will be one of the following:

Craig Alberg, PE
Inspection Team Leader/Underwater Inspection Diver

- FHWA Certified Bridge Safety Inspector
- MnDOT Certified Bridge Safety Inspection Team Leader
- FHWA Certified Underwater Inspector

Daniel Flittie, PE
Inspection Team Leader

- FHWA Certified Bridge Safety Inspector
- MnDOT Certified Bridge Safety Inspection Team Leader

WSB will complete the above tasks for lump sum cost of \$2,466.00. If you agree with the above proposal, please sign below and return one copy to our office.

Thank you for the opportunity to be of service to you. Please do not hesitate to contact me at (763) 286-6141 with any questions or comments.

Sincerely,

WSB & Associates, Inc.



Craig Alberg, PE
Bridge Inspection Program Manager

cc: Diane Hanke, PE, WSB & Associates

City of Afton

Date

MINNESOTA DEPARTMENT OF TRANSPORTATION
 04/11/2016
 BRIDGE INSPECTIONS DUE BY FEB 15, 2017
 CITY OF AFTON

SORTED BY INSPECTION DATE

AGCY												
BR NO	BR NO TOWNSHIP	ROUTE	REF POINT	FACILITY CARRIED	FEATURE INTERSECTED	YEAR BUILT	SUFF RATE	DEF STATU	LAST INSP DATE	INSP FREQ	NEXT INSP DUE DATE	
L8167		MUN 22	003+00.950	TRADG PT TR S (22)	STREAM	1920	87.1	ADEQ	10/07/2015	12	10/07/2016	
L8170		MUN 53	001+00.050	VALLEY CRK TR (53)	VALLEY CRK (TRIBUTARY)	1920	30.6	S.D.	10/17/2015	12	10/17/2016	

2 BRIDGE INSPECTIONS DUE BY FEB 15, 2017

City of Afton
 3033 St. Croix Trl, P.O. Box 219
 Afton, MN 55001

Meeting Date Sept. 20, 2016

Council Action Memo

To: Mayor Bend and Members of the City Council
 From: Ron Moorese, City Administrator
 Date: September 14, 2016
 Re: Preliminary 2017 budget and Tax levy –
 Preliminary 2017 Budget: **Resolution 2016-XX**
 Preliminary 2017 Tax levy: **Resolution 2016-XX**

Budget Overview and Resolutions

The proposed 2017 budget reflects an effort to avoid discretionary expenditure and tax levy increases for general city operations to enable a focus on providing additional funding for street improvements. Because the City Council is meeting on Wednesday, September 14 and Friday, September 16 to review and discuss priority street improvement needs and funding options for meeting those priority needs, the impact on the budget and tax levy of funding for street improvement needs was not known at the time this memo was written. The Council's discussion regarding funding for street improvements will be reflected in the Council's decision regarding the 2017 preliminary budget and tax levy at the September 20 Council meeting. The Council's decision will then be reflected in the preliminary 2017 budget and tax levy resolutions.

Certification of Preliminary Tax Levy

The City is required to submit the preliminary tax levy to the County by September 30. The preliminary tax levy certified to the County cannot be increased, but can be reduced. The final budget and tax levy will be adopted in December, after the Council holds a Budget and Tax hearing.

Date for Budget and Tax Hearing

The date for the required Budget and Tax Hearing also needs to be provided to the County. This hearing is normally held at the beginning of the December City Council meeting, which will be on December 20, 2016.

COUNCIL ACTION REQUESTED

Motion regarding the adoption of a resolution approving the preliminary 2017 budget.

Motion regarding the adoption of a resolution approving the preliminary 2017 tax levy for certification to the County.

Motion to set the date and time for the Budget and Tax Hearing for the adoption of the final 2017 budget and tax levy

City of Afton
3033 St. Croix Trl, P.O. Box 219
Afton, MN 55001

Meeting Date Sept. 20, 2016

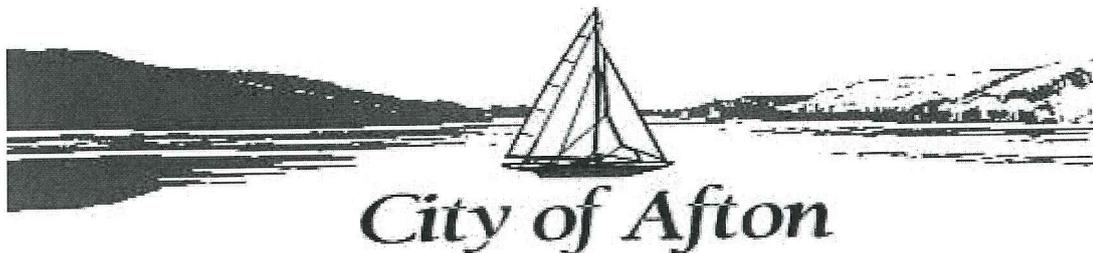
Council Action Memo

To: Mayor Bend and Members of the City Council
From: Ron Moorese, City Administrator
Date: September 14, 2016
Re: Solid Waste and Recycling Services RFP

Attached are the Request for Proposals for Solid Waste Management Services, and the Solid Waste Services Agreement. The Request for Proposals is to be sent to providers after approval by the Council. Proposals will be reviewed by a proposal evaluation committee assisted by Nicole Stewart of Washington County and Susan Young, a consultant contracted by Washington County. Both Ms. Stewart and Ms. Young will attend the September 20 Council meeting to answer any questions the Council may have regarding the Request for Proposals process.

COUNCIL ACTION REQUESTED:

Motion regarding the approval of the Request for Proposals for Solid Waste Management Services.



City of Afton

Request for Proposals (RFP)

Solid Waste Management Services

September 21, 2016

The issuance of this RFP constitutes only an invitation to submit a Proposal to the City. It is not to be construed as an official and customary request for bids, but as a means by which the City can facilitate the acquisition of information related to the purchase of solid waste management services. Any Proposal submitted, as provided herein, constitutes an indication to negotiate and is not a bid.

Proposals will be accepted no later than **3:00 p.m. Central Daylight Time (CDT) on or before October 7, 2016.**

Telephone calls regarding this Request for Proposals will not be accepted. Questions may only be addressed to Ron Moore, City Administrator at Administrator@ci.afton.mn.us.



City of Afton
Request for Proposal
Solid Waste Management Services

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ATTACHMENT 2: PROPOSAL FORMS		

DRAFT

SECTION I. INTRODUCTION AND BACKGROUND

The City of Afton has determined that the interests of the City will be promoted and preserved by establishing an arrangement for the collection, transportation, and disposal of solid waste kept and accumulated by residences and businesses within the City. It is the intent of the City to accept and evaluate proposals for solid waste management services to begin on January 1, 2017 with an initial five (5) year duration. The goals of the City are to protect public health and safety, provide for excellent solid waste, recycling, problem materials and yard waste services to residents and businesses, to contract for cost-effective services and to protect and enhance the environment of Afton.

The City is interested in receiving proposals from firms qualified and experienced in the provision of Solid Waste Collection services. This Request for Proposals (RFP) includes services for curbside Collection of residential mixed municipal solid waste (MSW), Recyclables and Problem Materials as defined in the Contract, curbside Collection of residential Yard Waste, Collection of business MSW, Recyclables and Problem Materials, and potential Source Separated Organics, and support of a spring and/or fall cleanup of City public spaces and rights of way. Details of the services requested are included in the Draft Solid Waste Services Agreement in Attachment 1.

Solid Waste and Recycling services for residents and businesses have been organized in the City for many years. The current Agreement for Solid Waste services expires December 31, 2016. The selected Contractor shall provide Solid Waste collection services to all Premises located within City limits and to certain City-designated facilities and events, beginning January 1, 2017.

The City has approximately 1,120 residential households and 35 businesses to be serviced under the Agreement. Respondents must be licensed by Washington County, and MSW must be taken to the Ramsey/Washington Recycling & Energy Center (R&E Center).

SECTION II. KEY DATES FOR THIS PROPOSAL

- ◆ September 21, 2016 RFP Issued.
- ◆ September 29, 2016 Questions from Respondents Due to City by 3:00 PM.
- ◆ October 3, 2016 Responses to Questions provided on City website.
- ◆ October 7, 2016 Proposals due by 3:00 PM.
- ◆ October 18, 2016 Evaluation Committee recommendation to City Council and Council consideration of staff recommendation.
- ◆ October 19 – 31, 2016 Negotiations with selected Respondent(s).
- ◆ November 15, 2016 Tentative date for award of Contract.
- ◆ January 1, 2017 Start of Collection services.

SECTION III. PRELIMINARY SCOPE OF WORK

The selected Contractor shall furnish all personnel, labor, equipment, trucks, and all other items necessary to provide for the collection, removal, and disposal of the Solid Waste generated by City residents and businesses, City facilities and certain City events.

Specific services to be provided include:

- ◆ Weekly Municipal Solid Waste (MSW) collection, transportation to R & E Center in Newport, MN
- ◆ Weekly or Every Other Week Recyclables unlimited collection and transportation to a licensed processing facility and/or end market. Frequency of service will be determined as a result of the RFP process.
- ◆ Weekly Yard Waste collection, hauling and disposal from April 1 through November 30 each year.
- ◆ As-requested Problem Materials collection and transportation to a licensed processing/disposal facility.
- ◆ Support for an annual spring and/or fall City public space and rights-of-way cleanup.
- ◆ The collection of MSW and recyclables from City owned or operated facilities identified in the contract, at no additional cost to the City.
- ◆ Other services as identified in the Contract.

Included in the price for services, the Contractor must provide dumpsters and/or carts for MSW and Recyclables. Respondents may propose alternates for Yard Waste collection with or without carts. Billing and fee collection for services will be the responsibility of the Contractor. The City will ask for proposals for weekly and bi-weekly collection of recyclables. The City will use the RFP responses and negotiation with the selected Respondent to determine weekly or biweekly recyclables collection.

It will be the responsibility of the Contractor to identify residents and businesses that need services and the service sizes required. Current customer lists are not available. The City expects that the Contractor and City will work together to plan and organize the details of the Solid Waste collection program, which will include planning sessions and continued communication throughout the duration of the Contract.

Collection in the City currently occurs two days per week. The portion of the City north of 30th Street is collected on Tuesdays. The portion of the City south of 30th Street is collected on Thursdays. It is the City's preference that collection days will not change in the Contract, however the City will consider such a change. In no event shall there be more than two collection days for residential service; additional days to accommodate commercial/business service collections shall be allowed. If the Respondent proposes changing the days of collection the appropriate sections of Form B shall be completed.

Proposals will be treated in accordance with Mn. Statutes 13.591, Subdivision 3 (b), Data Practices Act.

SECTION IV. DESIRED SERVICE FEATURES

Specific Contract service requirements and detailed performance criteria are contained in the attached draft "Contract for Solid Waste Services." (See Attachment 1 within this RFP packet.)

SECTION V. PROPOSAL INSTRUCTIONS

1. The City may cancel this RFP in whole or in part or may reject all Proposals submitted. The City reserves the right to procure only some services outlined in this RFP. The City reserves the right to negotiate modifications of Proposals submitted, to accept part or all of the Proposals on the basis of consideration(s) other than proposed price, and to negotiate specific work elements with a Respondent into a scope of work of lesser or greater cost than described in this RFP or in the Respondent's Proposal.
2. All Respondents must complete Forms A through H, inclusive, as contained within this RFP packet.
3. **Respondents may submit questions until September 29 at 3:00 PM.**
Questions may only be submitted via email to:

Ron Moore, City Administrator: Administrator@ci.afton.mn.us
4. The City may request supplementary information to assure the Respondent has the technical competence, business organization, personnel and equipment, and financial resources adequate to successfully perform the work.
5. All Proposals must be presented in an organized and clear manner.
6. Each Respondent shall acknowledge receipt of any and all Addenda issued to the Request for Proposals by completing Form H and indicating in their Proposal which Addenda have been received.
7. Each Proposal shall be signed by an official of the company with the authority to sign the Proposal and a binding Contract. Each Proposal shall affirmatively state in Form C that the signor has the authority to bind the Respondent for any and all work contained in the Proposal.
8. Respondents shall indicate in their submittal that their Proposal including any pricing shall be valid for a period of 120 days after submittal.
9. All costs involved in preparing the Proposal will be borne by the Respondent.
10. All responses are to include a statement that the Respondent accepts the attached Draft Contract for Solid Waste Services and understands all sections and provisions of the Draft Contract. Exceptions, if any, shall be noted in a redlined version of the Draft Contract, which shall be attached to Form G of the Proposal.
11. Proposals which are incomplete, conditional, obscure or inaccurate will be rejected. No award will be made to any Respondent who cannot satisfy the City that it has sufficient ability and sufficient capital to enable it to meet the requirements of the RFP. The City's decision or judgment on these matters shall be final, conclusive and binding.

12. Any Proposal received after 3:00 PM on October 7, 2016 may, at the sole discretion of the City, be determined unresponsive and returned unopened to the Respondent.
13. Evaluation of the Proposals will be conducted by a committee established by the City.
14. If it becomes necessary to revise any part of this RFP or otherwise provide additional information, an Addendum will be issued to all firms expressing an interest in this project.

SECTION VI. NOTIFICATION OF AWARD

All Respondents shall be notified of the City's selection decision within seven (7) days of the date of Council Approval.

SECTION VII. CONTRACT FOR WORK

This RFP and any Addenda to the Proposal will become part of the final Contract. The services that the selected Respondent will be required to perform are specified in the draft Contract (Attachment 1 – City of Afton Draft Contract for Solid Waste Services). A final version of the Contract shall be executed with the City.

The draft Contract should be carefully reviewed by all Respondents. The draft Contract provides the detailed terms, conditions, and scope of services that will define the contractual arrangements between the City and the Respondent selected through this RFP process.

The performance dates and specifications of this Contract are important to the implementation of the requested services; failure to perform for periods aggregating thirty (30) days or more even for causes beyond the control of the Contractor, shall be deemed unsatisfactory, and the City shall thereafter have the right to terminate the Contract in accordance with the provisions of the section entitled "Termination of Contract."

SECTION VIII. PROPOSAL EVALUATION

Proposals will be evaluated by a committee composed of the City Administrator and members of the City Council with technical assistance provided by the County and Consultant staff. Those Proposals that meet all of the minimum requirements as outlined in this RFP and are determined to be both responsive (those that offer all of the services requested in the RFP and contain all of the required information) and those that are responsible (those with the capability and reliability to perform under the Contract) will be further reviewed using the process described below.

Examples of evaluation criteria are listed below. The Committee will establish a rating scale for evaluation criteria. The Proposal(s) generating the largest total score(s) will be determined to be the most responsive and will be recommended for negotiations.

The City reserves the right to award the Contract to the most responsive and responsible Proposal which best meets the City's needs, taking into account Proposal quality and price. The City reserves the right to procure only some services outlined in this RFP. The Respondent's pricing for the services described in the Proposal, while important, will not be sole criteria for selecting the most advantageous proposal.

The City reserves the right to negotiate modifications of Proposals submitted, to accept part or all of the Proposals on the basis of consideration(s) other than proposed price, and to negotiate specific work elements with a Respondent into a scope of work of lesser or greater cost than described in this RFP or in the Respondent's Proposal.

The City may cancel this RFP in whole or in part or may reject all Proposals submitted. The City reserves the right to procure only some services outlined in this RFP. The City reserves the right to negotiate modifications of Proposals submitted, to accept part or all of the Proposals on the basis of consideration(s) other than proposed price, and to negotiate specific work elements with a Respondent into a scope of work of lesser or greater cost than described in this RFP or in the Respondent's Proposal.

The criteria for evaluation may include:

1. Respondent's experience with Solid Waste collection and disposal;
2. Respondent's understanding of the work, including key service requirements and project approach and demonstrated ability to provide all requested services to residential and business/commercial customers;
3. Customer service elements such as location and staffing of call center for customer service; times of live staffing; methods of training of staff to address customer issues specific to the services provided to the City.
4. Respondent's qualifications, contract compliance, capital and financial stability and demonstrated performance for contracts of similar size and nature, including staff and equipment availability;
5. Demonstrated compliance with state and county requirements, including hauler disclosure on past license(s) or enforcement actions;
6. Proposed prices;
7. References;
8. Compliance with the requirements of the RFP, including completion of all proposal sections and accuracy of completion of forms, including price forms; and,
9. Respondent's acceptance or exceptions from the attached Draft Contract for Solid Waste Services.

SECTION IX. REFERENCES

Proposals will only be considered and reviewed from companies that are engaged in providing Solid Waste services comparable to those described in this RFP packet. Respondents should have Solid Waste service Contract(s) with at least one (1) city that provides a similar scope of services. A minimum of three (3) references of current customers are required, at least one (1) of which should be a city where the Respondent is currently (or recently) under Contract

SECTION XIV. PROPOSAL SUBMISSION REQUIREMENTS

1. Five (5) double-sided printed copies of the Proposal must be delivered to the Afton City Hall no later than 3:00 PM, Wednesday, October 7, 2016. A compact disk or USB thumb drive (aka jump drive) shall also be submitted with an electronic copy of the Proposal (e.g., either in MS Word and/or PDF format). Emailed Proposal submissions will not be accepted. Submitted documents will not be returned.
2. Proposals must contain the name, address, e-mail address and phone number of the contact person at the firm.
3. **All items called for in this RFP must be submitted by the deadline. The City of Afton will not contact Respondents who submit deficient or incorrect proposals to ask for additional or corrected information.**

SECTION XV. CITY OF AFTON CONTACT PERSON FOR RFP PROCESS

Firms desiring to discuss this RFP or ask questions for clarification should only contact via e-mail:

Ron Moore, City Administrator
City of Afton
Administrator@ci.afton.mn.us

Contact with any other City employee or official between the date of issuance of the RFP and the Contract execution may, in the sole discretion of the City, result in disqualification of the Respondent from further consideration.

Attachment 1
City of Afton Draft Contract for Solid Waste Services

DRAFT

**Attachment 2
Proposal Forms**

DRAFT

ATTACHMENT 2
Proposal Forms A through H
City of Afton
RFP for Solid Waste Services

Instructions:

Please use this Word document to enter your responses to the RFP questions. When the forms are completed, please print and sign the final forms for submittal with your proposal.

You may also print out this document, fill in your numeric answers by hand, attach additional sheets for typed narrative answers, and then sign the forms. All forms completed manually must be clear and legible.

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Form A: Proposal Content Checklist

Instructions: Please check off the forms and other proposal sections to assure that your proposal is complete and an authorized individual properly signs all forms.

- Proposal Cover Letter
- Form A: Proposal Content Checklist
- Form B: Respondent Information Questionnaire (including references)
- Form C: Certification of Binding Signature
- Form D: Certification of Independent Proposal Pricing
- Form E: Price Worksheet (three pages)
- Form F: Itemized Listing of Trucks and Other Collection Equipment
- Form G: Certification of Acceptance of the Draft Afton Contract or Notification of Proposed Exceptions
- Form H: Acknowledgement of Receipt of Addenda

Form B: Respondent Information Questionnaire

Instructions: Please attach additional pages as may be necessary to respond to each of the following questions. The authorized representative of the Respondent must sign this form.

General Contact Information

Name of Company Proposing: _____
Address: _____
Telephone: _____
Email: _____
Website: _____
Name of contact person: _____
Type of organization: _____
(e.g., corporation, joint venture, partnership, individual)

Qualifications Questionnaire

Please describe the qualifications or expertise of your company in each of the following categories:

General Management:

Financial Stability and Strength:

Household Waste and Recyclables Collection Experience:

Commercial/Business Waste and Recyclables Collection Experience:

Description of Approach to Service Provision:

Staff and Equipment Resources Dedicated to the Contract:

Customer Service Standards:

Business Information

1) Within the past five (5) years, has the Company submitting this proposal failed to complete a contract?

Yes No

If so, state name of parties to the contract, the date of the contract and the reason for non-completion. If a bond was posted, state the contact information for the bond company.

2) Within the past five (5) years, has the Company submitting this proposal or any facility or property owned or operated by this Company failed to perform any of its contract obligations with any municipality, county or other public entity?

Yes No

If so, state the nature of the failure.

3) With what other lines of business are you or your company directly or indirectly affiliated?

4) Describe the nature of your current business.

5) State the length of time you have been in business under your present name.

6) Within the last five (5) years, has the Company submitting this Proposal, or any facility or property owned or operated by your Company ever been the subject of administrative or judicial action for alleged violation of the conditions of a permit issued by a governmental entity; or alleged violations of environmental, zoning, or public health laws or regulations?

Yes No

If so, state the details and disposition.

7) Has the Company submitting this proposal, or any of its subsidiaries, been a party to any lawsuits or bankruptcy actions within the last ten (10) years?

Yes No

If so, list these lawsuits or actions and explain their nature and disposition.

8) If awarded this contract, will your Company be able to provide Solid Waste Collection services by the Contract start date?

Yes No

19) Reference 2: (Contract Holder, Contact Person, Contact Phone):
Contract Holder:
Contact Person: Contact Phone:
Municipality:
Number of Households per day serviced:
Type and Frequency of service provided:

20) Reference 3: (Contract Holder, Contact Person, Contact Phone):
Contract Holder:
Contact Person: Contact Phone:
Municipality:
Number of Households per day serviced:
Type and Frequency of service provided:

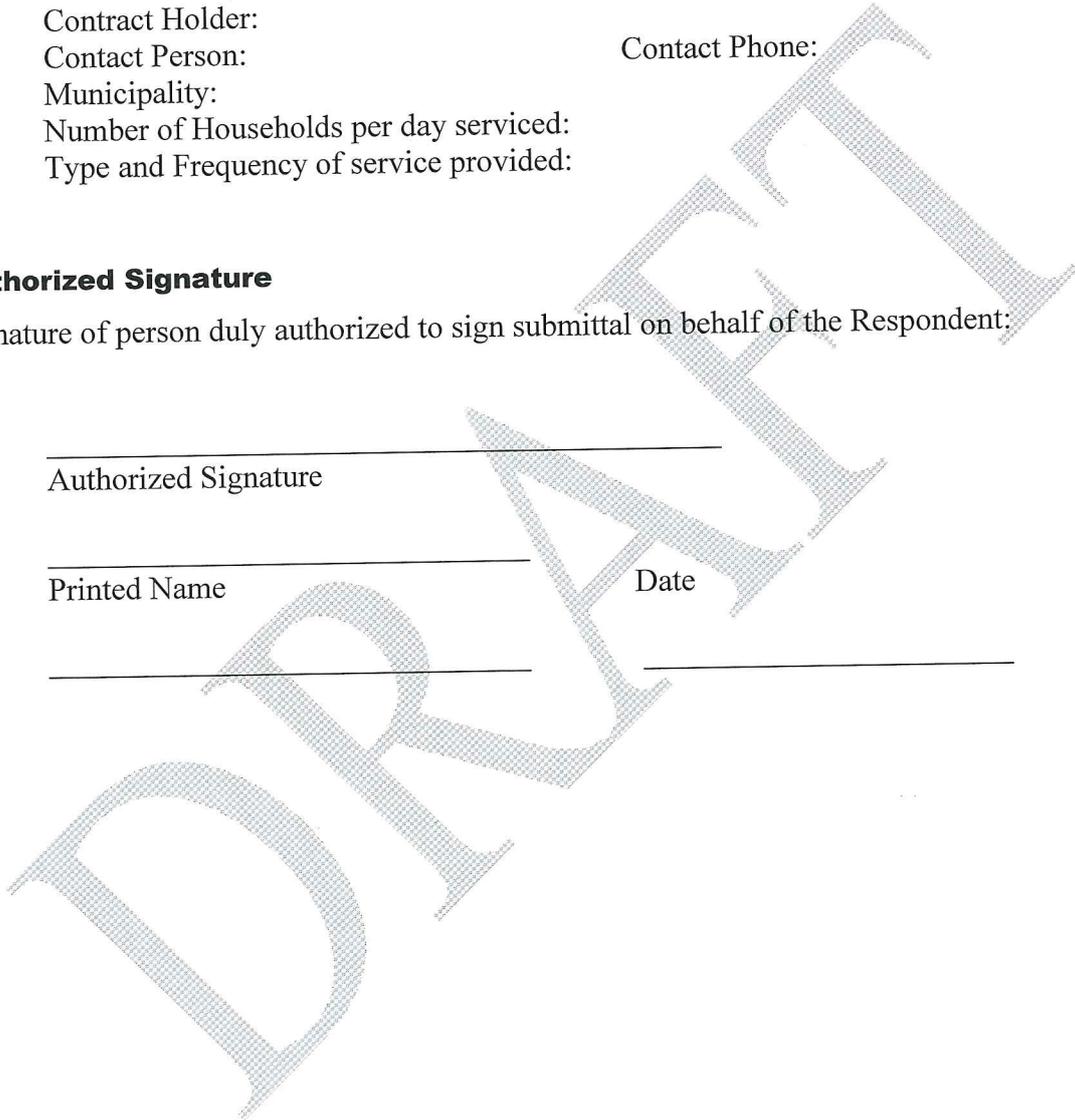
Authorized Signature

Signature of person duly authorized to sign submittal on behalf of the Respondent:

Authorized Signature

Printed Name

Date



Form C: Certification of Binding Signature

Instructions: Selected forms provided in this RFP must be completed and executed by an official authorized to bind the Proposal offer. All completed forms shall be a part of your proposal.

I swear that pricing shall be valid for a period of 120 days after submittal.

I swear that I am authorized to execute all Proposal forms included in this Proposal response to the RFP and to bind the company to these agreements; and swear that I have read the information contained in this Proposal and that I have personal knowledge that it is true and correct.

The undersigned Respondent further certifies that he/she has read the information submitted by the Respondent and has personal knowledge that the information submitted is true and correct.

I, _____
(Name of Authorized Officer) of (Respondent Firm name)

(Title)

(Signature)

(Date)

I swear that pricing shall be valid for a period of 120 days after submittal.

I swear that I am authorized to execute all Proposal forms included in this Proposal response to the RFP and to bind the company to these agreements; and swear that I have read the information contained in this Proposal and that I have personal knowledge that it is true and correct.

Notary

State of _____ County of _____

I certify this to be the original document of this

_____ day of _____, 2016.

Printed Name

affix stamp here

My Commission Expires _____

Notary Signature

Form D: Certification of Independent Proposal Pricing

The Respondent makes the following representations and certifications as part of this proposal:

The undersigned respondent certifies that the Respondent has not directly or indirectly entered into any agreement, express or implied, with any other Respondent(s) for any of the following:

- A. Controlling of the price of such proposal(s);
- B. Limiting of the number of proposals or Respondents; or,
- C. Parceling or farming out to any Respondent(s) or other persons of any part of the Contract or any part of the subject matter of the proposal(s) or of the profits.

The undersigned respondent certifies that they have not and will not divulge the sealed proposal to any person until after the Contract is fully executed or until the City publicly releases this sealed information.

The undersigned respondent further certifies that the Respondent has not been a party to any collusion including, but not limited to, actions such as:

- A. Respondents restraining the freedom of competition by agreement to make a proposal at a fixed price or pre-arranged price limit;
- B. Refraining from submitting a proposal at a fixed or pre-arranged price limit; or
- C. Refraining from submitting a proposal.

The undersigned respondent further certifies that the Respondent has not engaged in any prohibited contact or conflict of interest with any City official or its agents such as, but not limited to:

- A. Discussion of service quantity, quality, or price in the prospective Contract or any other terms of said prospective Contract; or
- B. Any other prohibited discussions between the Respondents and City officials or agents concerning exchange of money or other things of value for special consideration in the consideration or letting of a Contract.

Signature of person duly authorized to sign submittal on behalf of the Respondent:

Printed Name

Authorized Signature

Date

Form E: Price Worksheet

Fees described in this Form shall not include MN Solid Waste Management Fee or County Environmental Charge, although the Fees shall be collected by the Contractor and shall be remitted to the appropriate entity.

MSW Collection Fee:

Proposed MSW Fee for Cart, Collection, and Disposal:

Fees listed do not include MN Solid Waste Management Fee or County Environmental Charge.

- 30 gallon cart, \$ per month (MO): = \$ _____ / MO
- 65 gallon cart, \$ per month (MO): = \$ _____ / MO
- 95 gallon cart, \$ per month (MO): = \$ _____ / MO
- Extra 30 gallon bag, MSW, \$ per bag = \$ _____ / BAG

Proposed MSW Fee for Dumpster, Collection, and Disposal:

Fees listed do not include MN Solid Waste Management Fee or County Environmental Charge.

- 2-yard dumpster, 1/week, \$ per month = \$ _____ / MO
- 2-yard dumpster, 2/week, \$ per month = \$ _____ / MO
- 4-yard dumpster, 1/week, \$ per month = \$ _____ / MO
- 4-yard dumpster, 2/week, \$ per month = \$ _____ / MO
- 6-yard dumpster, 1/week, \$ per month = \$ _____ / MO

Recyclables Collection/Processing

Proposed Recyclables Cart, Collection, Processing Fees:

**Option #1: Recyclables Collection/Processing, with Cart
*Every Week Service:***

Units: Proposed \$ per month: = \$ _____ / MO

**Option #2: Recyclables Collection/Processing, with Cart
*Every Other Week Service:***

Units: Proposed \$ per month: = \$ _____ / MO

Proposed Business/Commercial Container, Collection, Processing Fees:

**Option #1: Recyclables Collection/Processing,
95 gallon Cart, 1/Week Service:**

Units: Proposed \$ per Premise per month: = \$ _____ / MO

**Option #2: Recyclables Collection/Processing,
95 gallon Cart, 2/Week Service:**

Units: Proposed \$ per Premise per month: = \$ _____ / MO

**Option #3: Recyclables Collection/Processing,
2 yard dumpster, 1/Week Service:**

Units: Proposed \$ per Premise per month: = \$ _____ / MO

**Option #4: Recyclables Collection/Processing,
4 yard dumpster, 1/Week Service:**

Units: Proposed \$ per Premise per month: = \$ _____ / MO

**Option #5 Source Separated Organics Collections/Processing
2 yard dumpster, 1/Week Service**

Units: Proposed \$ per Premise per month: = \$ _____ / MO

**Option #6 Source Separated Organics Collections/Processing
2 yard dumpster, 2/Week Service**

Units: Proposed \$ per Premise per month: = \$ _____ / MO

**Option #7 Source Separated Organics Collections/Processing
4 yard dumpster, 1/Week Service**

Units: Proposed \$ per Premise per month: = \$ _____ / MO

**Proposed Yard Waste Collection and Disposal Fees For subscribing
Customers**

(Assume fixed monthly fee each month throughout the year, for 12 months. Unlimited quantities of properly prepared yard waste allowed.)

\$ per Premise per month, using Contractor's carts: = \$ _____ / MO

Size of Yard Waste Cart to be provided: _____ gallons

\$ per Premise per month, Resident's containers or compostable bags:
= \$ _____ / MO

Proposed Problem Material Collection Fees

(Per Item Unless Otherwise Specified)

Item	Proposed Price
Appliances	
Freezer, Refrigerator, Air Conditioner	\$
Water Heater, Stove, Dishwasher, Washing Machine, Dryer	\$
Microwave or Dehumidifier	\$
Television or Monitor, 19" or less	\$
Television or Monitor, 20" – 30"	\$
Television larger than 31"	\$
Computer (CPU), Printer	\$
Computer, Laptop or Game Console	\$
Water Softener (no salt)	\$
Furniture	
Hide-a-bed	\$
Couch, Loveseat, upholstered chair	\$
Recliner: chair or loveseat	\$
Mattress or Box Springs	
♦ Single	\$
♦ Double (Full)	\$
♦ Queen	\$
♦ King	\$
Dresser	\$
Wood Desk	\$
Metal Desk	\$
Table	\$
Non-upholstered chairs, office chairs	\$
Miscellaneous	
Bikes	\$
Gas Grills (no tanks)	\$
Vacuum cleaner	\$
Cart tire	\$
Toilet	\$
Sink (not iron)	\$
Wooden Door	\$
Carpet and pad, small room	\$
Carpet and pad, large room	\$

Form F: Itemized Listing of Trucks and Other Collection Equipment

Technical Description of Collection Equipment

Instructions: This form shall be executed by the official authorized to bind the company. Information must for each different model of equipment proposed (including any spares). This list should include equipment to service the specified commercial and residential units in the City

Make of Chassis & Body	Model	Year	#	Capacity/Cubic Yards	Loading Method	Delivery Schedule, if not Currently Owned

Route Planning Assumptions

Number of Routes	Average Stops Per Load	Average Stops Per Day	Collection Hours Per Full Load	Cu. Yds. Per Load	Crew Size	Total Operating Hours Per Day

Signature of person duly authorized to sign submittal on behalf of the Respondent:

 Authorized Signature

 Printed Name

 Date

**Form G: Certification of Acceptance of the Draft Afton Contract or
Notification of Proposed Exceptions**

_____ [Respondent's Company Name]
has reviewed the draft Afton Contract (Attachment A) in the RFP, and,

- We have no changes to request to the draft Contract and we have no exceptions to the proposed Contract language. We hereby certify that our legal counsel for our company has reviewed the draft Contract and accepts the language "as is". If awarded the Contract by the City, we hereby certify that we will execute the final Contract without any proposed changes.

Or

- We have exceptions to the draft Contract language. We have proposed changes to request to the draft Contract. We have attached a redlined ("tracked changes") version of the draft Contract that itemizes our changes or exceptions. We hereby certify that the legal counsel for our company has reviewed the draft Contract and accepts the language with the proposed changes. No other exceptions or changes are or will be proposed. If awarded the Contract, we hereby certify that we will execute the final Contract if our proposed changes are accepted by the City.

Signature of person duly authorized to sign submittal on behalf of the respondent:

Authorized Signature

Print Name

Date

Form H: Acknowledgement of Receipt of Addenda

Please acknowledge receipt of addenda to the City’s RFP for Solid Waste Services with your signature. An opportunity to acknowledge up to five (5) addenda is included in this form but does not necessarily mean that five (5) addenda will be provided.

Addendum 1 _____

Addendum 2 _____

Addendum 3 _____

Addendum 4 _____

Addendum 5 _____

Signature of person duly authorized to sign submittal on behalf of the Respondent:

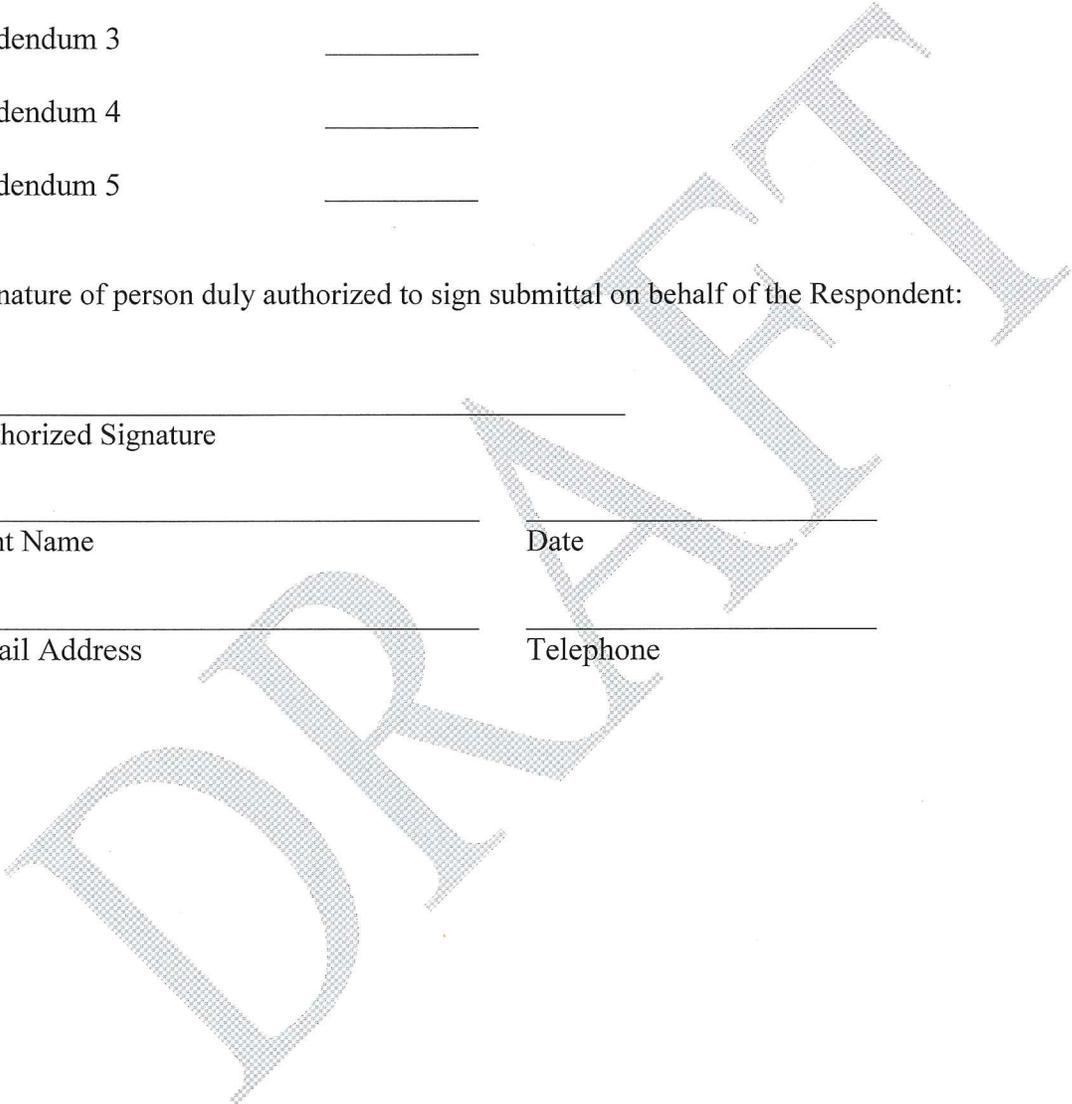
Authorized Signature

Print Name

Date

Email Address

Telephone



Lower St. Croix Valley Trail
Proposed Budget and Revenue Sources
 Draft: September 2016

Revenue Sources	Budget	Secured	
Government grants	\$ 15,000		\$5,000 Afton and \$2,500
Foundations	15,000		St. Croix Valley; Others
Corporations/businesses	10,000	-	Segway; Fat Tire Trike;
Individual contributions	75,000	40,000	\$20,000 plus matching
Fundraising events and products	5,000		
In-kind support (must match in-kind expense)			
Other (specify)	-	-	
Total Revenue	\$ 120,000	\$ 40,000	

Expenses:	Budget	Actual	Priority	
Bridge Upgrades	\$55,000		High	Includes bike trail resu
Benches 5@ \$2,000/each	10,000		- Medium	uniform design one for
Shelter 1@ \$15,000/each	15,000		- Medium	Likely located near ten
Dog waste stations 3@\$300/each	1,000		Low	Afton and LSB already
Signage-beginning and end @\$15,000 allowance	15,000		- High	Trail head and end of t
Bike Repair station	To be determined		Future	Short trail results in lov
Fundraising expenses	2,000		- High	Community Event
In-kind expenses(must match in-kind income)	To be determined		- TBD	
Soft costs - general design and legal	10,000		- High	Design exclusive of bri
Lighting	To be determined Alternative funding source		- Future	Future Phase - limit ligl
Vets park matching contribution			Future	Convening role and fac
Contingency	12,000		High	
Total Expenses	\$ 120,000	\$ -		
Total Revenue Less Expenses	\$ -	\$ 40,000		

Income Projections

Confirmed are income sources that have already been secured.

Anticipated are income sources that you have a reasonably good expectation of receiving.

Submitted are income sources for which a proposal has already been submitted.

Prospects are income sources that you intend to solicit, but to which you have not yet submitted a request for funding.

List Each Source Individually Below	Confirmed	Submitted	Prospect
	-	-	-
	-	-	-
	-	-	-
	-	-	-
Total Income:	0	0	0

SOLID WASTE SERVICES AGREEMENT

THIS SOLID WASTE SERVICES AGREEMENT is made and entered into the _____ day of November, 2016 by and between the CITY OF AFTON, a Minnesota Municipal Corporation organized and existing under the laws of the State of Minnesota ("City") and {To Be Determined} ("Contractor"), a Minnesota Corporation.

WITNESSETH

- A. WHEREAS, the City has found and determined that the public health and safety of the City will be promoted and preserved by establishing an arrangement for the collection, transportation, and disposal of solid waste kept and accumulated by residences and businesses within the City as defined in Chapter 18, Article III of the Code of Ordinances; and
- B. WHEREAS, the City released a request for proposals (RFP) for solid waste and recyclables collection services on September 21, 2016; and,
- C. WHEREAS, the Contractor submitted a proposal in response to the City's RFP on October 7, 2016; and,
- D. WHEREAS, the Contractor's proposal and response to specific questions certified the Contractor accepted the terms and service specifications contained within the RFP packet; and,
- E. WHEREAS, the City has determined Contractor to be qualified to carry out the terms of this Agreement upon the terms and conditions and for the consideration hereinafter provided.

NOW, THEREFORE, in consideration of the foregoing and the covenants, promises, undertakings, and obligations herein created, granted, and assumed, the parties hereto agree as follows:

ARTICLE 1. DEFINITIONS

For purposes of this Agreement, terms not otherwise defined herein shall have the following meanings:

- 1.1 **Agreement:** This City of Afton Solid Waste Services Agreement for solid waste and recyclables collection services and as subsequently amended.
- 1.2 **Bulky Waste:** See 'Problem Materials'.
- 1.3 **Cart:** The wheeled, lidded container provided by the Contractor in which solid waste, recyclable materials or yard wastes can be stored and placed for curbside collection.

-
- 1.4 **Collection:** The aggregation of MSW, Recyclables and Yard Wastes from the place at which they are generated including all activities up to the time they are delivered to a facility or end market.
- 1.5 **City-Designated Solid Waste Disposal Facility:** The facility designated by the City where Contractor is required to deposit MSW collected under this Agreement. Until amended otherwise, the City currently designates the Ramsey/Washington Recycling and Energy Center (R&E Center) as the City-designated Solid Waste Disposal Facility.
- 1.6 **Collection Vehicle:** Any vehicle licensed and inspected for Solid Waste collection as required by the state and county.
- 1.7 **Composting Facility:** Licensed facility to process yard waste and/or source separated organics in conformance with state and local regulations.
- 1.8 **County:** Washington County, MN.
- 1.9 **Dumpster:** A container having a minimum capacity of one cubic yard, of an approved sanitary type, with the proper attachments for lifting onto a Collection Vehicle.
- 1.10 **Dwelling Unit:** A separate dwelling place with a kitchen.
- 1.11 **Electronic Waste:** Any discarded consumer electronic device as described in Mn. Stat. 115A. 1310, typically having a circuit board including (but not limited to): televisions, computers, laptops, tablets, computer monitors, peripherals (e.g., keyboard, printer, mouse, etc.), cell phones, PDAs, DVD recorders/players and video cassette recorders/players, and fax machines.
- 1.12 **Food Waste/Organics:** (Also referred to as “organics” and “source separated organic materials”.) Food waste and other compostable organic materials as defined in Minnesota Statutes that are source separated for recovery. The term food waste/organics not include yard waste for purposes of this Agreement.
- 1.13 **Hazardous Waste:** Waste or material defined, characterized or designated as hazardous by the United States Environmental Protection Agency (USEPA), appropriate State agencies, or Washington County by or pursuant to Federal or State law or regulations. For purposes of this Agreement, the term hazardous waste shall also include motor oil, gasoline, non-alkaline batteries, paint, paint thinner, insecticides, toxic materials, acids, drugs, fireworks, ammunition and other hazardous substances so designated by the City, or Washington County.
- 1.14 **Holidays:** New Year’s Day, Memorial Day, Fourth of July, Labor Day, Thanksgiving Day, Christmas Day.
- 1.15 **Mixed Municipal Solid Waste (MSW):** As defined in Minnesota Statutes, garbage, refuse, rubbish, trash, and other solid waste from residential, commercial, industrial, and community activities that the generator of the waste aggregates for collection. MSW does not include auto hulks, street sweepings, ash, construction debris, mining waste, sludges, tree and agricultural wastes, tires, lead acid batteries, motor and vehicle fluids

and filters, and other materials collected, processed, and disposed of as separate waste streams. Also referred to in this Agreement as “trash”.

- 1.16 **Person:** Includes any natural person, corporation, firm or association.
- 1.17 **Pick-up (Stop):** A collection of one or more containers from a premise. One pick-up may include more than one container or extra bag or bundle.
- 1.18 **Premises:** Any dwelling house, building, and every other place where any person resides or a business is operated within the City.
- 1.19 **Problem Materials:** As defined in Minnesota Statutes 115A.03, subdivision 24a, waste that is too large to fit into a standard trash cart and requires special collection by Contractor. Problem material waste includes (but is not limited to): furniture, appliances, mattresses, and bed springs, and may be referred to as “bulky waste.” Problem material waste does include household electronic waste.
- 1.20 **Recyclables:** Shall have the meaning set forth in Minnesota Statutes and means materials that are source separated from MSW for the purpose of recycling. At a minimum, the list of recyclables shall be at least inclusive of the Washington County Standard List of Residential Curbside Recyclables.
- 1.21 **Recyclables Processing Facility:** Facility designed for centralized sorting, processing, and/or grading of collected recyclable materials for marketing. The facility will conform to all applicable rules, regulations and laws of state, local or other jurisdictions.
- 1.22 **Single Stream Recycling/Single Sort Recycling:** The recycling system whereby residents set out recyclables in one category without further sorting by residents in which materials are later processed at a processing facility, including sorting into their individual marketable commodities.
- 1.23 **Solid Waste:** Discarded solid materials (except animal waste used as a fertilizer), including MSW, recyclables, food waste/organics, yard waste, Problem Materials and other solid waste materials resulting from industrial, commercial and agricultural operations, and from community activities. Solid waste does not include earthen fill, boulders, rock and other material normally handled in construction operations.
- 1.24 **Trash:** See MSW.
- 1.25 **Volume-based charges:** Charges that vary based on limits of MSW which a premise is permitted to dispose of, often measured by the trash cart size.
- 1.26 **Washington County Standard List of Residential Curbside Recyclables:** The list of recyclables collected curbside in all city/township recycling programs within the county to meet basic requirements of the County’s Municipal Curbside Recycling and Waste Reduction funding requirements.
- 1.27 **Yard Waste:** As defined in Minnesota Statutes, grass trimmings, leaves, home and garden plant wastes, twigs and branches less than four (4) inches in diameter and miscellaneous tree seeds and cones.

ARTICLE 2. TERM OF AGREEMENT

- 2.1 This Agreement shall commence on January 1, 2017 and shall remain in full force and effect through December 31, 2021, unless terminated in accordance with Section 16 of this Agreement.
- 2.2 The City at its sole discretion may elect to extend the Agreement for five (5), one (1) – year increments or the City at its sole discretion may elect to extend the Agreement for one (1), five (5) year extension. The terms and conditions of this Agreement shall apply to any such Agreement extension. Nothing in this Agreement shall be interpreted to imply or infer that the City is committing to such extensions.
- 2.3 At least six (6) months prior to the expiration of this Agreement (or any extension period), the City shall notify the Contractor of its decision as to whether or not to exercise its extension option. The Contractor may request an early decision by the City for an extension of the Agreement by submitting a written request.
- 2.4 The City reserves the right to terminate this Agreement for material breach or unsatisfactory performance by Contractor. Termination shall not affect the City’s right to make a claim against Contractor or its Performance Bond for the damages on account for such a breach.
- 2.5 No assignment of any rights or obligations under this Agreement shall be made without written approval of the City Council and by mutual agreement of both parties.

ARTICLE 3. GENERAL REQUIREMENTS

- 3.1 **Independent Contractor.** Contractor is declared to be an Independent Contractor and nothing in this Agreement shall be construed to create the relationship of employer and employee between the City and Contractor, its agents or its employees.

Nothing contained in this Agreement is intended to, or shall be construed in any manner, as creating or establishing the relationship of employer/employee between the parties. Contractor shall at all times remain an independent contractor with respect to the services to be performed under this Agreement.

Any and all employees of Contractor or other persons engaged in the performance of any work or services required by Contractor under this Agreement shall be considered employees or subcontractors of Contractor only and not of the City; and any and all claims that might arise, including worker's compensation claims under the Worker's Compensation Act of the State of Minnesota or any other state, on behalf of said employees or other persons while so engaged in any of the work or services provided to be rendered herein, shall be the sole obligation and responsibility of Contractor.

- 3.2 **Licenses and Permits.** Contractor shall ensure at its own expense that all driver and truck licenses and permits are current and in full compliance with local, state and federal laws and regulations. Any processing facility used to handle MSW, Recyclables,

Problem Materials and Yard Wastes from the City must have current permits and licenses and make the same available upon request by the City.

- 3.3 **Compliance with Law.** Contractor shall comply with all federal, state, County and City laws, regulations and local ordinances pertaining to the Collection and processing of MSW, Recyclables, Problem Materials and Yard Waste.
- 3.4 **Days of Collection.** (Not listed anywhere else. Language on service days for both residential and commercial need to be listed in here.
- 3.5 **Hours of Collection.** Residents shall place all Carts curbside no later than 7:00 AM on collection day. Collection shall not start before 7:00 a.m. or continue after 8:00 p.m. on the same day. Exceptions to collection hours shall occur only by prior permission of the City. Contractor shall request permission from the City for any exception first via telephone and then in writing (email to the City Administrator or designee is acceptable) with an explanation as to the reason for the exception.
- 3.6 **Holidays.** When a Holiday falls on a weekday (Monday through Friday) in a week that Collection will normally be made, Collection day may be delayed one day. It shall be Contractor's responsibility to inform residents in a timely manner of any change in the collection schedule as a result of a Holiday.
- 3.7 **Delays.** Contractor shall furnish the City and all of its Premises with a written copy of the schedule of collection for each Premise. Contractor shall make every effort to maintain established scheduled pick-ups even though conditions such as weather may be adverse. In no event shall Contractor be required or suffer penalty for failure to perform a scheduled pickup when prevented from doing so as the result of an undue accumulation of snow and/or other catastrophic conditions. The Afton City Administrator shall determine if such conditions exist. In such case, collection shall be made on the next day.
- 3.8 **Missed Collections.** In the case of alleged missed collections, Contractor shall investigate, and, if such allegations are verified, Contractor shall then arrange for the Collection of the subject materials no later than 4 p.m. the next business day.
- 3.9 **Spills or Leaks.** Any contents spilled or fluids leaked from the MSW, Recyclables, yard waste or the trucks shall be cleaned up immediately in a workmanlike manner. If Contractor fails to clean up any scattered or spilled material or leaked material or fluids from trucks within three hours after oral or written notice (email is acceptable) from the City, the City may cause such work to be done and bill the reasonable cost thereof to Contractor, in addition to any other remedies provided herein.
- 3.10 **Carts and Dumpsters.** Contractor shall provide each Premise with a MSW Cart or Dumpster, a clearly distinguished Recycling Cart or Dumpster and a Yard Waste Cart if required. Residents may use their own containers for yard waste. Contractor may not charge additional fees for carts. Contractor shall be responsible for the maintenance of the Carts and Dumpsters and except in the case of abuse and/or misuse by a premise, shall replace damaged or broken Carts or Dumpsters free of charge. Upon the termination of this Agreement, Contractor shall collect all Carts and Dumpsters at Contractor's expense. Carts and Dumpsters shall be handled with reasonable care to

avoid damage and are to be replaced in an upright position in the location they were found.

- 3.11 **Disabled Subscribers.** Contractor shall not require disabled residents to make their Trash or Recyclables available at curbside and shall make arrangements upon contact by such resident to accommodate Collection.
- 3.12 **City Property.** Contractor must provide Trash and Recyclables Collection, at no cost to the City, for the following:

NAME AND ADDRESS OF CITY FACILITY	SIZE OF TRASH CONTAINER	SERVICE LEVEL
City Hall, 3033 St. Croix Trail S.	60 gallon	Weekly
Town Square Park	5 @ 32 gallon	Weekly
Town Square Park	4 yard	2X/week, Apr. – Oct.
Steamboat Park	4 yard	2X/week, Apr. – Oct.

Sizes of recyclable containers at each location to be serviced by Contractor will be determined by the City.

- 3.13 **Annual Cleanup of City Ditches.** On the annual cleanup day, as designated by the City, Contractor, without fee or other compensation from the City or any other person, shall provide labor for and collections equipment to collect roadside refuse placed there by volunteer citizens in bags provided by Contractor, provided that the City shall pay the tipping fee for disposal of the collected refuse upon submission by Contractor of the weight receipts.
- 3.14 **Fees for Special Events.** Cleanup fees and schedules for all special events or other services in the City Parks shall be negotiated between the party arranging the special events and Contractor, provided, however, that Contractor shall not have exclusive rights to provide service at these events and the parties arranging special events may contract for services with a hauler of their choice.

ARTICLE 4. INSURANCE; INDEMNIFICATION

- 4.1 **Insurances.** Contractor shall carry and file policies or certificates with the City for worker's compensation insurance (statutory level), public liability insurance (including for automobiles and trucks), and property damage insurance. The City shall be named as an additional insured in all such policies, and the policies shall be in form and substance acceptable to the City. All liability policies shall provide coverage in an amount at least equal to \$1,000,000 per person and \$2,000,000 per occurrence. Workers Compensation policies shall be compliant with state law. The Contractor shall maintain Umbrella Coverage insurance. The minimum limit shall be \$5,000,000.
- 4.2 **Performance Bond, Payment Bond.** Contractor shall obtain a Performance Bond to ensure that the work will be completed according to the terms of the Agreement, and a

Payment Bond to ensure that subcontractors, and people who provide labor and materials associated with the Agreement are paid. Each Bond shall be in the amount of \$10,000 payable to the City for the use of said City. Each Bond shall be signed by Contractor and with a surety of company as surety. Each Bond shall at all times be kept in full force and effect. The Bonds shall be filed with the City Administrator/Clerk or the designee.

4.3 **Payments.** Contractor shall pay all bills or claims for wages, salaries and supplies, incurred in the operation of the collection service. The City has no obligation or responsibility for bills or debts incurred by Contractor.

4.4 **Indemnification.** Contractor agrees to take title to MSW, Recyclables. Problem Materials and all other collected materials upon collection by Contractor. Contractor shall defend, indemnify and save harmless the City from any and all claims and causes of action which may be asserted against the City on account of any act or omission, or any misfeasance or malfeasance of Contractor or its employees and agents in connection with its performance under this Agreement. Contractor shall defend, indemnify, keep and save harmless the City and its respective officers, agents and employees against any or all suits or claims that may be based upon any injury or damage to persons or property that may occur, or that may be alleged to have occurred, in the course of the performance of this Agreement by Contractor, or as a result of the performance of this Agreement, whether or not it shall be claimed that the injury was caused through a negligent act or omission of Contractor or its employees and whether or not the persons injured or whose property was damaged were third parties, employees or Contractor or employees of an authorized subcontractor. Contractor shall defend, indemnify, keep and save harmless the City and its respective officers, agents and employees against any or all suits or claims:

- a) arising under the Minnesota Environmental Response and Liability Act (“MERLA”) enacted in 1983.
- b) its federal counterpart, the Comprehensive Environmental Response Compensation and Liability Act of 1980 as amended by the Superfund Amendments and Reauthorization Act (“SARA” of 1986 (together known as CERCLA).
- c) any administrative rule or statute of Minnesota or any other State.
- d) any common law theory of and other State or the United States.
- e) claims based upon the clean-up of abandoned or existing sites contaminated or allegedly contaminated with hazardous substances, if any claims described in (a) through (e) are based upon solid waste transported from the City by Contractor or its subcontractors or their agents or in connection with any claim based on lawful demands of subcontractor, work person, suppliers.

Contractor shall at its own expense defend the City in all litigation, pay all attorneys' fees and all costs and other expenses arising out of the litigation or claim or incurred in connection therewith; and shall, at its own expense, satisfy and cause to be discharged such judgments as may be obtained against the City, or any of its officers, agents or employees.

ARTICLE 5. COLLECTION EQUIPMENT AND PERSONNEL

- 5.1 **Labor and Equipment, General.** Contractor shall furnish all labor and equipment as shall be necessary and adequate to insure satisfactory collection, transportation and proper separation and processing of the MSW, Recyclables, Problem Materials and Yard Wastes from all Premises in the City. All work to be performed hereunder shall be done so as to protect to the highest extent the public health and safety.
- 5.2 **Maintenance of Equipment.** Contractor shall maintain equipment, used in the performance of this Agreement in a clean and sanitary condition and shall at all times operate such equipment in compliance with State law and City ordinances. Equipment shall be maintained so the material being collected and transported will not be seen and will not blow, fall or leak from the vehicle and fluids will not leak from the trucks.
- 5.3 **Compliance with Truck Road Weight Restrictions.** It shall be Contractor's sole responsibility to comply with all road weight restrictions. Contractor shall immediately inform the City of any notices of exceeding such restrictions. The City retains the right to inspect and/or weigh Contractor's trucks at any time.
- 5.4 **Personnel.** Contractor shall retain sufficient personnel and equipment to fulfill the requirements and specifications of this Agreement. Contractor's personnel shall be trained both in program operations and in customer service, and Contractor shall insure that all personnel maintain a positive demeanor with the public, and shall:
- 5.4.1 Conduct themselves at all times in a courteous manner and use no abusive or foul language.
 - 5.4.2 Make a concerted effort to have at all times a presentable appearance and attitude.
 - 5.4.3 Wear a uniform and employee identification badge or name tag.
 - 5.4.4 Drive in a safe and considerate manner.
 - 5.4.5 Manage Carts and Dumpsters in a careful manner so as to avoid spillage and littering, or damage to the Cart. Carts shall not be replaced in the street, and shall be replaced in an upright position.
 - 5.4.6 Monitor for any spillage or vehicle leaks and be responsible for immediately cleaning up any litter, breakage or leaks.
 - 5.4.7 Avoid damage to personal or City property.
 - 5.4.8 Return Dumpsters to their original location and ensure gates are closed after servicing.
 - 5.4.9 Not perform their duties or operate vehicles while consuming alcohol or illegally using controlled substances or while under the influence of alcohol and/or such substances.

ARTICLE 6. MSW (TRASH) COLLECTION

- 6.1 **Weekly Collection.** MSW collection shall be weekly for each Premises, although a Premises may have more frequent collection. A Premise may also have less frequent collection with the prior approval of the City.
- 6.2 **Waste Removal.** Contractor shall provide for the removal of MSW from all Premises in the City. Contractor shall offer its services to all Premises in the City, without exception, by written notice, describing service schedules and rates and Cart and/or Dumpster options. Such notice shall be delivered at least annually in a form and content approved by the City prior to preparation for delivery. Contractor shall immediately report to the City all Premises that refuse or discontinue waste removal services.
- 6.3 **Refusal Notice.** If any Premises places any items out for pickup and the item is not taken by Contractor, Contractor shall provide written notification to the Premises and to the City of reason(s) for refusal to pick up the item.
- 6.4 **Carts and Dumpsters.** Contractor shall make Carts or Dumpsters available to each Premise for MSW Collection. MSW Carts shall be provided in at least three (3) sizes: approximately ninety (90), sixty-five (65) and thirty (30) gallons. MSW Dumpsters shall be provided in at least two (2) sizes, two (2) yards and four (4) yards, and options for single day per week service and multiple day per week service shall be offered to Dumpster customers.
- 6.5 **Required Disposal.** Pursuant to MN 115A.46 and 115A.471 all waste collected by Contractor in the City shall be delivered to the Ramsey/Washington Recycling & Energy Center (R&E Center).

ARTICLE 7. RECYCLABLES COLLECTION

- 7.1 **Single Sort Recycling.** Contractor shall not require separation of Recyclables by type, but shall permit Premises to aggregate all of their Recyclable Materials into the same Cart or Dumpster for Collection by Contractor.
- 7.2 **Frequency of Collection.** Recyclables Collection shall occur once every other week for each Premise, except that businesses may have more frequent recyclables collection. {May be changed to weekly collection after consideration by the City of Proposals received.}
- 7.3 **Recyclables to be Collected.** Contractor shall collect at a minimum the Washington County List of Standard Recyclables in addition to those Recyclables for which it has found or developed markets. Contractor shall update the list of Recyclables it Collects to remain current with the Washington County List of Standard Recyclables.
- 7.4 **Additional Recyclable Materials.** After maximizing the use of their recycling Cart, residents who have a large amount of Cardboard or other Recyclables may bundle this material up and leave it beside the Recycling Cart for pickup and Contractor shall pick up such additional Recyclables at its regular Collection time at no additional charge. Premises may request, and Contractor shall provide and service additional Recycling

Carts at no additional charge. Businesses shall have an appropriate-sized cart or dumpster for recyclables and all recyclables shall fit into the cart or dumpster.

- 7.5 **Ownership of Recyclables.** All recyclables placed for Collection by Premises from eligible persons shall remain the responsibility and ownership of the residents until picked up by Contractor. There shall be no scavenging of materials set out by Premises.
- 7.6 **Changes to Recycling Collection System.** Contractor shall not make changes to Recyclables Collection system or the Recyclables Processor without the prior written agreement of the City.
- 7.7 **Education.** Contractor shall provide two (2) education/outreach actions per year, which may include direct-mail pieces, Afton-specific recycling education advertising in the City of Afton Newspaper of Record, literature drops at Premises, or other City-approved options. The method of distribution and content of materials shall be approved by the City in writing prior to distribution. Contractor shall have an Afton-specific online (web) site with information about the Solid Waste, Recycling, Problem Materials and Yard Waste Collection program. Additional agreed upon education actions may be implemented, such as targeting new residents or recycling incentives programs.
- 7.8 **Processing of Recyclables.** Contractor shall haul all collected Recyclables to a Recyclables Processing Facility or end market for sale or reuse, or to an intermediate collection center for later delivery to a Recyclables Processing Facility or end market. A statement shall be received by Contractor showing the tonnage of Recyclables collected within the City. Such statement must be in a form sufficient to qualify the recyclables as having been properly processed for purposes of the Agreement. Contractor may not transport the Recyclables to a mixed municipal solid waste disposal facility. Contractor or its subcontractors shall not landfill, incinerate, compost or make fuel pellets out of the Recyclable Materials. All costs of transporting and depositing the Recyclables with the Recyclables Processing Facility or the end market shall be at the sole expense of Contractor.
- 7.9 **Records and Waste Sorts.** Contractor will keep accurate records of the weights and types of recyclables collected in the City. Contractor shall participate with the city in tests such as waste sorts to confirm the methodology and accuracy of MSW, recyclables, and SSO weights and also to study residential capture rates or to identify opportunities to increase recycling.

ARTICLE 8. YARD WASTE COLLECTION

- 8.1 **Collection.** Contractor shall provide separate yard waste collection as an additional service during the months of April through November, weather permitting. Yard Waste collection shall be weekly during the season.
- 8.2 **Preparation by Premises.** Contractor shall make Carts available to each Premise for Yard Waste Collection, or Premises may supply their own containers. Yard Waste may not be placed or Collected in plastic bags, to comply with Minnesota Statute (M.S. 115A.931, Subd. (c) and M.S. 325E.046). Yard waste shall be prepared by Premises as

specified by Contractor and shall be Collected at curbside on the same day as MSW collection.

- 8.3 **Licensed composting facility.** Contractor shall haul all collected Yard Wastes to a licensed composting facility for processing, sale or reuse, or to an intermediate collection center for later delivery to a composting or processing facility.

ARTICLE 9. PROBLEM MATERIALS COLLECTION

- 9.1 **Collection.** Contractor shall provide Collection, processing and marketing or disposal services related to Problem Materials including Electronic Waste from Premises at their request. Collection shall be made within one (1) calendar week of the request.
- 9.2 **Processing and Disposal.** Contractor shall insure that processing and disposal of Problem Materials shall be conducted at a licensed facility in accordance with applicable County, state and federal rules and regulations.
- 9.3 **Billing.** Contractor shall bill Premises for Problem Material collection processing and marketing or disposal services only in accordance with Attachment A of this Agreement.
- 9.4 **Problem Materials Collected by the City.** Contractor shall provide collection and processing or disposal services for Problem Materials in the City that result from illegal dumping. Collection of items shall be at the City's request, and shall be made within one (1) calendar week of the request. {Costs, if any, to be finalized in Final Agreement.}

ARTICLE 10. SOURCE SEPARATED ORGANICS/ORGANICS COLLECTIONS

The City and the Contractor will monitor the availability of Source Separated Organic Materials (SSOM) processing capability and will jointly determine if and when pilot programs and/or City-wide collections of SSOM should begin. When SSOM collections are implemented, similar service plans, required processing at a licensed facility, and reporting to the City shall be required as are required for Recycling Collection.

ARTICLE 11. BILLING

- 11.1 **Billing.** Contractor shall collect all charges from each Premise for its Collection services. The City shall have no obligation to collect or aid in the collection of charges for services under this Agreement. Contractor shall collect and remit all applicable Minnesota Solid Waste Management Fees and County Environmental Charges.
- 11.2 **Additional Premises.** The City, on request, will inform Contractor of known changes of occupancies or vacancies of Premises.
- 11.3 **Contracts for Additional Collections.** Contractor may, independently of this Agreement, contract with any resident to collect Trash or Solid Waste excluded from the mandatory Collection by the Agreement. Contractor's charge for the services shall be listed in Attached Exhibit A, subject to change with the written approval of the City. If

the Collection is not listed, the price shall be negotiated between Contractor and the customer.

- 11.4 **Accounts in Arrears.** Contractor has the right to suspend service to any account over sixty (60) days in arrears. Contractor may reestablish service when it has received payment in full.
- 11.5 **Extended Vacation.** A Premises can obtain, up to six (6) times per year, a vacation credit for a minimum of one (1) week, with notification to Contractor prior to the vacation of the dates that service is not needed. Exceptions to the six (6)-time maximum may be granted at Contractor's discretion.
- 11.6 **Collection Fees.** Volume/weight-based MSW fees must be offered to each Premise (MN§115A.93 subd.3). Differences between rates charged for the various container sizes shall be sufficient to encourage recycling and waste reduction in accordance with Minnesota Statutes and the Washington County Solid Waste Master Plan. Specific Collection Fees are in Attachment A to this Agreement, which must be amended in the event of a rate increase.
- 11.7 **Customer Cancellation of Service.** Contractor shall reimburse any unearned fees to any customer who cancels service for any reason. Additionally, haulers shall not charge any fees to remove any bin from a customer's property when they cancel service except, in the case of non-payment of the bill to the Contractor.
- 11.8 **Rate Increase.** During the term of the agreement no increase in rates shall be granted to Contractor unless requested by September 15 of the calendar year prior to the requested rate increase. The City shall have sole authority to approve or deny the requested rate increase, although approval shall not be unreasonably withheld.

ARTICLE 12. CUSTOMER SERVICE REQUIREMENTS

- 12.1 **Complaints.** Contractor shall provide staffing of a telephone equipped office to receive missed Collection complaints and other complaints between the hours of 8:00 a.m. until 4:30 p.m. Monday through Friday. Contractor shall have an answering machine or voice mail system activated to receive phone calls after hours. The address and telephone number of the office shall be given to the City in writing, with ten (10) days prior notice of a change therein. Contractor shall also allow complaints to be made electronically (by e-mail).
- 12.2 **Notification to City.** Each month Contractor shall provide the City with a list of all customer complaints, the nature of these complaints and a description of how each complaint was resolved. The names of the complainants and contact numbers or e-mail addresses must also be included. Complaints on service will be taken and collected by the City and Contractor. The City shall promptly relay any complaints it receives from its residents regarding Contractor's performance to Contractor. Contractor is responsible for corrective actions. Contractor shall answer all complaints courteously and promptly. Contractor shall, within three (3) business days thereafter, inform the City how it responded to such complaints.

ARTICLE 13. ACCESS TO RECORDS; REPORTS

- 13.1 **Access to Records.** Contractor shall provide to the City during normal business hours, access to books, documentation, papers, weigh tickets and other records that are directly pertinent to the required reports. Contractor shall document and retain dated market weight receipts of recyclable materials sold for the last three (3) years, which upon request will be made available to the City for review.
- 13.2 **Reports.** Contractor will submit quarterly reports to the City. Reports shall be due to the City by the fifteenth (15th) day of April, July, October and January.
- 13.3 **City Report Contents.** At a minimum, Contractor shall include the following information in these reports:
- 13.3.1 Residential and business customer lists, including name, address and type and size of services provided to each premise.
 - 13.3.2 Log of all complaints, including the nature of the complaints, to include the following:
 - 1. Names, addresses, and contact numbers of the complainants;
 - 2. The date and time received;
 - 3. Contractor's response; and the date and time of the response;
 - 4. Log of addresses of Premises that did not put out recyclables containers that month.
 - 13.3.3 Copies of education materials provided to City of Afton residents that quarter.
 - 13.3.4 Suggestions for improvements to the City of Afton solid waste programs (e.g., public education, business recycling, etc.).
 - 13.3.5 Addresses of Premises that start or stop service.
- 13.4 **County and MPCA Reports.** Contractor shall on a quarterly basis, submit to the county and/or Minnesota Pollution Control Agency the following:
- 13.3.6 Total tons of recyclables and MSW and source-separate organics (not including yard waste) collected and "Total tons" recorded for each of the three (3) months of the reporting quarter.
 - 13.3.7 Method used to collect and report total quantities of recyclables and MSW collected, which shall be in compliance with the Washington County Hauler Residential Recycling Hauler Report.

ARTICLE 14. ASSIGNMENT AND SUBCONTRACTING

Contractor shall not assign or subcontract this Agreement or any interest therein or any privilege or right granted therein without the prior written consent of the City. Consent to one assignment or subcontract shall not be deemed to be consent to any subsequent assignment or subcontract.

ARTICLE 15. MISCELLANEOUS

- 15.1 **Liquidated Damages.** Contractor agrees, in addition to any other remedies available to the City, that the City may demand payment from Contractor in the amounts specified below as liquidated damages for failure of Contractor fulfilling its obligations. Failure to remit payments to the City within thirty (30) days shall result in a doubling of the required payment and shall be a Failure to Perform in accordance with Section 16.
- 15.1.1 Failure to respond to legitimate service complaints within 24 hours in a reasonable and professional manner - fifty dollars (\$50) per incident.
- 15.1.2 Failure to collect properly notified missed collections - two hundred and fifty dollars (\$250) per incident.
- 15.1.3 Failure to provide quarterly and/or annual reports - one hundred dollars (\$100) per incident.
- 15.1.4 Failure to complete the collections within the specified timeframes without proper notice to the City - one hundred dollars (\$100) per incident.
- 15.1.5 Failure to clean up spills during collection operations - two hundred fifty dollars (\$250) per incident.
- 15.1.6 Failure to report on changes in location of Recyclable Processing operations - two hundred fifty dollars (\$250) per incident.
- 15.1.7 Failure to collect Washington County List of Standard Recyclables within one month of notification of a change to the List - one hundred dollars (\$100) per week of non-collection.
- 15.1.8 Failure maintain current County licenses to haul MSW, Recyclables, Organics or Yard Waste - five hundred dollars (\$500) per day.
- 15.2 **Waiver.** The waiver by the City of any breach or violation of any term covenant, or condition of this Agreement shall not be a waiver of any subsequent breach or violation of the same or any other term, covenant or condition hereof.
- 15.3 **Binding Effect.** The terms, covenants, and conditions of this Agreement shall apply to, and shall bind and inure to the benefit of the parties, their successors, and assigns.
- 15.4 **Data Practices.** Contractor agrees to comply with the Minnesota Government Data Practices Act and all other applicable state and federal laws relating to data privacy or confidentiality. Contractor must immediately report to the City any requests from third parties for information relating to this Agreement. The City agrees to promptly respond to inquiries from Contractor concerning data requests. Contractor agrees to hold the City, its officers, and employees harmless from any claims resulting from Contractor's unlawful disclosure or use of data protected under state and federal laws.
- 15.5 **Force Majeure:** Whenever a period of time is provided for in the Agreement for either the City or Contractor to so or perform any act or obligation, neither party shall be liable for any delays or inability to perform due to causes beyond the control of said party such as war, riot, unavoidable casualty or damage to personnel, materials or equipment, fire, flood, storm, earthquake, tornado or any act of God, but not strike or lockout. The time

period for the performance in question shall be extended for only the actual amount of time said party is so delayed.

ARTICLE 16. FAILURE TO PERFORM, TERMINATION

- 16.1 **Failure to Perform.** In the event Contractor fails to collect the MSW, Recyclables, Problem Materials and/or Yard Waste as required by this Agreement, the City may, at its option, hire such labor and equipment as may be necessary to collect and dispose of such MSW, Recyclables, Problem Materials and Yard Waste after Contractor is given three (3) business days to remedy the situation. The City may, at the City's sole option, terminate this Agreement in accordance with Section 16.2. In the event remedy does not occur, Contractor shall reimburse the City for all reasonable collection expenses the City incurs above and beyond the amounts the City is obligated to pay for such collection under this Agreement or the City shall utilize the Performance Bond for such expenses.
- 16.2 **Termination.** The City may terminate this Agreement if Contractor fails to fulfill its obligations under the Agreement in a proper and timely manner, or otherwise violates the terms of the Agreement if the default has not been cured after thirty (30) days written notice has been provided. The City may also terminate this Agreement immediately if Contractor violates the terms of or fails to maintain County licenses required to collect and transport MSW, Recyclables, Organics or Yard Waste. The City shall pay Contractor all compensation earned prior to the date of termination minus any damages and costs incurred by the City as a result of the breach. If the Agreement is cancelled or terminated, all finished or unfinished documents, data, studies, surveys, maps, models, photographs, reports or other materials prepared by Contractor under this Agreement shall, at the option of the City, become the property of the City, and Contractor shall be entitled to receive just and equitable compensation for any satisfactory work completed on such documents or materials prior to the termination.

**Attachment A
PRICE SHEET
January 2017**

EXAMPLE, SPECIFIC PRICES TO BE DETERMINED

DRAFT

RESIDENTIAL SOLID WASTE SERVICES AGREEMENT

City of Afton, Minnesota
Appendix A, Page 1

Attachment B
Problem Material and Yard Waste Prices
January 2017

{COSTS TO BE DETERMINED}
(Per Item Unless Otherwise Specified)

Item	Cost
Appliances	
Freezer, Refrigerator, Air Conditioner	\$
Water Heater, Stove, Dishwasher, Washing Machine, Dryer	\$
Microwave or Dehumidifier	\$
Television or Monitor, 19" or less	\$
Television or Monitor, 20" – 30"	\$
Television larger than 31"	\$
Computer (CPU), Printer	\$
Computer, Laptop or Gaming Console	\$
Water Softener (no salt)	\$
Furniture	
Hide-a-bed	\$
Couch, Loveseat, upholstered chair	\$
Recliner: chair or loveseat	\$
Mattress or Box Springs	\$
♦ Single	\$
♦ Double (Full)	\$
♦ Queen	\$
♦ King	\$
Dresser	\$
Wood Desk	\$
Metal Desk	\$
Table	\$
Non-upholstered chairs, office chairs	\$
Miscellaneous	
Bikes	\$
Gas Grills (no tanks)	\$
Vacuum cleaner	\$
Cart tire	\$
Toilet	\$
Sink (not iron)	\$
Wooden Door	\$
Carpet and pad, small room	\$
Carpet and pad, large room	\$
Extra Trash, Yard Waste	
30 gallon bag, trash	\$
30 gallon bag, yard waste	\$
Bundle brush (3' X 1')	\$
Seasonal Yard Waste	\$ /month

City of Afton
3033 St. Croix Trl, P.O. Box 219
Afton, MN 55001

Meeting Date Sept. 20, 2016

Council Action Memo

To: Mayor Bend and Members of the City Council
From: Ron Moore, City Administrator
Date: September 14, 2016
Re: Lower St. Croix Valley Fire Relief Association Request for Pension Benefit Increase –
Resolution 2016-48

The Lower St. Croix Valley Fire Relief Association has requested that the City of Afton approve an increase in the pension benefit for firefighters from the current \$3,250 per year of service to \$3,400 per year of service. The Council is scheduled to discuss this request at its September 16 work session.

The Relief Association's pension fund currently has a surplus of assets over liabilities of 123%. The pension increase would reduce the surplus to 113%. The Relief Association believes the 113% surplus is a sufficient funding level to enable the requested benefit increase. A 13% surplus provides a minimal level of assurance against a funding deficit. If there was a funding deficit, the city would be obligated to contribute to the pension fund until the deficit was eliminated.

Attached is a schedule from the recent Relief Association audit report showing the net position available for benefits and the funded ratio over the past ten years. The fund was in a deficit position from 2008 to 2011, which required contributions from the cities to fund the deficit. In 2013, the fund had a 15% increase in its net position available for benefits and in 2014 the fund had a 5% increase in its net position available for benefits. At that time, a pension benefit increase was approved. In 2015, the fund had an increase of less than 1% in its position available for benefits.

If the Council decides to approve the requested pension benefit increase, a resolution approving the increase is attached.

COUNCIL ACTION REQUESTED:

Motion regarding Lower St. Croix Valley Fire Relief Association request for pension benefit increase from \$3,250 per year of service to \$3,400 per year of service.

RESOLUTION 2016-48

CITY OF AFTON
WASHINGTON COUNTY, MINNESOTA

**RESOLUTION APPROVING AN INCREASE IN THE LOWER ST. CROIX VALLEY
FIRE RELIEF ASSOCIATION PENSION BENEFIT FROM \$3,250 PER YEAR OF
SERVICE TO \$3,400 PER YEAR OF SERVICE**

WHEREAS, the City contracts with the Lower St. Croix Valley Fire Department for fire services; and

WHEREAS, the members of the Lower St. Croix Valley Fire Department are members of the Lower St. Croix Valley Fire Relief Association, through which they earn pension benefits; and

WHEREAS, the Lower St. Croix Valley Fire Relief Association has requested an increase in the pension benefit from \$3,20 per year of service to \$3,400 per year of service; and

WHEREAS, the City has reviewed the financial records of the Relief Association, and have determined the pension fund assets appear to be sufficient to enable the requested pension benefit increase.

BE IT RESOLVED by the City Council of the City of Afton that the request from the Lower St. Croix Valley Fire Relief Association for an increase in the pension benefit from \$3,250 per year of service to \$3,400 per year of service is approved.

**ADOPTED BY THE CITY COUNCIL OF THE CITY OF AFTON THIS 20th DAY OF
SEPTEMBER, 2016.**

SIGNED:

Richard Bend, Mayor

ATTEST:

Ronald J. Moose, City Administrator

Motion by:
Second by:
Palmquist:
Richter:
Ross:
Nelson:
Bend:

City of Afton
3033 St. Croix Trl, P.O. Box 219
Afton, MN 55001

Meeting Date Sept. 20, 2016

Council Action Memo

To: Mayor Bend and Members of the City Council
From: Ron Moorese, City Administrator
Date: September 14, 2016
Re: Requests for Cluster Mailboxes

At its July 19, 2016 meeting, the Council reviewed information regarding residents in a number of rural neighborhoods working with the Post Office to install metal cluster mailboxes with locking boxes to improve mail security. The residents and the Post Office have contacted the City regarding whether the City has any requirements for the mailboxes. The City has approved one cluster mailbox, located in the Cedar Bluffs development. A photo of this mailbox is attached. The Post Office is proposing a metal pedestal mailbox, which is circled on the attached U.S. mail supply brochure. The Council referred this issue to the Heritage Preservation Commission (HPC) for review and recommendation. The HPC prefers the character of the Cedar Bluffs mailbox with the wood and metal vs. all metal. The addition of wood also would work on a pedestal mailbox.

The Council also asked whether members of a neighborhood would be required or pressured to eliminate their individual mailbox in favor of a cluster mailbox. The Afton Postmaster indicated no one would be required to eliminate their individual mailbox. The Post Office would not install a cluster mailbox unless a substantial percentage of the residents would participate. But if some residents do not want to participate they could keep their individual mailboxes.

At its August 16, 2016 meeting, the four members present were not in agreement regarding whether cluster mailboxes should be allowed in the rural area of the city. The Council continued consideration of this item to the September 20 Council meeting. Staff is requesting direction regarding whether to allow cluster mailboxes in the city's rural area, and regarding the design of cluster mailboxes.

COUNCIL ACTION REQUESTED:

Motion regarding cluster mailboxes in the city's rural area.



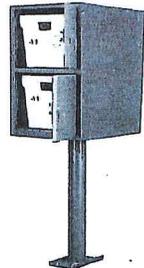
Pedestal Letter Locker Collection Boxes



Single Letter Locker Collection Box



Double Letter Locker Collection Box - Single Door



Double Letter Locker Collection Box - Double Door

Specifications & Features

- These Collection Boxes are typically used for large institutions that receive a high volume of mail utilizing the standard USPS mail totes, such as schools, medical facilities, airports and universities
- Collection Boxes are perfect for customers who receive large amounts of incoming mail and also have large amounts of outgoing mail
- The USPS will place a mail tote filled with incoming mail in the collection box, and remove the existing tub of outgoing mail
- All of these letter lockers are prepped for the USPS lock for mail carrier access and requires local USPS approval - NOT intended for residential use
- Tenant door equipped with commercial Medeco high security deadbolt lock with 3 keys
- Optional pedestals available in surface mount or in-ground - Pedestals sold separately
- Heavy gauge electro-galvanized steel construction
- Available in white, tan, grey, bronze, and black powdercoat finishes
- Single Letter Locker Collection Box has one front door prepped for the USPS lock and one rear door equipped with the tenant lock
- Double Letter Locker Collection Box with one door is to be used for one tenant, and accommodates two USPS mail totes, which are used for either incoming or outgoing mail
- Double Letter Locker Collection Box with two doors is ideal for two commercial tenants
- Mail totes are sold separately - contact customer service for details
- Available in USPS access or private access (add \$95.00 for private access)

Item #	Description	Pricing	Unit Size	1	2-Up
LL1B	Single Letter Locker Collection Box		20 1/2"H x 18 1/2"W x 24 1/2"D	\$895 ⁰⁰	Call
LL2COL	Double Letter Locker Collection Box-Single Door		28 3/4"H x 18 1/2"W x 24 1/2"D	\$995 ⁰⁰	Call
LL2DBL	Double Letter Locker Collection Box-Double Door		28 3/4"H x 18 1/2"W x 24 1/2"D	\$1,395 ⁰⁰	Call
LLA3GSMF	Letter Locker Collection Box Surface Mount, Post		36"H	\$125 ⁰⁰	Call
LLA6GP	Letter Locker Collection Box In-Ground Post		60"H	\$125 ⁰⁰	Call

Outdoor valiant™ Pedestal Parcel Locker



Specifications & Features

- New outdoor parcel locker meets all F Series security standards
- Designed for use with F series cluster box units
- Robotically welded cabinet and hood seams
- Constructed of 300 series stainless steel and aircraft aluminum
- Master front-loading door designed to prevent prying
- Silver adhesive metal placards with numbers 1P-2P
- Available in Sandstone finish (stock) or other finishes are also available
- USPS approved
- ALL PRICING INCLUDES PEDESTAL.

Item #	Unit Dimensions	Pricing	Compartments	Price (1)	2-Up
1590V3	62"H x 16"W x 18"D		2	\$920 ⁰⁰	Call

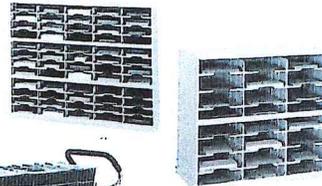
Phone Your Order 1 • 800 • 571 • 0147
or Order Online at www.usmailsupply.com

INTRODUCING OUR NEW LINE OF MAILROOM PRODUCTS!

Go to our new and improved website
www.usmailsupply.com
and click on the 'Mailroom Equipment,
Furniture & Supplies' link

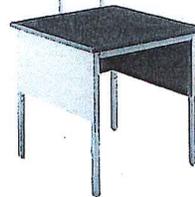
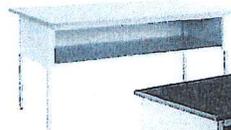
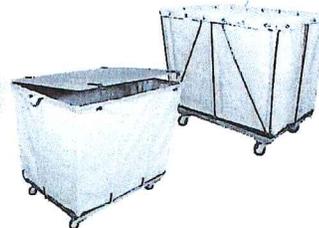
Some of the new products you will find there:

Mail Sorters



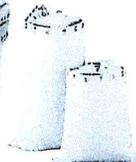
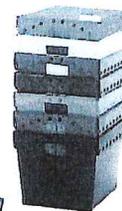
Mail Carts

Mail Hampers



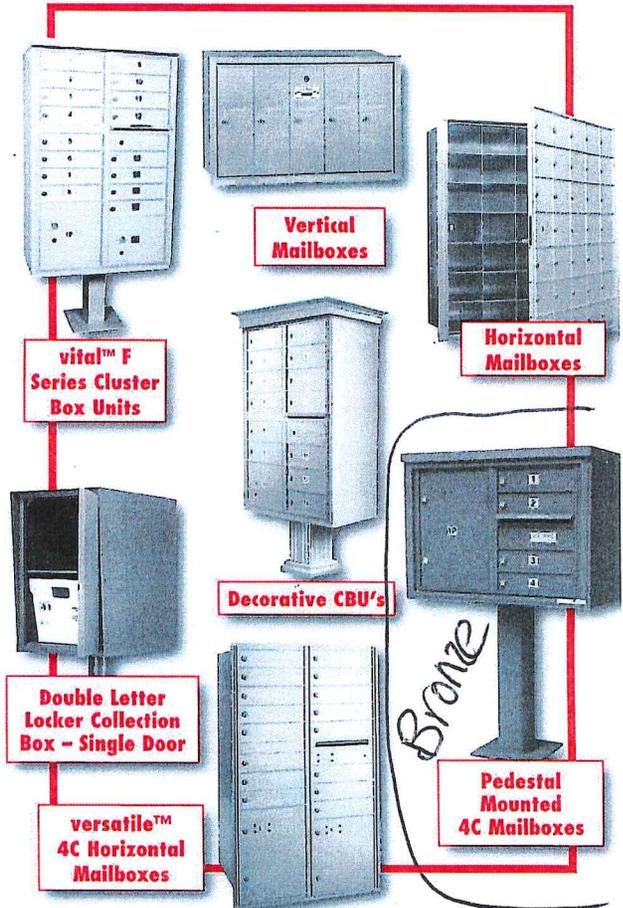
Mailroom Tables

Mail Totes, Mail Trays & Mail Bags



U.S. MAIL SUPPLY INC.

YOUR HEADQUARTERS FOR
**COMMERCIAL MAILBOXES,
POSTAL SPECIALTIES &
MAILROOM PRODUCTS**



ALL MAJOR CREDIT CARDS ACCEPTED



Phone Your Order 1.800.571.0147
Order Online at www.usmailsupply.com

3065 N. 124th St. • Brookfield, WI 53005

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or Order Online at www.usmailsupply.com

City of Afton
3033 St. Croix Trl, P.O. Box 219
Afton, MN 55001

Meeting Date Sept. 20, 2016

Council Action Memo

To: Mayor Bend and Members of the City Council
From: Ron Moorse, City Administrator
Date: September 14, 2016
Re: Draft Ordinance Amendment Regarding Septic Compliance Inspection Requirements

At its August 16, 2016 meeting, the Council directed staff to draft an ordinance reflecting additional triggers for septic compliance inspections. A draft ordinance reflecting the Council's direction is attached for the Council's review prior to referral to the Planning Commission for a public hearing and recommendation.

COUNCIL ACTION REQUESTED:

Motion regarding referral of the draft ordinance regarding septic compliance inspection requirements to the Planning Commission.

ORDINANCE XX-2016

CITY OF AFTON
WASHINGTON COUNTY, MINNESOTA

**AN ORDINANCE AMENDING CHAPTER 12, ARTICLE IX. SEWAGE, ADOPTING BY REFERENCE
THE WASHINGTON COUNTY SUBSURFACE SEWAGE TREATMENT SYSTEM (SSTS)
ORDINANCE #196 BY REFERENCE.**

THE CITY COUNCIL OF THE CITY OF AFTON, MINNESOTA HEREBY ORDAINS: The following sections shall be amended by adding the underlined language and renumbering sections as shown below.

Subdivision IV. Maintenance and Septic System Compliance

Sec. 12-2041. Septic system compliance and inspection.

1. In addition to the septic system inspection compliance regulations detailed in Section 8.10 of the Washington County, Ch. 4. Subsurface Sewage Treatment System (SSTS) Regulations, Ordinance #196, the City of Afton does hereby require existing septic systems to be inspected for compliance when any building permit application is made for work:
 - A. That has a valuation of over \$75,000; or
 - B. That is more than 40% of the assessed value.
2. A septic inspection must be conducted to ensure compliance with applicable requirements, unless the owner can prove to the city that the septic system has passed an inspection within the last 10 years.

Sec 12-2042 – 12-2044. Reserved.

This change shall take effect upon publication of this ordinance.

ADOPTED BY THE CITY OF AFTON CITY COUNCIL THIS 20th DAY OF SEPTEMBER, 2016.

SIGNED:

Richard Bend, Mayor

ATTEST:

Ronald J. Moore, City Administrator

Motion:
Second:
Palmquist:
Richter:
Ross:
Nelson:
Bend:

City of Afton
3033 St. Croix Trl, P.O. Box 219
Afton, MN 55001

Meeting Date Sept. 20, 2016

Council Action Memo

To: Mayor Bend and Members of the City Council
From: Ron Moorse, City Administrator
Date: September 14, 2016
Re: Schedule Public Hearing Regarding the Vacation of Cartway #7 Located South of Afton Boulevard South and West of the Property at 14933 Afton Boulevard South

At its August 16 meeting, the Council reviewed information indicating the cartway adjacent to 14933 Afton Boulevard South was created as a statutory cartway and that the rental house is located on a parcel with access to the Paradox End right-of-way. Based on this information, the Council directed staff to move forward with the process of vacating the cartway. The first step in this process is for the Council to schedule a public hearing regarding the vacation of the cartway and to provide notice of the hearing to property owners adjacent to the cartway. The public hearing can be scheduled to be held at the October 18 Council meeting.

COUNCIL ACTION REQUESTED:

Motion regarding scheduling a public hearing regarding the vacation of Cartway #7, located west of the property at 14933 Afton Boulevard South, to be held at 7:00 p.m. on October 18.

City of Afton
3033 St. Croix Trl, P.O. Box 219
Afton, MN 55001

Meeting Date Sept. 20, 2016

Council Action Memo

To: Mayor Bend and Members of the City Council
From: Ron Moorse, City Administrator
Date: September 14, 2016
Re: Letter of Support for Jill Lucas for an Additional Term on the Valley Branch Watershed District Board of Managers.

Jill Lucas has served on the Valley Branch Watershed District Board of Managers for six years. She has submitted a letter of interest to the County Commissioners regarding being reappointed to another term on the Board of Managers. At the Council's direction, staff will prepare a letter of support for her reappointment.

COUNCIL ACTION REQUESTED:

Motion regarding directing staff to prepare a letter of support for the reappointment of Jill Lucas to another term on the Valley Branch Watershed District's Board of Managers.

City of Afton
3033 St. Croix Trl, P.O. Box 219
Afton, MN 55001

Meeting Date Sept. 20, 2016

Council Action Memo

To: Mayor Bend and Members of the City Council
From: Ron Moorse, City Administrator
Date: September 14, 2016
Re: Deputies Facility

Staff met with Jim Cox and Doug Anschutz to finalize the needs assessment and concept design for the deputies facility planned to be constructed adjacent to City Hall. Jim Cox is the architect who prepared the concept plan for the deputies facility. Doug Anschutz is a Commander with the Sheriff's Department who is coordinating this project for the Sheriff's Department. Commander Anschutz clarified that the way the deputies will use the facility does not require that the facility be connected to water or sewer. Both Jim and Doug agreed that the preferred location for the facility is adjacent to the eastern side of the City Hall building, rather than located toward the eastern edge of the City Hall property. Also, it was agreed that it would be advantageous to have the grading work for the building pad and driveway and the paving of the driveway done by the contractor who will be reconstructing and paving the street/parking lot in front of the City Hall, and to have the survey work for the grading of the building pad and driveway done by WSB as it fits into the work of their survey crew working on the downtown project.

COUNCIL ACTION REQUESTED:

Motion regarding approving the concept plan with the deputies facility located adjacent to the eastern side of City Hall.

CITY SITE PLAN SKETCH

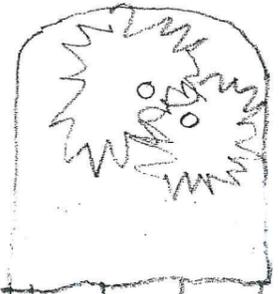
6.17.15

75' SET BACK

30' SET BACK

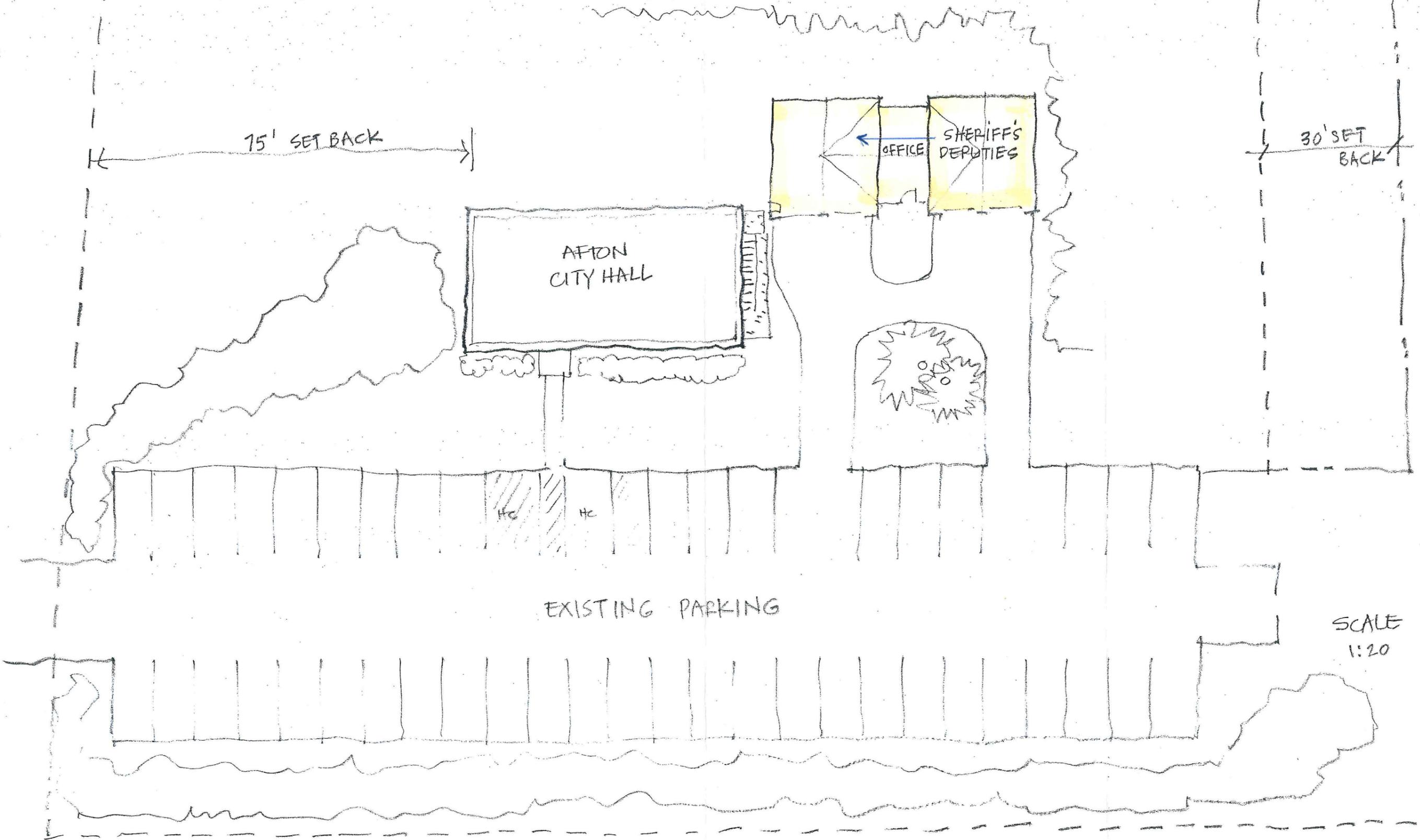
AFTON
CITY HALL

OFFICE
SHERIFF'S
DEPUTIES



EXISTING PARKING

SCALE
1:20



City of Afton
3033 St. Croix Trl, P.O. Box 219
Afton, MN 55001

Meeting Date Sept. 20, 2016

Council Action Memo

To: Mayor Bend and Members of the City Council
From: Ron Moorse, City Administrator
Date: September 14, 2016
Re: Bill Isaacson Family Request for Burials at Mt. Hope Cemetery

The Council, several years ago, approved the request from Bill Isaacson that he, his wife, and his parents be buried at Mt. Hope Cemetery. These will be the last burials at the cemetery, as the Council has determined the cemetery will be closed to any further burials beyond the Isaacson family. The Isaacson family would like to bury the cremains of Mr. Isaacson's wife and his parents this fall. The recently adopted ordinance regarding the operation of the Mt. Hope Cemetery requires the purchase of a burial permit and a burial plot. The family has identified a preferred burial plot location. Stan Ross, President of the Afton Historical Society, has indicated the proposed plot is in an acceptable location, as it is near the Tierney plot-the most recent burial plot-and well clear of the historic burial sites. The plot is large enough to accommodate four cremains. The Afton Historical Museum has a survey of the cemetery to which they can add the Isaacson burial site.

Staff has contacted the City of Wayzata, who operates a historic cemetery, to obtain information about their policies and procedures regarding burials. They have indicated they charge \$1,082 for a burial plot and \$489 for a cremain opening for a burial. One burial plot can accommodate four cremains. Staff is requesting direction from the Council regarding charges for the burial plot and the cremain opening.

COUNCIL ACTION REQUESTED:

Motion regarding the charges for the burial plot and a cremain opening.

City of Afton
3033 St. Croix Trl, P.O. Box 219
Afton, MN 55001

Meeting Date Sept. 20, 2016

Council Action Memo

To: Mayor Bend and Members of the City Council
From: Ron Moose, City Administrator
Date: September 14, 2016
Re: 2016 Street Repairs

There are three street repair items about which staff is requesting direction from the Council. One is the repair of the Pennington Avenue erosion issue, the other is the repair of the bridge/culvert on 30th Street and the third is temporary repairs to 15th Street. The costs related to each are as follows.

- 1) 30th street bridge repair.
\$37600.00
- 2) Pennington Ave. bank erosion repair.
\$7000.00
- 3) 15th St. repair to include skim coating.
\$35000.00

There is currently sufficient funding in the Seal Coating line-item of the General Fund to fund two of the three repairs.

COUNCIL ACTION REQUESTED:

Motion regarding providing direction to staff regarding street repairs in 2016.

Frederic W. Knaak*
fknaak@klaw.us

Wayne B. Holstad**
wholstad@klaw.us

Craig J. Beuning
cbeuning@klaw.us

**Also Licensed in
Wisconsin & Colorado*

**Qualified Neutral under Rule 114*

***Also Licensed in Iowa,
Federal Court of Claims,
& US Court of Appeals
Washington, D.C.*



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Of Counsel
Thomas M. Dailey, P.A.
(1943-2015)
Joseph B. Marshall

Paralegal
Michelle E. Hagland
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Legal Assistant
legalassistant@klaw.us

MEMORANDUM: MONTHLY AFTON PROSECUTION REPORT

TO: MAYOR AND MEMBERS OF THE CITY COUNCIL

FROM: FRITZ KNAAK, AFTON CITY ATTORNEY

DATE: September 8, 2016

This past month, our office has represented the City in a total of 7 prosecutions that were followed through to conviction or alternative disposition. They break down as follows:

Arraignments & Rule 8 Hearings:	2
Pretrials:	5
Omnibus Hearings/Motions:	0
Court Trials:	0
Jury Trials:	0
Revocation/Plea/Sentencing:	0

The report from the court Hearing Officer regarding Afton tickets for the month of August is summarized as follows: **100% Resolved**

Afton

Customers	5
Citations	5
Charges	6
Disposed	1
CFD/DUP	2
Contest/NG	0
DNQ	0
Extension	3
No Guidelines	0
Parking	0
Petty Misdemeanor	6
Misdemeanor	0

City of Afton – Financial Reports

August, 2016

Ref	Description	Pages
A.	Balance Sheet	A1
B.	Statement of Changes in Fund Balance: Current Month	B1
C.	Statement of Changes in Fund Balance: Year to Date	C1
D.	Statement of Revenue and Expenditures: General Fund Summary plus Detail for All Other Funds	D1 to D8
E.	Detail Statement of Revenue and Expenditures: General Fund Only	E1 to E6
F.	Summary and Detail of Special Activities Fund - YTD	F1 to F4
G.	Street Improvement Fund: YTD Detail by Account	G1
H.	Building and Land Fund: YTD Detail by Account	H1
I.	City Dock Fund: YTD Detail by Account	I1
J.	General Fund Streets, Rehab and Public Works: YTD Detail by Account	J1 to J4
K.	Customer Receipts and Other Deposits – MTD Sorted by Account	K1 to K3
L.	Claims Paid during August: \$159,491.10	L1 to L18
M.	Permit Escrow and Fee Detail	M1 to M17
N.	Building Insp Fees by Acct: YTD Detail for Afton	N1to N4
O.	Park Reserve Fund – YTD Detail by Account	O1
P.	Road Debt Service Fund – YTD Detail by Account	P1
Q.	City Infra-Structure Improvement Fund – LTD Summary + YTD 2016 Detail	Q1 to Q5

Significant August 2016 Revenue:

\$14,328 #100 Gen'l Fd Acct 4400 Building Permit Fees. Net of Bldg Insp Fees we are \$45,000 favorable to budget YTD.

\$16,360 #200 Park Reserve Fd Acct 4425 Park Dedication Fees. This puts the Park Reserve Fund Balance at \$122,203 as of 8/31/16.

Significant August 2016 Expense:

\$9,877 #100 Gen'l Fd Acct 5310 City Engineer. This includes June and July and is higher than normal due to the work being done on planning for Streets.

\$3,207 #100 Gen'l Fd Acct 5580 LMC annual dues. Membership in LMC is required to obtain insurance thru the LMCIT.

\$46,497 #800 City Infra-Structure Imp Fd Accts 8891 thru 8899. Mostly WSB which includes June and July invoices.


 Prepared by Thomas H. Niedzwiecki, Accountant

**City of Afton
Balance Sheet
August 31, 2016**

Account #	Account Description	#100 General Fund	#115 Buildings & Land Capital Fund	#120 Street Imp Capital Fund	#200 Park Reserve Fund	#250 Special Reserve Fund	#400 201 Project Fund	#500 Fire Station: Debt Serv Fund	#550 Spec Act Fd + #600 MN Investment Fd	#800 & 805 City Infrastructure Improvement Fund	#725 Road Debt Serv Fd	#810 City Dock Fund	Total All Funds
Assets													
100	4M Fund: General Fund	543,508											543,508
100.8	Petty Cash	196											196
115	4M Fund: Bldg & Land Capital Fund		79,511										79,511
120	4M Fund: Street Imp Capital Fund			533,692									533,692
200	4M Fund: Park Reserve Fund				122,203								122,203
250	4M Fund: Special Reserve Fund					473,442							473,442
400	4M Fund: 201 Project Fund						545						545
500	4M Fund: Fire Station Debt Serv Fund							31,398					31,398
550	4M Fund: Special Activities Fund								224,684				224,684
600	4M Fund: MN Investment Fund								104,524				104,524
700	4M Fund: Road Construction Fund												0
725	4M Fund: Road Debt Service Fund										300,772		300,772
800/805	4M Fund: City Infrastructure Fund									2,158,237			2,158,237
810	4M Fund: City Dock Fund											60,170	60,170
	Total Cash and Investments	543,704	79,511	533,692	122,203	473,442	545	31,398	329,208	2,158,237	300,772	60,170	4,632,882
1170	Taxes Receivable from County	0											0
11xx	Fees & Other Receivables	(800)											(800)
2001	Permit Escrow & Fees (net receivable)	0											0
Various	Due (Owed) between Funds	0	0	0.00	0	0	0	0	0	0	0	0	0
	Total Assets and Other Debits	542,904	79,511	533,692	122,203	473,442	545	31,398	329,208	2,158,237	300,772	60,170	4,632,082

Liabilities and Fund Balances													
2001	Permit Escrow & Fees (net payable)	48,049											48,049
2002	Accounts Payable	96,452											96,452
2022	Accrued Expenses	0											0
2035	Accrued Interest - Road Bond	0									8,075		8,075
2037	Accrued Interest - Downtown Tmp Imp Bd	0								11,734			11,734
2120	Building Surcharges Payable	2,193											2,193
2200	Payroll Tax Liabilities/Withholding	0											0
	Total Accounts and Other Payables	146,694	0	0	0	0	0	0	0	11,734	8,075	0	166,503
2500	Grants Received	0											0
2700	Road GO Tax Abatement Bds										0		0
2701	2014A Refunding Road Bonds										2,810,000		2,810,000
2702	2015A Downtown GO Temp Imp Bonds									3,755,000			3,755,000
Various	Fund Balance - Beginning of Year	327,317	81,728	503,659	105,731	433,969	(2,000)	2,160	330,834	(1,493,196)	(2,581,624)	56,258	(2,235,163)
Various	Current Year Net Increase (Decrease)	68,893	(2,217)	30,033	16,472	39,473	2,545	29,238	(1,626)	(115,302)	64,321	3,912	135,742
Various	Fund Balance - End of Period	396,210	79,511	533,692	122,203	473,442	545	31,398	329,208	(1,608,497)	(2,517,303)	60,170	(2,099,421)
	Total Liabilities and Fund Balances	542,904	79,511	533,692	122,203	473,442	545	31,398	329,208	2,158,237	300,772	60,170	4,632,082


Prepared by Thomas H. Niedzwiecki, Accountant

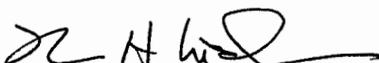
**City of Afton - Statement of Changes in Fund Balances
for Month of August 2016**

#	Description	#100 General Fund	#115 Buildings & Land Capital Fund	#120 Street Imp Capital Fund	#200 Park Reserve Fund	#250 Special Reserve Fund	#400 201 Project Fund	#500 Fire Station: Debt Service Fund	#550 Spec Act Fd + #600 MN Investment Fd	#800 & 805 City Infrastructure Improvement Fund	#725 Road Debt Serv Fd	#810 City Dock Fund	Total All Funds
A	Beginning Fund Balances	424,729	79,499	551,221	105,825	473,370	347	31,396	329,883	(1,560,006)	(2,509,267)	60,161	(2,012,842.54)
Section I. Revenues													
1	Property Taxes	0	0	0	0	0	0	0	0	0	0	0	0
	Intergovernmental Revenues	0	0	0	0	0	0	0	0	0	0	0	0
19	Charges for Services	10	0	0	0	0	290	0	0	0	0	0	300
21	Fines and Forfeitures	1,245	0	0	0	0	0	0	0	0	0	0	1,245
	Licenses, Fees and Permits	23,923	0	0	0	0	0	0	0	0	0	0	23,923
25	Special Assessments	0	0	0	0	0	0	0	0	0	0	0	0
35	Misc Revenue/Gaming Tax	55	0	0	0	0	0	0	0	0	0	0	55
36	DNR Flood Improvement Project	0	0	0	0	0	0	0	0	0	0	0	0
36	Other Grants/State Fire Aid	300	0	0	0	0	0	0	0	0	0	0	300
	Interest Income	100	12	82	17	72	0	2	53	353	39	9	740
37	TIF District/MN Inv Fund Loan	0	0	0	0	0	0	0	0	0	0	0	0
	Park Fees	0	0	0	16,360	0	0	0	0	0	0	0	16,360
		0	0	0	0	0	0	0	0	0	0	0	0
B	Total Revenue	25,634	12	82	16,377	72	291	2	53	353	39	9	42,924
C	Other Financing Sources/Transfers	0	0	0	0	0	0	0	0	0	0	0	0
Section II. Expenditures													
	General and Administrative												
1	Wages and Benefits	19,652	0	0	0	0	0	0	0	0	0	0	19,652
2	Professional Services	21,263	0	0	0	0	0	0	0	0	0	0	21,263
3	Other Expenditures	4,893	0	0	0	0	0	0	729	0	0	0	5,622
	Total General and Administrative	45,808	0	0	0	0	0	0	729	0	0	0	46,537
5	Public Safety/State Fire Aid	816	0	0	0	0	0	0	0	0	0	0	816
9	Public Health/Cons of Natural Resources	75	0	0	0	0	0	0	0	0	0	0	75
11	Streets	6,695	0	0	0	0	0	0	0	0	0	0	6,695
13	DNR Flood Improvement Project	0	0	0	0	0	0	0	46,497	0	0	0	46,497
13	Other Street Imp/Road Paving Project	19	0	17,611	0	0	92	0	0	0	0	0	17,722
14	Buildings and Land/City Dock	373	0	0	0	0	0	0	0	0	0	0	373
15	TIF District/MN Inv Fund Loan Disb	0	0	0	0	0	0	0	0	0	0	0	0
15	Parks and Recreation	366	0	0	0	0	0	0	0	0	0	0	366
16	Debt Service - Interest Expense	0	0	0	0	0	0	0	0	2,347	8,075	0	10,422
	Debt Service - Principal Retirement	0	0	0	0	0	0	0	0	0	0	0	0
D	Total Expenditures	54,152	0	17,611	0	0	92	0	729	48,844	8,075	0	129,502
E	Other Financing Uses/Transfers	0	0	0	0	0	0	0	0	0	0	0	0
E	Revenues Over (Under) Expenditures	(28,519)	12	(17,529)	16,377	72	199	2	(675)	(48,491)	(8,036)	9	(86,578)
F	Ending Fund Balances	396,210	79,511	533,692	122,203	473,442	545	31,398	329,208	(1,608,497)	(2,517,303)	60,170	(2,099,421)


Prepared by Thomas H. Niedzwiecki, Accountant

**City of Afton - Statement of Changes in Fund Balances
for Year to Date August 31, 2016**

#	Description	#100 General Fund	#115 Buildings & Land Capital Fund	#120 Street Imp Capital Fund	#200 Park Reserve Fund	#250 Special Reserve Fund	#400 201 Project Fund	#500 Fire Station: Debt Service Fund	#550 Spec Act Fd + #600 MN Investment Fd	#800 & 805 City Infrastructure Improvement Fund	#725 Road Debt Serv Fd	#810 City Dock Fund	Total All Funds
A	Beginning Fund Balances	327,317	81,728	503,659	105,731	433,969	(2,000)	2,160	330,834	(1,493,196)	(2,581,624)	56,258	(2,235,163)
Section I. Revenues													
1	Property Taxes	796,443	0	0	0	0	0	29,234	0	0	130,000	0	955,677
	Intergovernmental Revenues	(1,843)	0	0	0	0	0	0	0	0	0	0	(1,843)
19	Charges for Services	84	0	0	0	0	4,926	0	0	0	0	3,850	8,859
21	Fines and Forfeitures	9,454	0	0	0	0	0	0	0	0	0	0	9,454
	Licenses, Fees and Permits	191,483	0	0	0	0	0	0	0	0	0	0	191,483
25	Special Assessments	0	0	0	0	0	0	0	0	0	0	0	0
35	Misc Revenue/Gaming Tax	355	0	0	0	0	0	0	0	0	0	0	355
36	DNR Flood Improvement Project	0	0	0	0	0	0	0	0	146,500	0	0	146,500
36	Other Grants/State Fire Aid	8,110	750	0	0	0	0	0	(10,722)	0	0	0	(1,862)
	Interest Income	432	75	519	112	473	1	4	348	2,341	221	62	4,588
37	TIF District/MN Invest Fund Proceeds	0	0	0	0	0	0	0	0	0	0	0	0
	Park Fees	0	0	0	16,360	0	0	0	0	0	0	0	16,360
		0	0	0	0	0	0	0	0	0	0	0	0
B	Total Revenue	1,004,518	825	519	16,472	473	4,926	29,238	(10,374)	148,841	130,221	3,912	1,329,572
C	Other Financing Sources/Transfers	0	10,500	100,000	0	39,000	0	0	14,850	0	0	0	164,350
Section II. Expenditures													
	General and Administrative												
1	Wages and Benefits	158,151	0	0	0	0	0	0	0	0	0	0	158,151
2	Professional Services	143,445	0	0	0	0	0	0	0	0	0	0	143,445
3	Other Expenditures	39,743	0	0	0	0	0	0	5,102	0	0	0	44,846
	Total General and Administrative	341,340	0	0	0	0	0	0	5,102	0	0	0	346,443
5	Public Safety/State Fire Aid	261,556	0	0	0	0	0	0	1,000	0	0	0	262,556
9	Public Health/Cons of Natural Resources	621	0	0	0	0	0	0	0	0	0	0	621
11	Streets	99,493	0	0	0	0	0	0	0	0	0	0	99,493
13	DNR Flood Improvement Project	0	0	0	0	0	0	0	0	244,260	0	0	244,260
13	Other Street Imp/Road Paving Project	1,415	0	70,487	0	0	2,381	0	0	0	0	0	74,283
14	Buildings and Land/City Dock	6,384	13,542	0	0	0	0	0	0	0	0	0	19,926
15	TIF District/MN Inv Fund Loan Disb	0	0	0	0	0	0	0	0	0	0	0	0
15	Parks and Recreation	12,967	0	0	0	0	0	0	0	0	0	0	12,967
16	Debt Service - Interest Expense	0	0	0	0	0	0	0	0	19,883	65,900	0	85,783
	Debt Service - Principal Retirement	0	0	0	0	0	0	0	0	0	0	0	0
D	Total Expenditures	723,775	13,542	70,487	0	0	2,381	0	6,102	264,143	65,900	0	1,146,330
E	Other Financing Uses/Transfers	211,850	0	0	0	0	0	0	0	0	0	0	211,850
E	Revenues Over (Under) Expenditures	68,893	(2,217)	30,033	16,472	39,473	2,545	29,238	(1,626)	(115,302)	64,321	3,912	135,742
F	Ending Fund Balances	396,210	79,511	533,692	122,203	473,442	545	31,398	329,208	(1,608,497)	(2,517,303)	60,170	(2,099,421)


Prepared by Thomas H. Niedzwiecki, Accountant

City of Afton
Statement of Revenue and Expenditures
General Fund Summary plus Detail for All Other Funds
Year to Date 8/31/16

	Audited 2013	Audited 2014	Audited 2015	Month of Aug-16	YTD Actual 8/31/16	Annual Budget 2016	Remaining Budget \$	YTD Act as % of Annual Budget
#100 GENERAL FUND								
A: REVENUES								
1-PROPERTY TAXES	1,604,540	1,634,042	1,676,572	0	1,004,677	1,858,692	854,015	54.1%
2-INTERGOVERNMENTAL REVENUES	1,811	4,715	8,998	0	(1,843)	2,734	4,577	-67.4%
3-CHARGES FOR SERVICES	72	70	137	10	84	135	51	62.0%
4-FINES AND FORFEITURES	15,901	10,359	15,861	1,245	9,454	14,250	4,796	66.3%
5-LICENSES, FEES, PERMITS	253,353	162,119	190,172	23,923	191,483	146,250	(45,233)	130.9%
7-MISCELLANEOUS REVENUE	4,622	4,043	4,700	55	355	2,500	2,145	14.2%
9-OTHER GRANTS	8,298	8,378	8,410	300	8,110	8,290	180	97.8%
10-INTEREST INCOME	57	54	144	100	432	50	(382)	863.3%
11-TIF DISTRICT	0	0	0	0	0	0	0	
TOTAL REVENUES	1,888,654	1,823,780	1,904,993	25,634	1,212,752	2,032,901	820,149	59.7%
B: EXPENDITURES								
GENERAL AND ADMINISTRATIVE								
1-WAGES & BENEFITS	190,806	213,147	234,446	19,652	158,151	254,840	96,689	62.1%
2-PROFESSIONAL SERVICES	176,224	133,198	153,655	21,263	143,445	148,550	5,105	96.6%
4-OTHER EXPENDITURES	58,082	53,668	58,017	4,893	39,743	68,300	28,557	58.2%
TOTAL GENERAL & ADMINISTRATIVE	425,111	400,012	446,119	45,808	341,340	471,690	130,350	72.4%
5-PUBLIC SAFETY	368,944	384,098	392,065	816	261,556	408,143	146,587	64.1%
6-PUBLIC HEALTH	887	1,780	1,087	75	621	2,000	1,379	31.0%
7-STREETS	268,207	274,047	218,410	6,695	99,493	287,700	188,207	34.6%
9-OTHER PUBLIC WORKS	1,692	2,836	1,914	19	1,415	5,050	3,635	28.0%
10-BUILDINGS & LAND	11,203	10,446	10,334	373	6,384	10,750	4,366	59.4%
11-TIF DISTRICT	0	0	0	0	0	0	0	
12-PARKS & RECREATION	3,805	5,018	3,921	366	12,967	7,500	(5,467)	172.9%
TOTAL EXPENDITURES	1,079,849	1,078,237	1,073,850	54,152	723,775	1,192,833	469,058	60.7%
C: OTHER FINANCING SOURCES (USES)								
	(805,608)	(708,350)	(805,133)	0	(420,084)	(840,068)	(419,984)	
Net GENERAL FUND	3,197	37,193	26,010	(28,519)	68,893	0	(68,893)	

City of Afton
Statement of Revenue and Expenditures
General Fund Summary plus Detail for All Other Funds
Year to Date 8/31/16

	Audited 2013	Audited 2014	Audited 2015	Month of Aug-16	YTD Actual 8/31/16	Annual Budget 2016	Remaining Budget \$	YTD Act as % of Annual Budget
#115 BUILDINGS AND LAND CAPITAL FUND								
A: Revenues								
4012 Current Tax Levy - Bldg & Land	5,000	6,000	6,000	0	3,000	6,000	3,000	50.0%
4022 Levy: Afton Septic System - City Bldgs	0	15,000	15,000	0	7,500	15,000	7,500	50.0%
4600 Grant/Insurance: City Hall	27,654	(64)	0	0	750	0	(750)	
4831 Trf in re. Park Structures	0	0	0	0	0	0	0	
6910 Trf in fr General Fund (Non Budgeted)	25,000	0	20,000	0	0	0	0	
4906 Interest - Bldg & Land Fund	2	3	17	12	75	0	(75)	
TOTAL REVENUE	57,656	20,939	41,017	12	11,325	21,000	9,675	53.9%
B: Expenditures								
6003 City Hall Improvements	8,437	4,114	2,563	0	13,542	0	(13,542)	
6004 Bldg Repair & Maintenance	31,248	0	0	0	0	0	0	
6005 City Garage Improvements	0	0	0	0	0	0	0	
TOTAL EXPENDITURES	39,685	4,114	2,563	0	13,542	0	(13,542)	
Net BLDG & LAND CAPITAL FUND	17,971	16,825	38,454	12	(2,217)	21,000	23,217	-10.6%
#120 STREET IMP CAPITAL FUND								
A: Revenues								
4013 Current Tax Levy - Street Improvements	190,000	200,000	200,000	0	100,000	200,000	100,000	50.0%
4907 Interest - Street Imp Fund	38	66	130	82	519	0	(519)	
4016 MN Small City Assistance for Streets	0	0	60,510	0	0	0	0	
TOTAL REVENUE	190,038	200,066	260,640	82	100,519	200,000	99,481	50.3%
B: Expenditures								
7935 Pennington Av Improvements	3,550	2,227	0	0	0	0	0	
7937 Bridge Repair & Replacement	4,655	2,469	1,806	0	0	0	0	
7938 Culvert Repair & Replacement	135	0	0	0	0	0	0	
7936 General Street Projects (Various)	104,909	3,143	73	0	0	0	0	
7981 Village Local Road Improvements	6,080	89,427	250,099	17,012	68,045	0	(68,045)	
7982 CR21 Improvement Project	2,828	23,269	23,383	599	2,442	0	(2,442)	
	0	0	0	0	0	0	0	
TOTAL EXPENDITURES	122,156	120,535	275,360	17,611	70,487	0	(70,487)	
C: Oth Fin Sources (Uses)/Transfers								
6910 Oper Trf fr General Fd (Non Budgeted)	25,000	0	43,500	0	0	0	0	
69xx Oper Trf from Road Construction Fund	0	0	0	0	0	0	0	
TOTAL OTH FIN SOURCES (USES)	25,000	0	43,500	0	0	0	0	
Net STREET IMP CAPITAL FUND	92,882	79,531	28,780	(17,529)	30,033	200,000	169,967	15.0%

City of Afton
Statement of Revenue and Expenditures
General Fund Summary plus Detail for All Other Funds
Year to Date 8/31/16

	Audited 2013	Audited 2014	Audited 2015	Month of Aug-16	YTD Actual 8/31/16	Annual Budget 2016	Remaining Budget \$	YTD Act as % of Annual Budget
#200 PARK RESERVE FUND								
A: Revenues								
4425 Park Dedication Fees	10,000	10,000	54,743	16,360	16,360	0	(16,360)	
4426 Afton Donation Program - Parks	0	1,200	0	0	0	0	0	
4903 Interest Income - 4M Fund	29	7	26	17	112	0	(112)	
	0	0	0	0	0	0	0	
TOTAL REVENUE	10,029	11,207	54,769	16,377	16,472	0	(16,472)	
B: Expenditures								
6115 Park & Open Space Public Works	0	10,803	280	0	0	0	0	
6117 Grant - Lucy Winton Bell Athletic Fields	0	0	0	0	0	0	0	
6125 Bike Trail Improvements	0	0	0	0	0	0	0	
TOTAL EXPENDITURES	0	10,803	280	0	0	0	0	
C: Oth Fin Sources (Uses)/Transfers								
Transfer to City Infrastructure Imp Fund	(100,000)	0	0	0	0	0	0	
TOTAL OTH FIN SOURCES (USES)	(100,000)	0	0	0	0	0	0	
Net PARK RESERVE FUND	(89,971)	404	54,489	16,377	16,472	0	(16,472)	
#250 SPECIAL RESERVE FUND								
A: Revenues								
6936 Levy/Trf from Genl Fd - Special Reserve	85,000	294	5,000	0	39,000	78,000	39,000	50.0%
4912 Interest - Spec Reserve 4M Fund	37	34	102	72	473	0	(473)	
TOTAL REVENUE	85,037	328	5,102	72	39,473	78,000	38,527	50.6%
B: Expenditures								
6918 Trf to General Fund	0	0	0	0	0	0	0	
TOTAL EXPENDITURES	0	0	0	0	0	0	0	
Net SPECIAL RESERVE FUND	85,037	328	5,102	72	39,473	78,000	38,527	50.6%
#400 201 PROJECT FUND								
A: Revenues								
4625 201 Project Revenue	9,538	1,347	3,787	290	4,926	0	(4,926)	
4904 Interest - 201 Project	0	(1)	0	0	1	0	(1)	
TOTAL REVENUE	9,538	1,346	3,787	291	4,926	0	(4,926)	
B: Expenditures								
5915 201 Project maintenance	10,811	696	9,160	92	2,381	0	(2,381)	
5918 201 Project Mgmt	805	10	0	0	0	0	0	
TOTAL EXPENDITURES	11,616	706	9,160	92	2,381	0	(2,381)	
Net 201 PROJECT FUND	(2,078)	641	(5,373)	199	2,545	0	(2,545)	

City of Afton
Statement of Revenue and Expenditures
General Fund Summary plus Detail for All Other Funds
Year to Date 8/31/16

	Audited 2013	Audited 2014	Audited 2015	Month of Aug-16	YTD Actual 8/31/16	Annual Budget 2016	Remaining Budget \$	YTD Act as % of Annual Budget
#500 FIRE STATION DEBT SERV FUND								
A: Revenues								
4050 Fire Station Curr Tax Levy	55,808	57,356	57,933	0	29,234	58,468	29,234	50.0%
4904 Interest - Fire Station 4M Fund	2	2	1	2	4	0	(4)	
TOTAL REVENUE	55,810	57,358	57,934	2	29,238	58,468	29,230	50.0%
B: Expenditures								
6850 Fire Station Debt Service Expense	55,808	57,356	57,933	0	0	58,468	58,468	0.0%
	0	0	0	0	0	0	0	
TOTAL EXPENDITURES	55,808	57,356	57,933	0	0	58,468	58,468	0.0%
Net FIRE STATION DEBT SERV FUND	2	2	1	2	29,238	0	(29,238)	
#550 SPECIAL ACTIVITIES FUND								
A. 4914 Interest - Spec Activity Fd (Unallocated)	22	23	59	36	233	0	(233)	
B. Cable Comm/4th of July Reserve/CC Contingency/Comm Garden								
4815 Cable Distributions Received	0	0	9,115	0	6,253	0	(6,253)	
4816 Community Garden	(1,338)	(2,478)	88	0	0	0	0	
4817 MN Historic Preservation Design Guidelines 4th of July Celebration Reserve	(5,350)	5,267	8,000	0	(17,975)	0	17,975	
	(915)	0	0	0	0	0	0	
6910 Oper Trf fr Gen'l Fd/City Council Contingency	0	0	(1,200)	0	0	0	0	
6366 City Council Contingency Reserve	(300)	0	0	0	(2,018)	0	2,018	
5561 Communications Expenses	0	(10,867)	(2,605)	0	(2,210)	0	2,210	
Total B. Cable Comm/4th of July Reserve	(7,903)	(8,078)	13,399	0	(15,950)	0	15,950	
C. Codification/Comp Plan/Moratoria								
6934 Oper Trf fr Gen'l Fd - Codification + Oth Rev	100	100	100	0	100	100	0	100.0%
6935 Oper Trf fr Gen'l Fund - Comprehensive Plan	100	2,000	2,000	0	1,500	3,000	1,500	
6958 Comm Growth Options (1000 Friends Grant)	0	0	0	0	0	0	0	
6356 Comprehensive Plan Expenses	0	(1,518)	(8,208)	0	0	0	0	
6358 Community Growth Options: Expense	0	0	0	0	0	0	0	
Total C. Codification of Ordinances	200	582	(6,108)	0	1,600	3,100	1,500	51.6%

City of Afton
Statement of Revenue and Expenditures
General Fund Summary plus Detail for All Other Funds
Year to Date 8/31/16

	Audited 2013	Audited 2014	Audited 2015	Month of Aug-16	YTD Actual 8/31/16	Annual Budget 2016	Remaining Budget \$	YTD Act as % of Annual Budget
D. Flood & Storm Water Control and Mitigation								
6931 Oper Trf fr Gen'l Fund (Flood Control)	5,500	5,500	5,500	0	1,750	5,500	3,750	31.8%
6932 Oper Trf fr Gen'l Fund (Storm Water Run-off)	3,500	3,500	3,500	0	2,750	3,500	750	78.6%
6942 LSCV Water Mgmt Org Revenue	0	0	0	0	0	0	0	
7833 TAG re. Wastewater Community Assessment	(12,164)	(8,881)	15,982	0	0	0	0	
7836 Flood & Storm Water Exp - General	0	0	6,440	0	0	0	0	
7842 Engineering Exp re. Old Village Public Process	0	0	0	0	0	0	0	
7843 Snow & Ice Reserve	0	0	15,000	0	0	0	0	
Total D. Flood Control & Mitigation	(3,164)	119	46,423	0	4,500	9,000	4,500	50.0%
F. Developer/Applicant Pass-Thru Expenses								
4341 Engineering Services Reimbursed	3,159	4,696	18,177	0	0	0	0	
4342 Legal Services Reimbursed	0	0	700	0	0	0	0	
4343 Planner Services Reimbursed	0	3,991	2,400	0	0	0	0	
4344 Other Dev Fees Reimbursed	92	0	0	0	0	0	0	
5341 Engineering Services Pass-Thru	(3,159)	(4,696)	(18,177)	0	0	0	0	
5342 Legal Services Pass-Thru	0	0	(700)	0	0	0	0	
5343 Planner Services Pass-Thru	0	(3,991)	(2,400)	0	0	0	0	
5344 Other Dev Fees Pass-Thru	(92)	0	0	0	0	0	0	
Total F. Developer/Applicant Pass-Thru Expenses	0	0	0	0	0	0	0	
G. TIF District No. 1 (Afton Market Square)								
4924 TIF District #1 Taxes	0	0	0	0	0	0	0	
5424 TIF District #1 Distributions/Expenses	0	0	(849)	0	0	0	0	
Total G. TIF District No. 1 (Afton Market Square)	0	0	(849)	0	0	0	0	
H. State Fire Aid								
4940 State Fire Aid Received	45,218	44,687	47,348	0	1,000	45,000	44,000	2.2%
5440 State Fire Aid Distributed	(45,218)	(44,687)	(47,348)	0	(1,000)	(45,000)	(44,000)	
Total H. State Fire Aid	0	0	0	0	0	0	0	
I. City Vehicles/Equipment								
69xx Oper Trf fr Gen'l - City Vehicles	2,500	2,500	2,500	0	1,250	2,500	1,250	50.0%
5508 City Equipment	(201)	0	0	0	0	0	0	
5977 John Deere X749 Tractor	0	0	0	0	0	0	0	
Total I. City Vehicles	2,299	2,500	2,500	0	1,250	2,500	1,250	50.0%

D5

City of Afton
Statement of Revenue and Expenditures
General Fund Summary plus Detail for All Other Funds
Year to Date 8/31/16

	Audited 2013	Audited 2014	Audited 2015	Month of Aug-16	YTD Actual 8/31/16	Annual Budget 2016	Remaining Budget \$	YTD Act as % of Annual Budget
J. Public Health Community Outreach								
4845 Well Water Testing Receipts (Residents)	0	0	0	0	0	0	0	
6345 Well Water Testing Expense (Coliform)	0	0	0	0	0	0	0	
Total J. Public Health Community Outreach	0	0	0	0	0	0	0	
K. Audit/Legal Reserve								
4842 Oper Trf fr Gen'l - Audit/Legal	100	100	100	0	500	1,000	500	50.0%
6342 Legal Exp - Deductible/CoPays	0	0	0	0	0	0	0	
Total K. Audit/Legal Reserve	100	100	100	0	500	1,000	500	50.0%
L. MN Unemployment Claims								
4843 Oper Trf fr Gen'l - MN Unemployment	10,000	3,000	3,000	0	500	1,000	500	50.0%
4844 Oper Trf fr Gen'l - Severance & Oth PTO	0	0	0	0	0	0	0	
6343 MN Unemployment Claim Expense	(3,637)	0	0	0	0	0	0	
6344 Severance Pay	0	0	0	0	0	0	0	
6345 Vacation, Sick & Other PTO	0	0	0	0	0	0	0	
Total L. MN Unemployment Claims	6,363	3,000	3,000	0	500	1,000	500	50.0%
M. Parks Capital Repairs/Trail & Ped Bridge & Sidewalk								
4844 Oper Trf fr Gen'l - Parks Capital Repairs/Trail & Ped Brid	3,500	5,500	5,500	0	2,750	5,500	2,750	50.0%
4846 Oper Trf fr Gen'l - Sidewalk	2,000	2,000	2,000	0	1,000	2,000	1,000	50.0%
6348 Parks Capital Repairs/Trail & Ped Bridge Expense	(13,540)	0	0	0	0	0	0	
Total M. Parks Capital Repairs/Trail & Ped Bridge & Sidewalk	(8,040)	7,500	7,500	0	3,750	7,500	3,750	50.0%
N. Election Expense Reserve								
4847 Oper Trf fr Gen'l - Election Levy	5,500	5,500	5,500	0	2,750	5,500	2,750	50.0%
6347 Election Expenses	(768)	(6,122)	(121)	(729)	(875)	0	875	
Total N. Election Expense Reserve	4,732	(622)	5,379	(729)	1,875	5,500	3,625	34.1%
Net SPECIAL ACTIVITIES FUND	(5,390)	5,125	71,403	(692)	(1,741)	23,100	26,716	-7.5%
#600 MN INVESTMENT FUND								
A: Revenues								
4886 Chandler Exhibits Loan Repayment	27,612	9,204	0	0	0	0	0	
4904 Interest - MN Invest 4M Fund	38	43	48	17	115	0	(115)	
TOTAL REVENUE	27,650	9,247	48	17	115	0	(115)	
B: Expenditures								
8986 Chandler Exhibits Repay MN Invest Fd	17,612	5,871	0	0	0	0	0	
TOTAL EXPENDITURES	17,612	5,871	0	0	0	0	0	
Net MN INVESTMENT FUND	10,038	3,376	48	17	115	0	(115)	

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City of Afton
Statement of Revenue and Expenditures
General Fund Summary plus Detail for All Other Funds
Year to Date 8/31/16

	Audited 2013	Audited 2014	Audited 2015	Month of Aug-16	YTD Actual 8/31/16	Annual Budget 2016	Remaining Budget \$	YTD Act as % of Annual Budget
#725 ROAD PAVING DEBT SERVICE FUND								
A: Revenues								
4725 Road Paving Debt Levy Proceeds	292,000	305,000	310,000	0	130,000	260,000	130,000	50.0%
4916 Interest - Road Debt Service 4M Fund	47	63	99	39	221	0	(221)	
TOTAL REVENUE	292,047	305,063	310,099	39	130,221	260,000	129,779	50.1%
B: Expenditures								
7725 Interest Expense - 2005A Road Bonds	135,380	130,632	10,853	0	0	0	0	
7726 2005A Bond Admin Expense	403	425	0	0	0	0	0	
7735 Interest Expense - 2014A Refunding Bonds	0	0	104,751	8,075	64,950	105,000	40,050	61.9%
7736 2014A Refunding Bonds Admin Expense	0	38,845	(234,040)	0	950	0	(950)	
TOTAL EXPENDITURES	135,783	169,902	(118,437)	8,075	65,900	105,000	39,100	62.8%
Net ROAD PAVING DEBT SERV FUND	156,265	135,161	428,536	(8,036)	64,321	155,000	90,679	41.5%
#800/805 CITY INFRASTRUCTURE IMP FD								
A: Revenues								
4917 Interest Income	3	3	395	353	2,341	0	(2,341)	
4852 VBWD Grant \$50M/Yr for 10 Yrs	0	0	0	0	50,000	0	(50,000)	
4871 Rental Income - Flood Levee Property	1,700	0	0	0	0	0	0	
4895 DNR Flood Imp Grant/PFA/Imp Bd Levy	756,544	0	48,937	0	49,000	98,000	49,000	50.0%
4896 DNR Flood Imp Grant Match - Tax Levy	95,000	95,000	95,000	0	47,500	95,000	47,500	50.0%
TOTAL REVENUE	853,247	95,003	144,332	353	148,841	193,000	44,159	77.1%
B: Expenditures								
8891 Downtown Property Purchase/Expense	0	0	0	21	1,640	0	(1,640)	
8894 Septic Permits, Fees, Admin	0	0	0	1,630	63,446	0	(63,446)	
8895 DNR Flood Imp Proj - Engineering	0	0	0	10,806	57,271	0	(57,271)	
8896 Sanitary Sewer Improvements	0	0	0	30,693	94,892	0	(94,892)	
8897 Septic Construction Engineering	0	0	0	0	8,545	0	(8,545)	
8898 Flood Mitigation/ROW Services	935,490	523,191	1,240,442	3,347	14,084	0	(14,084)	
8899 Village Improvements	0	0	0	0	4,381	0	(8,545)	
TOTAL EXPENDITURES	935,490	523,191	1,240,442	46,497	244,260	0	(248,424)	
C: Oth Fin Sources (Uses)/Trfs incl Debt Service								
4848 Oper Trf from Park Reserve Fund	100,000	0	0	0	0	0	0	
7737 Interest Exp - Downtown Temp Imp Bond	0	0	0	(2,347)	(18,775)	0	18,775	
7738 Bond Issue Expense	0	0	0	0	(1,108)	0	1,108	
	0	0	0	0	0	0	0	
TOTAL OTH FIN SOURCES (USES)	100,000	0	0	(2,347)	(19,883)	0	19,883	
Net 800 CITY INFRASTRUCTURE IMPROVEME	17,756	(428,188)	(1,096,109)	(48,491)	(115,302)	193,000	312,466	-59.7%

City of Afton
Statement of Revenue and Expenditures
General Fund Summary plus Detail for All Other Funds
Year to Date 8/31/16

	Audited 2013	Audited 2014	Audited 2015	Month of Aug-16	YTD Actual 8/31/16	Annual Budget 2016	Remaining Budget \$	YTD Act as % of Annual Budget
#810 CITY DOCK FUND								
A: Revenues								
4812 Lease of City Docks	3,850	3,850	3,850	0	3,850	3,850	0	100.0%
4909 Interest Income - 4M Fund	20	22	25	9	62	0	(62)	
TOTAL REVENUE	3,870	3,872	3,875	9	3,912	3,850	(62)	101.6%
B: Expenditures								
8930 Dock Improvements	0	1,115	0	0	0	0	0	
TOTAL EXPENDITURES	0	1,115	0	0	0	0	0	
Net 810 CITY DOCK FUND	3,870	2,757	3,875	9	3,912	3,850	(62)	101.6%

TOTAL ALL FUNDS COMBINED

TOTAL REVENUE	3,454,401	2,605,178	2,900,997	42,924	1,657,056
TOTAL EXPENDITURES	2,478,415	2,055,069	2,599,049	127,156	1,126,447
OTH FINANCING SOURCES (USES)	(686,408)	(696,956)	(746,733)	(2,347)	(394,867)
Net ALL FUNDS COMBINED	289,578.57	(146,846.90)	(444,784.77)	(86,578.40)	135,741.89

City of Afton
Detail Statement of Revenue and Expenditures - General Fund Only
Year to Date 8/31/16

	Audited 2012	Audited 2013	Audited 2014	Audited 2015	Month of Aug-16	YTD Actual 8/31/16	Annual Budget 2016	Remaining Budget \$	YTD Act as % of Annual Budget
#100 GENERAL FUND									
1-PROPERTY TAXES:									
4000 Current Tax Levy	840,790	870,158	860,094	899,578	0	525,967	974,804	448,837	54.0%
4005 Fiscal Disparity	51,127	46,685	47,649	44,904	0	37,176	43,820	6,644	84.8%
4015 Delinq Taxes, Penalties, Int & Adj	6,421	17,089	17,950	5,456	0	21,450	0	(21,450)	
4013 Street Improvement Capital Fund	171,000	190,000	200,000	200,000	0	100,000	200,000	100,000	50.0%
6928 Special Reserve Fund	17,579	0	294	5,000	0	39,000	78,000	39,000	50.0%
6932 Stormwater Fund	3,500	3,500	3,500	3,500	0	1,750	3,500	1,750	50.0%
6933 Vehicle/Equipment Replacement Fund	2,500	2,500	2,500	2,500	0	1,250	2,500	1,250	50.0%
6935 Comprehensive Plan	(7,762)	100	2,000	2,000	0	1,500	3,000	1,500	50.0%
6936 Flood Fund	5,500	5,500	5,500	5,500	0	2,750	5,500	2,750	50.0%
6937 DNR Grant Match	95,000	95,000	95,000	95,000	0	47,500	95,000	47,500	50.0%
6934 Codification	(12,358)	100	100	100	0	100	100	0	100.0%
4843 MN Unemployment Claims	10,000	10,000	3,000	3,000	0	500	1,000	500	50.0%
4847 Election Fund	4,250	5,500	5,500	5,500	0	2,750	5,500	2,750	50.0%
6910 City Council Contingency Fund	8,000	0	0	0	0	0	0	0	
4842 Audit and Legal Reserve	20,000	100	100	100	0	500	1,000	500	50.0%
4844 Parks Capital Repairs/Trail & Ped Bridge	3,000	3,500	5,500	5,500	0	2,750	5,500	2,750	50.0%
4022 Afton Septic System - City Bldgs	0	0	15,000	15,000	0	7,500	15,000	7,500	50.0%
4897 Public Facilities Authority (PFA) Loan Interest	0	0	0	8,000	0	0	0	0	
4846 Sidewalk	2,000	2,000	2,000	2,000	0	1,000	2,000	1,000	50.0%
4012 Bldg & Land Capital Fund	2,500	5,000	6,000	6,000	0	3,000	6,000	3,000	50.0%
4050 Debt Service Levy, Fire Hall Remodeling	55,546	55,808	57,356	57,933	0	29,234	58,468	29,234	50.0%
4898 Debt Serv Levy - Downtown Imp Tmp Bond	0	0	0	0	0	14,000	28,000	14,000	50.0%
4899 Debt Serv Levy - Downtown Imp PFA Loans	0	0	0	0	0	35,000	70,000	35,000	50.0%
4725 Debt Serv Levy - Road Construction Bonds	282,000	292,000	305,000	310,000	0	130,000	260,000	130,000	50.0%
TOTAL PROPERTY TAXES	1,560,592	1,604,540	1,634,042	1,676,572	0	1,004,677	1,858,692	854,015	54.1%
2-INTERGOVERNMENTAL REVENUE:									
4100 Gravel Tax/West Lakeland Cent College	0	(2,301)	(2,374)	(2,333)	0	(2,160)	(2,400)	(240)	
4108 Market Value Credit - Ag	6,606	2,950	5,797	10,033	0	0	4,000	4,000	0.0%
4112 PERA Rate Increase Aid	634	634	634	634	0	317	634	317	50.0%
4175 Agricultural perserve credit	790	528	659	663	0	0	500	500	0.0%
TOTAL INTERGOVT REVENUES	8,031	1,811	4,715	8,998	0	(1,843)	2,734	4,577	-67.4%
3-CHARGES FOR SERVICES:									
4205 Assessment Search	80	20	50	20	10	50	35	(15)	142.9%
4210 Sale of City Data (Various Media)	125	52	20	117	0	34	100	66	33.8%
TOTAL CHARGES FOR SERVICES	205	72	70	137	10	84	135	51	62.0%

City of Afton
Detail Statement of Revenue and Expenditures - General Fund Only
Year to Date 8/31/16

	Audited 2012	Audited 2013	Audited 2014	Audited 2015	Month of Aug-16	YTD Actual 8/31/16	Annual Budget 2016	Remaining Budget \$	YTD Act as % of Annual Budget
4-FINES & FORFEITURES:									
4300 County Fines & Fees	19,292	15,901	10,359	15,861	1,245	9,454	14,000	4,546	67.5%
4305 Other Fines & Forfeitures	0	0	0	0	0	0	250	250	0.0%
TOTAL FINES & FORFEITURES	19,292	15,901	10,359	15,861	1,245	9,454	14,250	4,796	66.3%
5-LICENSES, FEES, PERMITS:									
4400 Building Permit Fees - Afton	85,983	181,192	86,885	117,818	14,328	151,161	80,000	(71,161)	189.0%
4401 Building & Eng'g Inspection Fees	965	2,729	800	1,050	0	1,550	250	(1,300)	620.0%
4404 4th of July permits	919	200	250	0	0	0	0	0	
4405 Pet License & Impound Fees	230	1,825	335	1,025	0	120	300	180	40.0%
4410 Liquor Licenses	2,600	3,000	3,000	3,000	0	1,523	2,600	1,078	58.6%
4415 Other Licenses	156	339	413	260	50	370	350	(20)	105.7%
4435 Street Opening & Utility Permit Fees	3,250	2,500	750	500	250	250	1,750	1,500	14.3%
4437 Utility Franchise Fees	58,409	58,383	59,438	59,554	8,795	30,495	58,000	27,505	52.6%
4440 Zoning Fees & Permits	3,925	3,185	10,248	6,965	500	6,015	3,000	(3,015)	200.5%
TOTAL LICENSES, FEES, PERMITS	156,437	253,353	162,119	190,172	23,923	191,483	146,250	(45,233)	130.9%
7-MISCELLANEOUS REVENUE:									
4601 Insurance dividend	6,162	4,072	3,208	3,271	0	0	2,000	2,000	0.0%
4604 Park rental & cleaning fees	1,221	550	825	560	0	200	500	300	40.0%
4615 Settlements/Other Income/Transfer	163	0	10	869	55	155	0	(155)	
TOTAL MISCELLANEOUS REVENUE	7,546	4,622	4,043	4,700	55	355	2,500	2,145	14.2%
9-OTHER GRANTS:									
4810 County Grant-recycling grant	7,098	7,098	7,178	7,210	0	7,210	7,090	(120)	101.7%
4815 Cable Commission Grant	1,200	1,200	1,200	1,200	300	900	1,200	300	75.0%
TOTAL OTHER GRANTS	8,298	8,298	8,378	8,410	300	8,110	8,290	180	97.8%
10-INTEREST REVENUES:									
4901 Interest - 4M Fund General	45	57	54	144	100	432	50	(382)	863.3%
TOTAL INTEREST REVENUES	45	57	54	144	100	432	50	(382)	863.3%
TOTAL REVENUES	1,760,445	1,888,654	1,823,780	1,904,993	25,634	1,212,752	2,032,901	820,149	59.7%

City of Afton
Detail Statement of Revenue and Expenditures - General Fund Only
Year to Date 8/31/16

	Audited 2012	Audited 2013	Audited 2014	Audited 2015	Month of Aug-16	YTD Actual 8/31/16	Annual Budget 2016	Remaining Budget \$	YTD Act as % of Annual Budget
B: EXPENDITURES									
1-WAGES & BENEFITS:									
5002 Mayor & Council	13,200	13,200	13,200	13,400	1,100	8,800	13,200	4,400	66.7%
5004 Administrator	68,235	75,000	81,575	88,150	7,679	60,767	94,912	34,145	64.0%
5005 Intern (s)	0	0	0	0	0	0	4,500	4,500	0.0%
5007 Office Assistant	15,168	15,676	17,717	16,059	1,624	11,329	16,074	4,745	70.5%
5008 Office Manager/Clerk	34,975	36,436	38,593	38,922	3,023	25,640	42,864	17,224	59.8%
5020 Maintenance Personnel incl Vehicle Allowance	18,464	19,055	17,849	17,300	1,654	12,180	23,951	11,771	50.9%
5014 FICA & Medicare	10,782	11,754	13,425	17,702	1,254	9,613	14,956	5,343	64.3%
5018 Insurance Benefits (Disability)	362	728	642	646	50	432	720	288	60.1%
5037 Other Financial Benefits	1,617	6,000	16,200	26,400	2,200	17,600	26,400	8,800	66.7%
5053 PERA	10,106	10,772	11,416	12,178	1,068	8,619	14,663	6,044	58.8%
5024 Workers Comp Insurance	2,183	2,185	2,530	3,689	0	3,171	2,600	(571)	122.0%
TOTAL WAGES & BENEFITS	175,091	190,806	213,147	234,446	19,652	158,151	254,840	96,689	62.1%
2-PROFESSIONAL SERVICES:									
5120 Contract - Videographer	556	523	606	710	169	851	1,000	149	85.1%
5302 Assessor Fees	18,683	18,977	20,191	20,716	0	21,269	21,200	(69)	100.3%
5304 Accounting fees	12,705	13,020	13,365	14,375	1,207	9,769	15,350	5,581	63.6%
5305 Auditing fees	5,810	4,665	5,350	5,450	0	5,350	5,700	350	93.9%
5310 Engineering Fees	15,896	16,852	12,722	17,707	9,877	17,320	20,000	2,680	86.6%
5315 Recording fees	92	0	151	46	0	0	300	300	0.0%
5320 Legal fees - Prosecution	26,824	28,273	29,698	25,140	2,126	15,217	28,000	12,783	54.3%
5321 Legal fees - General/Civil	21,176	24,383	13,772	20,447	1,700	15,571	22,000	6,429	70.8%
5335 Other Fees for Service	0	0	0	0	230	311	1,500	1,190	20.7%
5350 Building Inspection Fees - Stensland	35,805	68,952	36,910	48,921	5,955	57,938	32,000	(25,938)	181.1%
5360 Misc Dev Fees	0	91	(200)	(345)	0	(745)	0	745	
5370 Well Monitoring Program	72	0	144	0	0	0	1,000	1,000	0.0%
5380 Watershed Management	459	488	488	488	0	595	500	(95)	119.0%
TOTAL PROFESSIONAL SERVICES	125,944	176,224	133,198	153,655	21,263	143,445	148,550	5,105	96.6%

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City of Afton
Detail Statement of Revenue and Expenditures - General Fund Only
Year to Date 8/31/16

	Audited 2012	Audited 2013	Audited 2014	Audited 2015	Month of Aug-16	YTD Actual 8/31/16	Annual Budget 2016	Remaining Budget \$	YTD Act as % of Annual Budget
4-OTHER EXPENDITURES:									
5500 Office Equipment	0	527	176	1,612	0	576	600	24	96.0%
5505 Bank/IRS Fees/Penalties/Sales Tax	496	664	135	347	10	124	400	276	30.9%
5510 Comp Svc (All Hard/Software, GIS, Web, Email)	7,645	7,476	4,825	5,396	614	4,462	9,500	5,039	47.0%
5516 Copier Lease	6,186	7,148	6,424	6,796	274	2,323	7,500	5,177	31.0%
5520 Equipment Maintenance	0	0	62	0	0	0	1,000	1,000	0.0%
5525 Insurance-General Liability	19,564	20,824	18,377	17,886	0	17,250	21,000	3,750	82.1%
5535 Misc. Expense	708	357	230	956	0	21	2,000	1,979	1.0%
5540 Office Supplies	3,533	3,281	2,673	2,953	200	1,867	4,000	2,133	46.7%
5545 Other Administration	139	100	475	713	200	200	500	300	40.0%
5550 Postage	3,164	3,720	4,816	3,439	0	1,233	3,500	2,267	35.2%
5555 Publishing & Printing	2,068	1,777	2,336	3,656	(264)	1,991	2,800	809	71.1%
5560 Newsletter	6,250	4,833	5,281	6,058	183	3,512	6,000	2,488	58.5%
5565 Telephone	2,707	2,901	2,759	2,682	329	2,209	3,500	1,291	63.1%
5575 Travel & Mileage	47	30	180	0	41	88	500	412	17.7%
5580 Membership & Dues	2,916	2,987	2,987	3,158	3,207	3,207	3,000	(207)	106.9%
5585 Seminars & Education	1,025	1,455	1,932	2,364	100	682	2,500	1,818	27.3%
TOTAL OTHER EXPENDITURES	56,448	58,082	53,668	58,017	4,893	39,743	68,300	28,557	58.2%
SUBTOTAL GENERAL & ADMINISTRATIVE	357,484	425,111	400,012	446,119	45,808	341,340	471,690	130,350	72.4%
5-PUBLIC SAFETY:									
5605 Animal Control	3,834	1,969	1,899	2,823	583	1,337	4,000	2,663	33.4%
5625 Fire & Ambulance Service	189,316	199,472	213,705	219,953	0	174,670	232,893	58,223	75.0%
5626 Fire Relief Association	6,782	2,470	0	0	0	0	0	0	
5635 Police Service - County	163,521	165,033	168,494	169,289	233	85,549	171,250	85,701	50.0%
TOTAL PUBLIC SAFETY	363,453	368,944	384,098	392,065	816	261,556	408,143	146,587	64.1%
6-PUBLIC HEALTH:									
5705 Recycling - Afton	0	0	150	268	75	380	500	120	76.1%
5720 Refuse Hauling - City Hall	1,294	887	1,630	819	0	241	1,500	1,260	16.0%
TOTAL PUBLIC HEALTH	1,294	887	1,780	1,087	75	621	2,000	1,379	31.0%

City of Afton
Detail Statement of Revenue and Expenditures - General Fund Only
Year to Date 8/31/16

	Audited 2012	Audited 2013	Audited 2014	Audited 2015	Month of Aug-16	YTD Actual 8/31/16	Annual Budget 2016	Remaining Budget \$	YTD Act as % of Annual Budget
7-STREETS:									
5820 Gravel Road Maintenance	3,114	2,517	1,755	3,530	595	2,865	4,000	1,135	71.6%
5825 Crackseal/Seal Coat/Gravel Shouldering	6,009	720	90,685	51,829	0	813	75,000	74,187	1.1%
5830 Snow & Ice Control	95,457	162,076	115,692	62,431	0	42,575	110,000	67,425	38.7%
5835 Surf maint/Sweeping/Pothole Repair	21,432	25,054	29,844	49,873	237	31,207	46,000	14,793	67.8%
5845 Brush, Tree, Mow, Bridge, Culvert, Guardrail	33,893	65,736	25,502	40,117	3,960	14,115	39,000	24,885	36.2%
5850 Street Lighting	4,480	4,682	3,982	4,286	323	2,575	5,000	2,425	51.5%
5855 Gas Lamps - Operating Costs	2,870	2,688	2,851	2,491	207	1,531	2,700	1,169	56.7%
5856 Gas Lamps - Capital	2,841	2,468	0	0	0	0	0	0	
5860 Signs & Signals	2,123	1,691	2,977	3,247	1,153	2,446	4,000	1,554	61.2%
5870 Other - Road Maint.	1,791	575	758	605	219	1,365	2,000	635	68.3%
TOTAL STREETS	174,009	268,207	274,047	218,410	6,695	99,493	287,700	188,207	34.6%
9-OTHER PUBLIC WORKS EXPENDITURES:									
5910 Flood Control (Operate Pump/Dike)	658	264	803	0	0	0	1,600	1,600	0.0%
5920 Repair & Maint - Equipment	1,740	518	1,312	1,080	19	995	1,500	505	66.3%
5925 Fuel & Lubricants	696	694	478	558	0	165	1,000	835	16.5%
5930 Tools & Minor Equipment	487	217	243	277	0	255	950	695	26.9%
TOTAL OTHER PUBLIC WORKS	3,581	1,692	2,836	1,914	19	1,415	5,050	3,635	28.0%
SUBTOTAL STREETS, REHAB & PUBLIC WORKS	177,590	269,899	276,883	220,324	6,714	100,907	292,750	191,843	34.5%
9-BUILDINGS & LAND:									
6010 Gas Heat	1,186	1,721	2,060	1,937	79	919	2,500	1,581	36.8%
6020 Electricity	1,707	2,030	1,822	1,731	112	1,236	1,750	514	70.6%
6030 Miscellaneous Expense	1,044	1,565	777	1,036	109	644	500	(144)	128.7%
6035 Cleaning	150	957	1,031	874	13	162	1,000	838	16.2%
6040 Repair & Maintenance	1,175	1,404	898	1,910	7	723	2,000	1,277	36.2%
6045 City Garage Expense	2,017	3,266	3,264	2,557	53	2,531	2,500	(31)	
6050 Supplies	231	260	594	288	0	169	500	331	33.8%
TOTAL BUILDINGS & LAND	7,511	11,203	10,446	10,334	373	6,384	10,750	4,366	59.4%

City of Afton
Detail Statement of Revenue and Expenditures - General Fund Only
Year to Date 8/31/16

	Audited 2012	Audited 2013	Audited 2014	Audited 2015	Month of Aug-16	YTD Actual 8/31/16	Annual Budget 2016	Remaining Budget \$	YTD Act as % of Annual Budget
12-PARKS & RECREATION:									
6105 4th of July Celebration	4,265	2,985	3,691	3,500	0	3,500	3,500	0	100.0%
6135 Park Maintenance	783	713	1,275	359	258	355	1,200	845	29.6%
6140 Miscellaneous expense	0	107	52	62	108	112	300	188	37.3%
6205 Cemetery maintenance	0	0	0	0	0	9,000	2,500	(6,500)	360.0%
TOTAL PARKS & RECREATION	5,049	3,805	5,018	3,921	366	12,967	7,500	(5,467)	172.9%
OVERALL TOTAL EXPENDITURES	912,381	1,079,849	1,078,237	1,073,850	54,152	723,775	1,192,833	469,058	60.7%
C: OTHER FINANCING SOURCES (USES)									
4725 Tax Levy to Road Debt Service Fund	(282,000)	(292,000)	(305,000)	(310,000)	0	(130,000)	(260,000)	(130,000)	
4898 Tax Levy to Dwntrwn Imp Tmp Bonds	0	0	0	0	0	(14,000)	(28,000)	(14,000)	
4899 Tax Levy to Dwntrwn Imp PFA Loans	0	0	0	0	0	(35,000)	(70,000)	(35,000)	
4050 Tax Levy to Fire Hall Debt Service Fund	(55,546)	(55,808)	(57,356)	(57,933)	0	(29,234)	(58,468)	(29,234)	
6920 Oper trf to Bldg & Land Fund - Budgeted	(2,500)	(5,000)	(6,000)	(6,000)	0	(3,000)	(6,000)	(3,000)	
6920 Oper trf to Bldg & Land Fund - UnBudgeted		(25,000)	0	(20,000)	0	0	0	0	
6921 Oper trf to Street Imp -UnBudgeted	(175,000)	(25,000)	0	(43,500)	0	0	0	0	
6925 Oper trf to Street Imp -Budgeted	(171,000)	(190,000)	(200,000)	(200,000)	0	(100,000)	(200,000)	(100,000)	
6928 Oper Trf from(to) Special Reserve Fund	(17,579)	(85,000)	(294)	(5,000)	0	(39,000)	(78,000)	(39,000)	
6932 Oper Trf to Stormwater Fund	(3,500)	(3,500)	(3,500)	(3,500)	0	(1,750)	(3,500)	(1,750)	
6933 Oper Trf to Vehicle Fund	(2,500)	(2,500)	(2,500)	(2,500)	0	(1,250)	(2,500)	(1,250)	
6935 Oper Trf to Comprehensive Plan	7,762	(100)	(2,000)	(2,000)	0	(1,500)	(3,000)	(1,500)	
6936 Oper Trf to Flood Mitigation & Control	(5,500)	(5,500)	(5,500)	(5,500)	0	(2,750)	(5,500)	(2,750)	
6937 Oper Trf to DNR Grant Match	(95,000)	(95,000)	(95,000)	(95,000)	0	(47,500)	(95,000)	(47,500)	
6934 Oper trf to Codification (Spec Act Fd)	12,358	(100)	(100)	(100)	0	(100)	(100)	0	
4843 Oper Trf to MN Unemployment Claims	(10,000)	(10,000)	(3,000)	(3,000)	0	(500)	(1,000)	(500)	
4847 Oper Trf to Election Expense Fund	(12,250)	(5,500)	(5,500)	(5,500)	0	(2,750)	(5,500)	(2,750)	
6910 City Council Contingency Fund	(8,000)	0	0	0	0	0	0	0	
4842 Oper Trf to Audit and Legal Reserve	(20,000)	(100)	(100)	(100)	0	(500)	(1,000)	(500)	
4844 Oper Trf to Parks Capital Repairs/Trail & Ped Bridge	(3,000)	(3,500)	(5,500)	(5,500)	0	(2,750)	(5,500)	(2,750)	
xxxx Oper Trf to Afton Septic System - City Bldgs			(15,000)	(15,000)	0	(7,500)	(15,000)		
xxxx Oper Trf to PFA Loan Interest (Spec Act Fd)			0	(8,000)	0	0	0		
4846 Oper Trf to Sidewalk	(2,000)	(2,000)	(2,000)	(2,000)	0	(1,000)	(2,000)	(1,000)	
6929 Trf (to)/from Special Activities Fund (Various)	0	0	0	(15,000)	0	0	0	0	
TOTAL OTH FINANCING/TRANSFERS	(845,255)	(805,608)	(708,350)	(805,133)	0	(420,084)	(840,068)	(412,484)	
REVENUES OVER (UNDER) EXPENDITURES	\$2,810	3,197	37,193	26,010	(28,519)	68,893	\$0	(68,893)	
Fund Balance - Beginning of Period	\$258,108	260,918	264,114	301,307		\$327,317			
Fund Balance - End of Period	\$260,918	264,114	301,307	327,317		\$396,210			

City of Afton
Summary of Special Activities and MN Investment Funds
YTD 8/31/16

	Balance 12/31/2012	Balance 12/31/2013	Balance 12/31/2014	Balance 12/31/2015	Receipts	Disbursements	Transfers	Balance 8/31/2016
#550 Special Activities Fund								
A. Interest (unallocated)	3,826.56	3,848.46	3,871.67	3,930.92	233.46			4,164.38
B1. Cable Commission	23,978.90	23,978.90	18,378.87	24,889.73	6,252.96	2,210.00		28,932.69
B2. 4th of July Reserve	914.75	0.00	0.00	0.00				0.00
B3. City Council Contingency Reserve	13,752.60	13,452.60	10,975.00	9,775.00		2,017.50		7,757.50
B4. Community Garden	1,250.00	(87.88)	(87.88)	(0.00)				(0.00)
B4. MN Historic Preservation Design Guidelines	5,350.00	0.00	0.00	8,000.00		17,975.00		(9,975.00)
C1. Codification	3,550.20	3,650.20	3,750.20	3,850.20	100.00			3,950.20
C2. Comprehensive Plan	7,573.28	7,673.28	8,155.36	1,947.36	1,500.00			3,447.36
D1. Flood Control (Acct 7836)	2,945.20	8,445.20	5,063.99	17,004.27	2,750.00			19,754.27
D2. Storm Water Control	14,433.70	17,933.70	21,433.70	24,933.70	1,750.00			26,683.70
D3. Snow & Ice Reserve	0.00	0.00	0.00	15,000.00				15,000.00
D6. TAG Wastewater Comm Assessmnt (Acct 7833)	(3,818.12)	(15,982.34)	(15,982.34)	0.00				0.00
F. Applicant Pass-Thru Expenses	0.00	0.00	0.00	0.00				0.00
G. TIF Dist No. 1 (Afton Market Square)	849.01	849.01	849.01	0.00				0.00
H. State Fire Aid (Pass-Thru)	0.00	0.00	0.00	0.00	1,000.00	1,000.00		0.00
I. City Vehicles	(650.52)	1,648.96	4,148.96	6,648.96	1,250.00			7,898.96
K. Audit/Legal Reserve	38,236.57	38,336.57	38,436.57	38,536.57	500.00			39,036.57
L. MN UI Claims, Severance & Oth PTO	14,425.53	20,788.53	23,788.53	26,788.53	500.00			27,288.53
M. Pedestrian Bike Trail & Bridge	21,000.00	10,959.94	16,459.94	21,959.94	2,750.00			24,709.94
N. Election Expense	1,670.12	6,402.20	5,780.27	11,159.33	2,750.00	874.87		13,034.46
O. Sidewalk	6,000.00	8,000.00	10,000.00	12,000.00	1,000.00			13,000.00
Total #550 Special Activities Fund	155,287.78	149,897.33	155,021.85	226,424.51	22,336.42	24,077.37	0.00	224,683.56
#600 MN Investment Fund								
4886/8986 Chandler Exhibits	90,946.70	100,985.08	104,361.13	104,409.10	97.79		0.00	104,506.89
Total #600 MN Investment Fund	90,946.70	100,985.08	104,361.13	104,409.10	97.79	0.00	0.00	104,506.89

City of Afton
Special Activities Fund - Detail by Account
 January through August 2016

Type	Date	Num	Source Name	Memo	Amount
4815 · Cable Commission Distributions					
Dep...	02/18/2016	1824		Cable Commission: Y/E 2015 Distribution	6,252.96
Total 4815 · Cable Commission Distributions					6,252.96
4817 · MN Hist Pres Design Guidelines					
Bill	04/20/2016	2015-04.2	Thomas R. Zahn & Associates LLC	Afton Local Designations: Total Project Budget = \$19,750	(6,000.00)
Bill	07/31/2016	2015-04.3	Thomas R. Zahn & Associates LLC	Afton Local Designations: completion of all designation forms.	(11,975.00)
Total 4817 · MN Hist Pres Design Guidelines					(17,975.00)
4842 · Oper Trf Audit/Legal Reserve					
Dep...	06/30/2016			Audit and Legal	500.00
Total 4842 · Oper Trf Audit/Legal Reserve					500.00
4843 · Oper Trf - MN Unemploy Claims					
Dep...	06/30/2016			MN Unemployment Claims	500.00
Total 4843 · Oper Trf - MN Unemploy Claims					500.00
4844 · Oper Trf - Pedestrian Bike Trai					
Dep...	06/30/2016			Parks Capital	2,750.00
Total 4844 · Oper Trf - Pedestrian Bike Trai					2,750.00
4846 · Oper Trf in - Sidewalk					
Dep...	06/30/2016			Sidewalk	1,000.00
Total 4846 · Oper Trf in - Sidewalk					1,000.00
4847 · Oper Trf In - Election Levy					
Dep...	06/30/2016			Election	2,750.00
Total 4847 · Oper Trf In - Election Levy					2,750.00
4914 · Special Activity - Interest					
Gen...	01/31/2016	interest		Interest Income	20.64
Gen...	02/29/2016	interest		Interest Income	23.61
Gen...	03/31/2016	interest		Interest Income	23.86
Gen...	04/30/2016	interest		Interest Income	25.52
Gen...	05/31/2016	interest		Interest Income	32.90
Gen...	06/30/2016	interest		Interest Income	35.71
Gen...	07/31/2016	interest		Interest Income	35.03
Gen...	08/10/2016	interest		Interest Income	36.19
Total 4914 · Special Activity - Interest					233.46
4940 · State Fire Aid Received					
Dep...	03/14/2016	4246395		St of MN: Firefighters SBR Reimb	1,000.00

City of Afton
Special Activities Fund - Detail by Account
 January through August 2016

Type	Date	Num	Source Name	Memo	Amount
Total 4940 · State Fire Aid Received					1,000.00
6932 · Oper Trf - Stormwater Run-off					
Dep...	06/30/2016			Stormwater	1,750.00
Total 6932 · Oper Trf - Stormwater Run-off					1,750.00
6933 · Oper Trf - City Vehicles					
Dep...	06/30/2016			City Vehicles	1,250.00
Total 6933 · Oper Trf - City Vehicles					1,250.00
6934 · Oper Trf - Codification					
Dep...	06/30/2016			Codification	100.00
Total 6934 · Oper Trf - Codification					100.00
6935 · Oper Trf - Comprehensive Plan					
Dep...	06/30/2016			Comp Plan	1,500.00
Total 6935 · Oper Trf - Comprehensive Plan					1,500.00
6936 · Oper Trf - Flood Control					
Dep...	06/30/2016			Flood Control	2,750.00
Total 6936 · Oper Trf - Flood Control					2,750.00
5018 · Insurance Benefits					
Pay...	07/14/2016	201607007	Swanson Linner, Kimberly J	Direct Deposit	0.00
Pay...	08/31/2016	201609001	Swanson Linner, Kimberly J	Direct Deposit	(6.69)
Total 5018 · Insurance Benefits					(6.69)
5020 · Maintenance Person					
Pay...	08/31/2016	21313	Johnson, Kenneth L		0.00
Total 5020 · Maintenance Person					0.00
5051 · Social Security Tax - Employer					
Pay...	07/14/2016	201607007	Swanson Linner, Kimberly J	Direct Deposit	(7.87)
Pay...	08/31/2016	21313	Johnson, Kenneth L		(2.58)
Pay...	08/31/2016	201609001	Swanson Linner, Kimberly J	Direct Deposit	(26.77)
Total 5051 · Social Security Tax - Employer					(37.22)
5052 · Medicare Tax - Employer					
Pay...	07/14/2016	201607007	Swanson Linner, Kimberly J	Direct Deposit	(1.84)
Pay...	08/31/2016	21313	Johnson, Kenneth L		(0.60)
Pay...	08/31/2016	201609001	Swanson Linner, Kimberly J	Direct Deposit	(6.26)

City of Afton
Special Activities Fund - Detail by Account
 January through August 2016

Type	Date	Num	Source Name	Memo	Amount
Total 5052 · Medicare Tax - Employer					(8.70)
5053 · PERA Contribution - Employer					
Pay...	07/14/2016	201607007	Swanson Linner, Kimberly J	Direct Deposit	(9.53)
Pay...	08/31/2016	21313	Johnson, Kenneth L		(3.12)
Pay...	08/31/2016	201609001	Swanson Linner, Kimberly J	Direct Deposit	(32.38)
Total 5053 · PERA Contribution - Employer					(45.03)
5440 · State Fire Aid Paid					
Bill	03/31/2016	16 FF SBR Reimb	LSCV Fire Relief Assn (State Aid)	2016 State Fire Aid Firefighters SBR Reimb	(1,000.00)
Total 5440 · State Fire Aid Paid					(1,000.00)
5561 · Communications					
Bill	04/19/2016	Phase II AdminiT...	Meg Kerschbaum	Project/Technology Assessment - Phase 2 (AdminiTrack), 34 hrs @ \$65	(2,210.00)
Total 5561 · Communications					(2,210.00)
6347 · Elections Expense					
Pay...	07/14/2016	201607007	Swanson Linner, Kimberly J	Direct Deposit	(127.00)
Pay...	08/31/2016	21313	Johnson, Kenneth L		(41.63)
Pay...	08/31/2016	201609001	Swanson Linner, Kimberly J	Direct Deposit	(431.80)
Bill	08/31/2016	Aug16 Afton Elec...	Hudson Bagel & Coffee Co.	20 box lunches: 2016 Primary Election	(136.80)
Bill	08/31/2016	PRIMELEC 8916	Laurie Arco (Vendor)	cinnamon rolls 2016 Primary Election	(40.00)
Total 6347 · Elections Expense					(777.23)
6366 · City Council Contingency Exp					
Bill	06/30/2016	1028	Youth Service Bureau	YSB Services - 2016	(1,500.00)
Bill	06/30/2016	22389	Northwest Assoc (Private Projects)	Carlson property	(517.50)
Total 6366 · City Council Contingency Exp					(2,017.50)
TOTAL					(1,740.95)

City of Afton
Street Improvement Fund - Detail by Account
 January through August 2016

Type	Date	Num	Source Name	Memo	Amount
4013 · Current Tax Levy - Public Works					
Deposit	06/30/2016			Street Imp	100,000.00
Total 4013 · Current Tax Levy - Public Works					100,000.00
4907 · Pub Wks 4M Fd Interest Earnings					
General ...	01/31/2016	Interest		Interest Income	47.24
General ...	02/29/2016	Interest		Interest Income	53.88
General ...	03/31/2016	Interest		Interest Income	53.25
General ...	04/30/2016	Interest		Interest Income	56.82
General ...	05/31/2016	Interest		Interest Income	72.84
General ...	06/30/2016	Interest		Interest Income	77.72
General ...	07/31/2016	Interest		Interest Income	75.88
General ...	08/31/2016	Interest		Interest Income	81.57
Total 4907 · Pub Wks 4M Fd Interest Earnings					519.20
7900 · Street Imp Capital Projects					
7981 · Village Local Road Improvements					
Bill	03/31/2016	400-28	WSB (Street Imp)	Village Local Rd Improvements	(12,720.25)
Bill	04/30/2016	400-29	WSB (Village Local Road Imp)	Village Local Road Improvements	(12,619.50)
Bill	05/31/2016	742775282	Finance and Commerce	Bids re: Downtown Village Improvement Project	(250.73)
Bill	05/31/2016	0516415245	Pioneer Press	legal notices, advertisement for bids	(2,099.95)
Bill	05/31/2016	400-30	WSB (Village Local Road Imp)	Village Local Road Improvements, April 2016	(13,564.75)
Bill	06/30/2016	400-31	WSB (Village Local Road Imp)	Village Local Road Improvements, May 2016	(9,777.50)
Bill	08/31/2016	400-32	WSB (Village Local Road Imp)	Village Local Road Improvements, June 2016	(9,834.00)
Bill	08/31/2016	400-33	WSB (Village Local Road Imp)	Village Local Road Improvements, July 2016	(7,178.00)
Total 7981 · Village Local Road Improvements					(68,044.68)
7982 · CR 21 Improvement Project					
Bill	03/15/2016	27	WSB (Street Imp)	CR 21 improvement project	(661.50)
Bill	03/31/2016	390-28	WSB (Street Imp)	CR 21 Improvement Project	(661.50)
Bill	04/30/2016	390-29	WSB (CR21 Improvements)	CR 21 Improvement Project	(220.50)
Bill	05/31/2016	390-30	WSB (CR21 Improvements)	CR 21 Improvement Project, April 2016	(299.50)
Bill	08/31/2016	390-31	WSB (Street Imp)	CR 21 Improvement Project	(305.00)
Bill	08/31/2016	390-32	WSB (Street Imp)	CR 21 Improvement Project, July 2016	(294.00)
Total 7982 · CR 21 Improvement Project					(2,442.00)
Total 7900 · Street Imp Capital Projects					(70,486.68)
TOTAL					30,032.52

City of Afton
Bldg & Land Fund - Detail by Account
 January through August 2016

Type	Date	Num	Source Name	Memo	Amount
4012 · Bldg & Land Curr Tax Levy					
Dep...	06/30/2016			Bldg & Land Capital	3,000.00
Total 4012 · Bldg & Land Curr Tax Levy					3,000.00
4022 · Afton Septic System - City Bldg					
Dep...	06/30/2016			Septic System City Bldg	7,500.00
Total 4022 · Afton Septic System - City Bldg					7,500.00
4600 · Other Grants/Insurance					
Dep...	06/21/2016	10004252		LMCIT: Claim re PW Garage on Stagecoach Trl (tree on roof). \$1,000 less \$250 deductible	750.00
Total 4600 · Other Grants/Insurance					750.00
4906 · Bldg & Land Interest Earnings					
Gen...	02/29/2016	interest		Interest Income	6.91
Gen...	02/29/2016	interest		Interest Income	5.87
Gen...	03/31/2016	interest		Interest Income	7.06
Gen...	04/30/2016	interest		Interest Income	8.43
Gen...	05/31/2016	interest		Interest Income	11.42
Gen...	06/30/2016	interest		Interest Income	11.83
Gen...	07/31/2016	interest		Interest Income	11.64
Gen...	08/31/2016	interest		Interest Income	12.33
Total 4906 · Bldg & Land Interest Earnings					75.49
6003 · City Hall Improvements					
Bill	04/19/2016	04132016	Stillwater Plumbing	New toilets and vanity	(1,725.00)
Bill	04/19/2016	2742	Hedberg Moving Solutions	Moving office furniture & hallway & bathrooms re. new floors, bathroom fixtures, etc.	(814.50)
Bill	04/28/2016	2742/Apr...	Hedberg Moving Solutions	Moving office furniture & hallway & bathrooms re. new floors, bathroom fixtures, etc.	(3.00)
Bill	04/30/2016	30374	Erskine Interiors	Office Carpet: Job #28243	(1,511.93)
Bill	04/30/2016	53187	Erskine Interiors	City Hall Tile: Job #28244	(1,386.55)
Bill	04/30/2016	55174	Erskine Interiors	City Hall Adura: Job #29156	(1,701.29)
Bill	07/28/2016	3147	Lakeland Heating & Air Conditioning	2nd floor furnace replacement	(3,100.00)
Bill	07/30/2016	3147 Addl	Lakeland Heating & Air Conditioning	City Hall new AC	(3,300.00)
Total 6003 · City Hall Improvements					(13,542.27)
TOTAL					(2,216.78)

09/13/16

City of Afton
City Dock Fund - Detail by Account
January through August 2016

Type	Date	Num	Source Name	Memo	Amount
4812 · Dock Lease Revenue					
Dep...	05/17/2016	41736		Afton St Croix Co: 2016 City Dock Lease Payment	3,850.00
Total 4812 · Dock Lease Revenue					3,850.00
4909 · Dock 4M Fd - Interest Earnings					
Gen...	01/31/2016	Interest		Interest Income	5.88
Gen...	02/29/2016	Interest		Interest Income	6.65
Gen...	03/31/2016	Interest		Interest Income	6.70
Gen...	04/30/2016	Interest		Interest Income	6.78
Gen...	05/31/2016	Interest		Interest Income	8.42
Gen...	06/30/2016	Interest		Interest Income	9.22
Gen...	07/31/2016	Interest		Interest Income	8.97
Gen...	08/31/2016	Interest		Interest Income	9.35
Total 4909 · Dock 4M Fd - Interest Earnings					61.97
TOTAL					3,911.97

City of Afton
General Fd Streets, Rehab & Public Works - Detail by Account
 January through August 2016

Type	Date	Num	Source Name	Memo	Amount
5820 · Gravel Road Maintenance					
Bill	04/30/2016	858	Tri-County Services (Streets, Other)	grade 60th street	(680.00)
Bill	05/31/2016	6	Tri-County Services (Streets, Other)	dump hauling gravel, road grader 60th St	(637.50)
Bill	06/30/2016	12107	Rumpca Excavating Inc	3/4" lime rock	(854.62)
Bill	06/30/2016	12059	Rumpca Excavating Inc	3/4" lime rock	(98.15)
Bill	08/31/2016	26	Tri-County Services (Streets, Other)	road grade 60th trading post	(510.00)
Bill	08/31/2016	29	Tri-County Services (Streets, Other)	stockpile gravel at 201 site for use on city roads	(85.00)
Total 5820 · Gravel Road Maintenance					(2,865.27)
5825 · Crackseal/Seal Coat/Shouldering					
Bill	05/31/2016	5	Tri-County Services (Streets, Other)	shoulder, 50th street east of trading post	(765.00)
Bill	07/28/2016	12234	Rumpca Excavating Inc	fill dirt 6/28	(47.82)
Total 5825 · Crackseal/Seal Coat/Shouldering					(812.82)
5830 · Snow & Ice Control					
Bill	01/31/2016	837	Tri-County Services (Snow Ice)	Snow & Ice Control: Jan 2016	(9,702.75)
Bill	02/29/2016	842	Tri-County Services (Snow Ice)	Snow & Ice Control: Feb 2016	(14,960.00)
Bill	03/31/2016	850	Tri-County Services (Snow Ice)	Snow & Ice Control: 3-23-16	(2,805.00)
Bill	04/30/2016	85352	Wash Cty (Rd & Bridge)(Trans & Phys D...	snow & ice control, 2/3/16, 2/19, 2/26/16	(13,302.61)
Bill	04/30/2016	86847	Wash Cty (Rd & Bridge)(Trans & Phys D...	snow & ice control, 4/4/16	(879.07)
Bill	04/30/2016	85484	Wash Cty (Rd & Bridge)(Trans & Phys D...	snow & ice control, 3/14/16	(528.71)
Gen...	04/30/2016	Ck21097		Transposition error on Check 21097 Wash Cty	(18.00)
Gen...	05/31/2016	Ck21097		Clear Transposition error on Check 21097 Wash Cty	18.00
Bill	06/30/2016	89016	Wash Cty (Rd & Bridge)(Trans & Phys D...	snow & ice control, 4/29/16	(396.97)
Total 5830 · Snow & Ice Control					(42,575.11)
5835 · Surf Maint/Bit Patch/Sweeping					
Bill	03/31/2016	851	Tri-County Services (Streets, Other)	truck with tar trailer, 3-11, 3-14, 3-17, 3-18, 3-21, date unspecified	(7,055.00)
Bill	04/28/2016	IN00015316	City of Saint Paul	asphalt mix	(1,126.35)
Bill	04/30/2016	859	Tri-County Services (Streets, Other)	potholes	(1,755.00)
Bill	04/30/2016	857	Tri-County Services (Streets, Other)	sweeping 4-11, 4-12, 4-14, 5-2-16	(6,937.50)
Bill	05/31/2016	4	Tri-County Services (Streets, Other)	tar trailer and truck, labor	(1,445.00)
Bill	05/31/2016	19566	Menards - Hudson	Sealbest pothole patch	(15.90)
Bill	06/30/2016	00016208	City of Saint Paul	asphalt mix: river road, tomahawk, afton hills, Indian Trl, Downtown	(331.62)
Bill	06/30/2016	21351	Menards - Hudson	sealbest pothole patch	(15.90)
Bill	06/30/2016	160630	Commercial Asphalt Company	Dura Drive 6/27, 6/28 Afton Hills Dr	(1,970.18)
Bill	07/28/2016	160715	Commercial Asphalt Company	Dura Drive 7/12	(2,937.94)
Bill	07/31/2016	13	Tri-County Services (Streets, Other)	tar trailer and truck, labor, Afton Hills tar project	(6,700.00)
Bill	07/31/2016	24	Tri-County Services (Streets, Other)	Afton Hills, fill material on side of road	(680.00)
Bill	08/31/2016	00017212	City of Saint Paul	asphalt mix	(221.08)
Bill	08/31/2016	27074	Menards - Hudson	pothole patch	(15.90)
Total 5835 · Surf Maint/Bit Patch/Sweeping					(31,207.37)
5845 · Brush/Tree/Sod/Seed					
Bill	02/29/2016	840	Tri-County Services (Streets, Other)	drive around cut low hanging limbs	(1,620.00)

City of Afton
General Fd Streets, Rehab & Public Works - Detail by Account
 January through August 2016

Type	Date	Num	Source Name	Memo	Amount
Bill	03/31/2016	854	Tri-County Services (Streets, Other)	cut cedar trees down, haul brush	(2,850.00)
Bill	05/31/2016	7	Tri-County Services (Streets, Other)	31 hours ditch mow	(2,635.00)
Bill	07/31/2016	14	Tri-County Services (Streets, Other)	sheriff call outs 6-9, 7-17, removal of downed trees	(3,050.00)
Bill	08/31/2016	28	Tri-County Services (Streets, Other)	trees down on Osgood and Afton Hills	(510.00)
Bill	08/31/2016	25	Tri-County Services (Streets, Other)	tree trim Quadrant	(2,030.00)
Bill	08/31/2016	27	Tri-County Services (Streets, Other)	tree trim River Road	(1,420.00)
Total 5845 · Brush/Tree/Sod/Seed					(14,115.00)
5850 · Street Lighting					
Bill	01/31/2016	488711187	Xcel Energy (51-6223921-2)	Street Lighting Service	(163.57)
Bill	01/31/2016	488550662	Xcel Energy (51-5700429-6)	3033 St. Croix Trail S Meter #0077765464	(92.20)
Bill	03/16/2016	292294361	Xcel Energy (51-6223921-2)	Street Lighting Service	(216.60)
Bill	03/16/2016	492284561	Xcel Energy (51-5700429-6)	3033 St. Croix Trail S Meter #0077765464	(128.39)
Bill	04/28/2016	496179575	Xcel Energy (51-6223921-2)	Street Lighting Service	(213.34)
Bill	04/28/2016	495994182	Xcel Energy (51-5700429-6)	3033 St. Croix Trail S Meter #0077765464	(114.76)
Bill	04/30/2016	499711033	Xcel Energy (51-5700429-6)	3033 St. Croix Trail S Meter #0077765464	(119.98)
Bill	04/30/2016	499909291	Xcel Energy (51-6223921-2)	Street Lighting Service	(210.36)
Bill	05/31/2016	503451784	Xcel Energy (51-5700429-6)	3033 St. Croix Trail S Meter #0077765464	(121.61)
Bill	05/31/2016	503804706	Xcel Energy (51-6223921-2)	Street Lighting Service	(209.44)
Bill	06/30/2016	507284438	Xcel Energy (51-5700429-6)	3033 St. Croix Trail S Meter #0077765464	(134.81)
Bill	07/28/2016	507534779	Xcel Energy (51-6223921-2)	Street Lighting Service	(206.98)
Bill	07/31/2016	510968484	Xcel Energy (51-5700429-6)	3033 St. Croix Trail S Meter #0077765464	(115.31)
Bill	07/31/2016	511312159	Xcel Energy (51-6223921-2)	Street Lighting Service	(204.01)
Bill	08/31/2016	515084016	Xcel Energy (51-5700429-6)	3033 St. Croix Trail S Meter #0077765464	(115.05)
Bill	08/31/2016	515547597	Xcel Energy (51-6223921-2)	Street Lighting Service	(208.27)
Total 5850 · Street Lighting					(2,574.68)
5855 · Gas Lamps - Operating Costs					
Bill	02/29/2016	02082016	Centerpoint Energy (8000015314-0)	5855 5297140 3033 St. Croix Trl S Meter #M19981171295	(127.49)
Bill	02/29/2016	02082016	Centerpoint Energy (8000015314-0)	5855 5297143 3033 St. Croix Trl S Meter #M19981171296	(129.95)
Bill	03/29/2016	Mar2016	Centerpoint Energy (8000015314-0)	5855 5297140 3033 St. Croix Trl S Meter #M19981171295	(116.71)
Bill	03/29/2016	Mar2016	Centerpoint Energy (8000015314-0)	5855 5297143 3033 St. Croix Trl S Meter #M19981171296	(110.33)
Bill	04/28/2016	Apr2016	Centerpoint Energy (8000015314-0)	5855 5297140 3033 St. Croix Trl S Meter #M19981171295	(79.49)
Bill	04/28/2016	Apr2016	Centerpoint Energy (8000015314-0)	5855 5297143 3033 St. Croix Trl S Meter #M19981171296	(108.81)
Bill	05/31/2016	May2016	Centerpoint Energy (8000015314-0)	5855 5297140 3033 St. Croix Trl S Meter #M19981171295	(92.86)
Bill	05/31/2016	May2016	Centerpoint Energy (8000015314-0)	5855 5297143 3033 St. Croix Trl S Meter #M19981171296	(95.38)
Bill	05/31/2016	070516	Centerpoint Energy (8000015314-0)	5855 5297140 3033 St. Croix Trl S Meter #M19981171295	(72.22)
Bill	05/31/2016	070516	Centerpoint Energy (8000015314-0)	5855 5297143 3033 St. Croix Trl S Meter #M19981171296	(87.92)
Bill	07/28/2016	July2016	Centerpoint Energy (8000015314-0)	5855 5297140 3033 St. Croix Trl S Meter #M19981171295	(19.85)
Bill	07/28/2016	July2016	Centerpoint Energy (8000015314-0)	5855 5297143 3033 St. Croix Trl S Meter #M19981171296	(82.40)
Bill	07/31/2016	KN16098	Knightronix	mantles	(200.00)
Bill	08/31/2016	Aug2016	Centerpoint Energy (8000015314-0)	5855 5297140 3033 St. Croix Trl S Meter #M19981171295	(19.85)
Bill	08/31/2016	Aug2016	Centerpoint Energy (8000015314-0)	5855 5297143 3033 St. Croix Trl S Meter #M19981171296	(80.50)
Bill	08/31/2016	Aug/2016	Centerpoint Energy (8000015314-0)	5855 5297140 3033 St. Croix Trl S Meter #M19981171295	(27.19)
Bill	08/31/2016	Aug/2016	Centerpoint Energy (8000015314-0)	5855 5297143 3033 St. Croix Trl S Meter #M19981171296	(79.82)

City of Afton
General Fd Streets, Rehab & Public Works - Detail by Account
 January through August 2016

Type	Date	Num	Source Name	Memo	Amount
Total 5855 · Gas Lamps - Operating Costs					(1,530.77)
5860 · Signs & Signals					
Bill	04/30/2016	008533	City of Maplewood	street ID signage	(1,225.95)
Gen...	06/27/2016	Petty Cash	100 Gen'l Fd:A. Rev:A03 Chrges for Svcs...	Petty Cash Activity 3/10/16 thru 6/27/16	25.00
Bill	06/30/2016	00027938	Advantage Signs & Graphics, Inc.	7' galvanized channel post	(45.90)
Bill	07/28/2016	00027985	Advantage Signs & Graphics, Inc.	7' galvanized channel post	(45.90)
Bill	08/31/2016	008662	City of Maplewood	street ID signage	(1,153.40)
Total 5860 · Signs & Signals					(2,446.15)
5870 · Other Road Maintenance					
Bill	01/27/2016	6000140	Gopher State One Call	Cafton01 FTP Tickets, 2016 Annual Facility Operator Fee	(100.00)
Bill	03/16/2016	6020141	Gopher State One Call	Cafton01 FTP Tickets	(7.25)
Bill	03/31/2016	6030139	Gopher State One Call	Cafton01 FTP Tickets	(2.90)
Bill	04/28/2016	6010141-IN	Gopher State One Call	Cafton01 FTP Tickets	(7.25)
Bill	04/30/2016	6040138	Gopher State One Call	Cafton01 FTP Tickets 8 @ \$1.45	(11.60)
Bill	05/31/2016	6050140	Gopher State One Call	Cafton01 FTP Tickets 11 @ \$1.35	(14.85)
Bill	06/30/2016	23123	ZoneOne Locating	Locate Labor and travel	(219.05)
Bill	06/30/2016	23093	ZoneOne Locating	Locate Labor and travel	(264.05)
Bill	06/30/2016	6060140	Gopher State One Call	Cafton01 FTP Tickets 21 @ \$1.35	(28.35)
Bill	07/28/2016	23236	ZoneOne Locating	Locate Labor and travel	(291.55)
Bill	07/31/2016	6070140	Gopher State One Call	Cafton01 FTP Tickets 45 @ \$1.35	(60.75)
Bill	07/31/2016	23248	ZoneOne Locating	Locate Labor and travel	(138.75)
Bill	08/31/2016	23365	ZoneOne Locating	Locate Labor and travel	(219.05)
Total 5870 · Other Road Maintenance					(1,365.40)
5920 · Repair & Maint Equipment					
Bill	03/31/2016	47577	All Seasons Rental	under 18" chain sharpen	(34.00)
Bill	03/31/2016	13906	Menards - Hudson	27# racing perf gloves	(9.99)
Credit	03/31/2016	12581	Menards - Hudson	4" x 2' PVC pipe	6.47
Bill	05/31/2016	W47280	Frontier Ag & Turf	Lawn mower repair	(595.13)
Bill	06/30/2016	50504	All Seasons Rental	fuel can	(25.77)
Bill	06/30/2016	50669	All Seasons Rental	drivetube/shaft assy, weed whip repair	(44.81)
Bill	06/30/2016	50399	All Seasons Rental	autocut 5-2 weed whip	(35.39)
Bill	07/28/2016	P20472	Frontier Ag & Turf	roller and deck wheel for 4700 tractor	(237.32)
Bill	08/31/2016	52084	All Seasons Rental	chain saw chain 3/8 pitch	(18.99)
Total 5920 · Repair & Maint Equipment					(994.93)
5925 · Fuel & Lubricants					
Bill	01/31/2016	01312016	Freedom Valu Centers, Inc.	tractor fuel	(13.01)
Bill	03/16/2016	022916	Freedom Valu Centers, Inc.	tractor fuel	(8.42)
Bill	04/28/2016	CP-0000024142	Freedom Valu Centers, Inc.	tractor fuel	(33.92)
Bill	04/28/2016	16067	Menards - Hudson	9" 14TPI recip blade	(19.79)
Bill	04/30/2016	April2016	Freedom Valu Centers, Inc.	tractor fuel	(11.12)
Gen...	05/01/2016	PettyCash		Petty Cash Activity 7/14/15 thru 3/9/16	8.42
Bill	05/31/2016	CP-0000025439	Freedom Valu Centers, Inc.	tractor fuel	(64.94)

City of Afton
General Fd Streets, Rehab & Public Works - Detail by Account
 January through August 2016

Type	Date	Num	Source Name	Memo	Amount
Gen...	06/27/2016	Petty Cash	100 Gen'l Fd:A. Rev:A03 Chrges for Svcs...	Petty Cash Activity 3/10/16 thru 6/27/16	(22.02)
Total 5925 · Fuel & Lubricants					(164.80)
5930 · Tools & Minor Equipment					
Bill	04/28/2016	15811	Menards - Hudson	14pc hex shank drill bt, 7 1/4" 40T sawblade, 51pc socket set	(44.84)
Bill	05/31/2016	49689	All Seasons Rental	Stihl curved handle weed trimmer	(159.95)
Bill	05/31/2016	19722	Menards - Hudson	M35 Cobalt drillbit	(7.68)
Bill	05/31/2016	19635	Menards - Hudson	M35 cobalt drillbits	(20.34)
Credit	06/30/2016	19722	Menards - Hudson	Cobalt drill bit	7.68
Bill	07/31/2016	20162	Menards - Hudson	27" ratchet anvil lopper	(29.99)
Total 5930 · Tools & Minor Equipment					(255.12)
TOTAL					(100,907.42)

City of Afton
Customer Receipts and Other Deposits - Sorted by Account

August 2016

Type	Date	Num	Name	Memo	Class	Debit	Credit
100 · 4M Fund/US Bank - General Fund							
Deposit	08/16/2016			Fines&Fees		1,244.86	
Deposit	08/23/2016			Deposit		25,134.37	
Deposit	08/31/2016			Deposit		20,360.91	
Total 100 · 4M Fund/US Bank - General Fund						46,740.14	0.00
2001 · Permit Escrow & Fees							
Payment	08/23/2016	5540	Johnson, Carl & Maria Z16-29 3595 Lemieux	Driveway Escrow Johnson, Carl & Maria Z16-29 3595 Lem...			1,500.00
Payment	08/23/2016	5540	Johnson, Carl & Maria Z16-29 3595 Lemieux	Pymt of Driveway Insp Fee Johnson, Carl & Maria Z16-29 ...			250.00
Payment	08/31/2016	6153	Carlson, Will Z16-31 2434 Stagecoach Trl	Rezoning Escrow Carlson, Will Z16-31 2434 Stagecoach Trl			1,500.00
Payment	08/31/2016	6153	Carlson, Will Z16-31 2434 Stagecoach Trl	Pymt of Rezoning Fee Carlson, Will Z16-31 2434 Stagecoa...			350.00
Total 2001 · Permit Escrow & Fees						0.00	3,600.00
1100 · Taxes and Other Receivables							
1185 · Park Deposits							
Deposit	08/23/2016	4100	Park Deposits	AABA: 6/24 & 6/25 2017 Strawberry Festival			200.00
Deposit	08/23/2016	4100	Park Deposits	AABA: 9/23 & 9/24 2017 Art in Park			200.00
Total 1185 · Park Deposits						0.00	400.00
Total 1100 · Taxes and Other Receivables						0.00	400.00
4205 · Assessment Search Fees							
Deposit	08/31/2016	96797	100 Gen'l Fd.A. Rev:A03 Chrges for Svcs:4205 Asses...	lawson: 28.028.20.24.0001 Troy & Linda Sheridan			10.00
Total 4205 · Assessment Search Fees						0.00	10.00
4300 · County Fines & Fees							
Deposit	08/16/2016	8200572...	100 Gen'l Fd.A. Rev:A04 Fines & Forfeitures:4300 Ct...	MN Dept of Finance: Wash Cty Fines and Fees Jul16			1,244.86
Total 4300 · County Fines & Fees						0.00	1,244.86
4400 · Afton Bldg Inspection Fees							
Sales Re...	08/23/2016	B16-104	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Building Permit Fees	Afton Bldg Insp Fees:DeMaster, Bob 15376 Aft B...		825.00
Sales Re...	08/23/2016	B16-103	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Building Permit Fees	Afton Bldg Insp Fees:Dorgan, Steve & Krista 472...		54.00
Sales Re...	08/23/2016	B16-102	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Building Permit Fees	Afton Bldg Insp Fees:Kretman, Wade 13853 50th ...		54.00
Sales Re...	08/23/2016	B16-100	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Building Permit Fees	Afton Bldg Insp Fees:Holz, Brad 4206 River Rd S		109.00
Sales Re...	08/23/2016	B16-101	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Building Permit Fees	Afton Bldg Insp Fees:Amans Custom Homes 146...		109.00
Sales Re...	08/23/2016	B16-99	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Building Permit Fees	Afton Bldg Insp Fees:Sundstrom, Paul 15885 Upp...		109.00
Sales Re...	08/23/2016	B16-98	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Building Permit Fees	Afton Bldg Insp Fees:Vannelli, Dan 14049 44th St...		132.00
Sales Re...	08/23/2016	B16-97	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Building Permit Fees	Afton Bldg Insp Fees:Meiser, Roger 1520 Stageco...		1,584.00
Sales Re...	08/23/2016	B16-91	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Building Permit Fees	Afton Bldg Insp Fees:Del Rio, Angelo 12912 3rd ...		54.00
Sales Re...	08/23/2016	B16-94	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Building Permit Fees	Afton Bldg Insp Fees:Cennato, Steve 2949 Nybec...		109.00
Sales Re...	08/23/2016	B16-96	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Building Permit Fees	Afton Bldg Insp Fees:ModCusker, James 13876 ...		109.00
Sales Re...	08/23/2016	B16-93	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Building Permit Fees	Afton Bldg Insp Fees:Johnson, Carl & Maria 1463...		8,662.50
Sales Re...	08/23/2016	B16-95	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Building Permit Fees	Afton Bldg Insp Fees:Costello, Mike 13605 30th ...		313.50
Sales Re...	08/23/2016	B16-92	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Building Permit Fees	Afton Bldg Insp Fees:Wolner, Joann 13446 50th S...		181.50
Sales Re...	08/23/2016	B16-90	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Building Permit Fees	Afton Bldg Insp Fees:Roettger, Joshua 3170 Neal ...		109.00
Sales Re...	08/23/2016	B16-89	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Building Permit Fees	Afton Bldg Insp Fees:Clayton, George 12390 8th ...		109.00
Sales Re...	08/31/2016	B16-114	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Building Permit Fees	Afton Bldg Insp Fees:Stedman, Mark & Bode, Na...		109.00
Sales Re...	08/31/2016	B16-113	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Building Permit Fees	Afton Bldg Insp Fees:Galatowitsch, Gene 12613 5...		109.00
Sales Re...	08/31/2016	B16-112	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Building Permit Fees	Afton Bldg Insp Fees:Albery Planten Vanafon 76...		109.00
Sales Re...	08/31/2016	B16-110	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Building Permit Fees	Afton Bldg Insp Fees:Wittl, Steve 4837 Pheasant ...		330.00
Sales Re...	08/31/2016	B16-106	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Building Permit Fees	Afton Bldg Insp Fees:Rivas, Robert 2573 Stageco...		109.00
Sales Re...	08/31/2016	B16-107	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Building Permit Fees	Afton Bldg Insp Fees:Kaul, Wm 15621 42nd St		54.00

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City of Afton
Customer Receipts and Other Deposits - Sorted by Account

August 2016

Type	Date	Num	Name	Memo	Class	Debit	Credit
Sales Re...	08/31/2016	B16-105	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Building Permit Fees	Afton Bldg Insp Fees:Cerrato, Steve & Maureen 2...		109.00
Sales Re...	08/31/2016	B16-108	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Building Permit Fees	Afton Bldg Insp Fees:Benson, Ben 2660 Meadow ...		363.00
Sales Re...	08/31/2016	B16-109	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Building Permit Fees	Afton Bldg Insp Fees:Koktavy, James 16508 Swe...		115.50
Sales Re...	08/31/2016	B16-111	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Building Permit Fees	Afton Bldg Insp Fees:Casey, Ben 2660 Meadow ...		297.00
Total 4400 · Afton Bldg Inspection Fees						0.00	14,328.00
4415 · Other License Fees							
Deposit	08/31/2016	1092	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4415 Ot...	Wonderlust Vintage Market: solicitor license 9/2/16 to 12/3...			50.00
Total 4415 · Other License Fees						0.00	50.00
4420 · Afton Surcharges							
Sales Re...	08/23/2016	B16-104	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Surcharges	Afton Bldg Insp Fees:DeMaster, Bob 15376 Aft B...		25.00
Sales Re...	08/23/2016	B16-103	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Surcharges	Afton Bldg Insp Fees:Dorgan, Steve & Krista 472...		1.00
Sales Re...	08/23/2016	B16-102	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Surcharges	Afton Bldg Insp Fees:Kretman, Wade 13853 50th ...		1.00
Sales Re...	08/23/2016	B16-100	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Surcharges	Afton Bldg Insp Fees:Holz, Brad 4206 River Rd S		1.00
Sales Re...	08/23/2016	B16-101	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Surcharges	Afton Bldg Insp Fees:Amans Custom Homes 146...		1.00
Sales Re...	08/23/2016	B16-99	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Surcharges	Afton Bldg Insp Fees:Sundstrom, Paul 15885 Upp...		1.00
Sales Re...	08/23/2016	B16-98	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Surcharges	Afton Bldg Insp Fees:Vannelli, Dan 14049 44th St...		5.00
Sales Re...	08/23/2016	B16-97	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Surcharges	Afton Bldg Insp Fees:Meiser, Roger 1520 Stageco...		48.00
Sales Re...	08/23/2016	B16-91	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Surcharges	Afton Bldg Insp Fees:Del Rio, Angelo 12912 3rd ...		1.00
Sales Re...	08/23/2016	B16-94	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Surcharges	Afton Bldg Insp Fees:Cennato, Steve 2949 Nybec...		1.00
Sales Re...	08/23/2016	B16-96	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Surcharges	Afton Bldg Insp Fees:McdCusker, James 13876 ...		1.00
Sales Re...	08/23/2016	B16-93	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Surcharges	Afton Bldg Insp Fees:Johnson, Carl & Maria 1463...		262.50
Sales Re...	08/23/2016	B16-95	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Surcharges	Afton Bldg Insp Fees:Costello, Mike 13605 30th ...		9.50
Sales Re...	08/23/2016	B16-92	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Surcharges	Afton Bldg Insp Fees:Wolner, Joann 13446 50th S...		5.50
Sales Re...	08/23/2016	B16-90	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Surcharges	Afton Bldg Insp Fees:Roettger, Joshua 3170 Neal ...		1.00
Sales Re...	08/23/2016	B16-89	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Surcharges	Afton Bldg Insp Fees:Clayton, George 12390 8th ...		1.00
Sales Re...	08/31/2016	B16-114	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Surcharges	Afton Bldg Insp Fees:Stedman, Mark & Bode, Na...		1.00
Sales Re...	08/31/2016	B16-113	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Surcharges	Afton Bldg Insp Fees:Galatowitsch, Gene 12613 5...		1.00
Sales Re...	08/31/2016	B16-112	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Surcharges	Afton Bldg Insp Fees:Albery Planten Vanafton 76...		1.00
Sales Re...	08/31/2016	B16-110	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Surcharges	Afton Bldg Insp Fees:Wittl, Steve 4837 Pheasant ...		10.00
Sales Re...	08/31/2016	B16-106	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Surcharges	Afton Bldg Insp Fees:Rivas, Robert 2573 Stageco...		1.00
Sales Re...	08/31/2016	B16-107	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Surcharges	Afton Bldg Insp Fees:Kaul, Wm 15621 42nd St		1.00
Sales Re...	08/31/2016	B16-105	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Surcharges	Afton Bldg Insp Fees:Cerrato, Steve & Maureen 2...		1.00
Sales Re...	08/31/2016	B16-108	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Surcharges	Afton Bldg Insp Fees:Benson, Ben 2660 Meadow ...		11.00
Sales Re...	08/31/2016	B16-109	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Surcharges	Afton Bldg Insp Fees:Koktavy, James 16508 Swe...		5.00
Sales Re...	08/31/2016	B16-111	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Af...	Afton Surcharges	Afton Bldg Insp Fees:Casey, Ben 2660 Meadow ...		9.00
Total 4420 · Afton Surcharges						0.00	406.50
4425 · Park & Open Space Dedicatn Fees							
Deposit	08/31/2016	1029	200 Park Reserve Fd.A. Rev:4425 Park Dedication Fees	Chaim Teitelbaum: Park Dedication Fee Minor Subdivision			16,360.00
Total 4425 · Park & Open Space Dedicatn Fees						0.00	16,360.00
4435 · Street Openng & Utility Permits							
Deposit	08/23/2016	8620658	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4435 St...	Century Link: 3 Permits re installation in City ROW			750.00
Total 4435 · Street Openng & Utility Permits						0.00	750.00
4437 · Utility Franchise Fees							
Deposit	08/23/2016	971380	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4437 Ut...	Xcel Energy: 2nd Qtr Utility Franchise Fee			8,795.37
Total 4437 · Utility Franchise Fees						0.00	8,795.37

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City of Afton
Customer Receipts and Other Deposits - Sorted by Account
 August 2016

Type	Date	Num	Name	Memo	Class	Debit	Credit
4440 · Zoning Fees & Permits							
Deposit	08/23/2016	5328	100 Gen'l Fd:A. Rev:A05 Lic, Fees & Permits:4440 Z...	Sally Deherty: Z16-30 Admin Permit 13575 40th St S			150.00
Total 4440 · Zoning Fees & Permits						0.00	150.00
4615 · Misc Revenue							
Deposit	08/31/2016	38058	100 Gen'l Fd:A. Rev:A07 Miscellaneous Revenue:461...	Windmill Marina: sign			55.00
Total 4615 · Misc Revenue						0.00	55.00
4625 · 201 Project Revenue							
Deposit	08/31/2016	7072	400 201 Project Fund:A. Rev:4625 201 Project Revenue	Louis and Linda Tilton			108.90
Deposit	08/31/2016	11885	400 201 Project Fund:A. Rev:4625 201 Project Revenue	Hubert and Helen Schneider			181.51
Total 4625 · 201 Project Revenue						0.00	290.41
4815 · Cable Commission Distributions							
Deposit	08/23/2016	1838	100 Gen'l Fd:A. Rev:A09 Other Grants:4815 Cable Co...	Cable Comm: 2nd Qtr 2016			300.00
Total 4815 · Cable Commission Distributions						0.00	300.00
TOTAL						46,740.14	46,740.14

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City of Afton
Claims Paid
 August 2016

Type	Date	Num	Name	Memo	Account	Original Amo...
Paycheck	08/15/2016	21271	Nelson, Randall P		100 · 4M Fund/US Bank - ...	(187.10)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Ma...		5002 · Mayor & Council Wa...	200.00
					2303 · PERA Payable - Cou...	(10.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Ma...		5053 · PERA Contribution - ...	10.00
					2303 · PERA Payable - Cou...	(10.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Ma...		5052 · Medicare Tax - Empl...	2.90
					2213 · Medicare Payable - E...	(2.90)
					2212 · Medicare W/H - Emp...	(2.90)
TOTAL						187.10
Paycheck	08/15/2016	21272	Palmquist, William B		100 · 4M Fund/US Bank - ...	(187.10)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Ma...		5002 · Mayor & Council Wa...	200.00
					2303 · PERA Payable - Cou...	(10.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Ma...		5053 · PERA Contribution - ...	10.00
					2303 · PERA Payable - Cou...	(10.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Ma...		5052 · Medicare Tax - Empl...	2.90
					2213 · Medicare Payable - E...	(2.90)
					2212 · Medicare W/H - Emp...	(2.90)
TOTAL						187.10
Paycheck	08/15/2016	21273	Richter, Joseph J		100 · 4M Fund/US Bank - ...	(187.10)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Ma...		5002 · Mayor & Council Wa...	200.00
					2303 · PERA Payable - Cou...	(10.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Ma...		5053 · PERA Contribution - ...	10.00
					2303 · PERA Payable - Cou...	(10.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Ma...		5052 · Medicare Tax - Empl...	2.90
					2213 · Medicare Payable - E...	(2.90)
					2212 · Medicare W/H - Emp...	(2.90)
TOTAL						187.10
Bill Pmt ---	08/15/2016	21274	Centerpoint Energy (6217601-1)	Meter # M19702480474 Account No. 6217601-1	100 · 4M Fund/US Bank - ...	(30.25)
Bill	07/31/2016	July2016	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6045 City Garage Expense	1675 Stagecoach Trl S: City Garage	6045 · City Garage Expense	30.25
TOTAL						30.25

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City of Afton
Claims Paid
 August 2016

Type	Date	Num	Name	Memo	Account	Original Amo...
Bill Pmt -...	08/15/2016	21275	Croix Crystal Water Treatment	cooler lease and water	100 · 4M Fund/US Bank - ...	(33.25)
Bill	07/31/2016	49992	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6030 Misc Expense	rent on hot & cold cooler, bottled water	6030 · Misc Exp - Bldg & L...	33.25
TOTAL						33.25
Bill Pmt -...	08/15/2016	21276	Gopher State One Call	Acct No. MN00128	100 · 4M Fund/US Bank - ...	(60.75)
Bill	07/31/2016	6070140	100 Gen'l Fd:B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:58...	Cafton01 FTP Tickets 45 @ \$1.35	5870 · Other Road Maintena...	60.75
TOTAL						60.75
Bill Pmt -...	08/15/2016	21277	Innovative Office Solutions LLC	customer # V105001	100 · 4M Fund/US Bank - ...	(64.86)
Bill	07/31/2016	IN1266...	100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5540 Office Suppli...	sorter, binder clip, paper	5540 · Office Supplies	64.86
TOTAL						64.86
Bill Pmt -...	08/15/2016	21278	J.P. Cooke Co.	Cust Acct #: City of Afton	100 · 4M Fund/US Bank - ...	(56.50)
Bill	07/31/2016	405469	100 Gen'l Fd:B. Exp:B02 Public Safety & Health:B2.1 Public Safe...	200 A-95 plain alum lic tags, dog tags	5605 · Animal Control	56.50
TOTAL						56.50
Bill Pmt -...	08/15/2016	21279	Knightronix		100 · 4M Fund/US Bank - ...	(200.00)
Bill	07/31/2016	KN16098	100 Gen'l Fd:B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:58...	mantles	5855 · Gas Lamps - Operatin...	200.00
TOTAL						200.00
Bill Pmt -...	08/15/2016	21280	Menards - Hudson		100 · 4M Fund/US Bank - ...	(47.79)
Bill	07/31/2016	20162	100 Gen'l Fd:B. Exp:B03 Strts, Rehab & Pub Wks:B3.3 Oth Pub ...	27" ratchet anvil lopper	5930 · Tools & Minor Equip...	29.99
Bill	07/31/2016	23917	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6035 Routine Cleaning	rust stain remover, odor genie, clear safety glasses	6035 · Routine Cleaning	13.88
Bill	07/31/2016	23750	100 Gen'l Fd:B. Exp:B05 Parks & Recreation:6140 Misc Expense	odor genie	6140 · Misc Exp - Parks	3.92
TOTAL						47.79

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**City of Afton
Claims Paid
August 2016**

Type	Date	Num	Name	Memo	Account	Original Amo...
Bill Pmt -...	08/15/2016	21281	US Bank Equipment Finance	Acct# 1473396 Contract # 500-0466085-000	100 · 4M Fund/US Bank - ...	(230.00)
Bill	07/31/2016	310083...	100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5516 Copier Lease	Ricoh C4503 copier lease S/N EI75MC60291	5516 · Copier Lease	230.00
TOTAL						230.00
Bill Pmt -...	08/15/2016	21282	Xcel Energy (51-0895345-1)	Acct: 51-0895345-1 Meter# 000071246886	100 · 4M Fund/US Bank - ...	(21.01)
Bill	07/31/2016	510714...	800 City InfraStructure Imp Fd:B. Exp:8891 Dwtown Prop Purch...	Eastwood - Septic Property 2318 St Croix Trl S Meter...	8891 · DNR Flood Imp - Pro...	21.01
TOTAL						21.01
Bill Pmt -...	08/15/2016	21283	Xcel Energy (51-7576371-4)	Acct#51-7576371-4 Meter #19818068	100 · 4M Fund/US Bank - ...	(20.50)
Bill	07/31/2016	510805...	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6045 City Garage Expense	City Garage 1675 Stagecoach Trl S: Acct#51-7576371...	6045 · City Garage Expense	20.50
TOTAL						20.50
Bill Pmt -...	08/15/2016	21284	ZoneOne Locating		100 · 4M Fund/US Bank - ...	(138.75)
Bill	07/31/2016	23248	100 Gen'l Fd:B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:58...	Locate Labor and travel	5870 · Other Road Maintena...	138.75
TOTAL						138.75
Bill Pmt -...	08/16/2016	21285	Dumpster Box Services	Acct No. IRO02071	100 · 4M Fund/US Bank - ...	(400.00)
Bill	07/31/2016	10341680	100 Gen'l Fd:B. Exp:B02 Public Safety & Health:B2.2 Public Heal...	metal & tire, recycling day 7/22/16	5705 · Recycling - Afton	400.00
TOTAL						400.00
Bill Pmt -...	08/16/2016	21286	Holstad & Knaak, PLC	Legal Services	100 · 4M Fund/US Bank - ...	(4,000.00)
Bill	07/31/2016	07262016	100 Gen'l Fd:B. Exp:B01 G & A:B1.2 Prof Serv:5321 General - Le...	Civil / General	5321 · Legal Fees - General	2,079.00
			100 Gen'l Fd:B. Exp:B01 G & A:B1.2 Prof Serv:5320 Prosecution ...	Prosecution	5320 · Legal Fees - Prosecuti...	1,551.00
			800 City InfraStructure Imp Fd:B. Exp:8894 Septic Permits, Fees, ...	Condemnation	8894 · Septic Permits, Fees, ...	370.00
TOTAL						4,000.00

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City of Afton
Claims Paid
 August 2016

Type	Date	Num	Name	Memo	Account	Original Amo...
Bill Pmt -...	08/16/2016	21287	Niedzwiecki, Thomas H.	Accounting Services	100 · 4M Fund/US Bank - ...	(1,271.00)
Bill	07/31/2016	AcctJul...	100 Gen'l Fd:B. Exp:B01 G & A:B1.2 Prof Serv:5304 Accounting ...	Monthly charge for Accounting Services per Contract	5304 · Accounting Fees	1,107.00
			100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5540 Office Suppli...	Monthly charge for QB Pro software including Payroll...	5540 · Office Supplies	26.00
			100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5540 Office Suppli...	Mailing envelopes, copies of invoices, misc postage	5540 · Office Supplies	38.00
			100 Gen'l Fd:B. Exp:B01 G & A:B1.2 Prof Serv:5304 Accounting ...	Attendance at CC Meeting	5304 · Accounting Fees	100.00
TOTAL						1,271.00
Bill Pmt -...	08/16/2016	21288	Stensland Inspection Services	Building Inspection Services	100 · 4M Fund/US Bank - ...	(4,644.00)
Bill	07/31/2016	July2016	100 Gen'l Fd:B. Exp:B01 G & A:B1.2 Prof Serv:5350 Bldg Insp F...	Building Permits, B16-74 - B16-88, Z16-28	5350 · Building Insp Fees - ...	4,644.00
TOTAL						4,644.00
Bill Pmt -...	08/16/2016	21289	Thomas R. Zahn & Associates LLC	Afton Local Designations	100 · 4M Fund/US Bank - ...	(11,975.00)
Bill	07/31/2016	2015-04.3	550 Special Activities Fund:B. Cable Comm/July 4th/Comm Gard...	Afton Local Designations: completion of all designatio...	4817 · MN Hist Pres Design ...	11,975.00
TOTAL						11,975.00
Bill Pmt -...	08/16/2016	21290	Tri-County Services (Streets, Other)		100 · 4M Fund/US Bank - ...	(10,430.00)
Bill	07/31/2016	13	100 Gen'l Fd:B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:58...	tar trailer and truck, labor, Afton Hills tar project	5835 · Surf Maint/Bit Patch/...	6,700.00
Bill	07/31/2016	14	100 Gen'l Fd:B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:58...	sheriff call outs 6-9, 7-17, removal of downed trees	5845 · Brush/Tree/Sod/Seed	3,050.00
Bill	07/31/2016	24	100 Gen'l Fd:B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:58...	Afton Hills, fill material on side of road	5835 · Surf Maint/Bit Patch/...	680.00
TOTAL						10,430.00
Bill Pmt -...	08/16/2016	21291	Wash Cty (Sheriff)	Acct No. 20490	100 · 4M Fund/US Bank - ...	(84,323.76)
Bill	07/31/2016	90859	100 Gen'l Fd:B. Exp:B02 Public Safety & Health:B2.1 Public Safe...	Jan - Jun 2016 Police services	5635 · Police Services	84,323.76
TOTAL						84,323.76
Bill Pmt -...	08/16/2016	21292	Wenck Associates Inc.	project 2656	100 · 4M Fund/US Bank - ...	(97.05)
Bill	07/31/2016	11604962	800 City InfraStructure Imp Fd:B. Exp:8896 Sanitary Sewer Imp	Afton LSTS - Bidding, Construction & Post Construct...	8896 · Sanitary Sewer Impro...	97.05
TOTAL						97.05

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**City of Afton
Claims Paid
August 2016**

Type	Date	Num	Name	Memo	Account	Original Amo...
Bill Pmt -...	08/16/2016	21293	Environmental Law Group		100 · 4M Fund/US Bank - ...	(5,516.00)
Bill	07/31/2016	15795	800 City InfraStructure Imp Fd:B. Exp:8894 Septic Permits, Fees, ...	Environmental review and permitting issues	8894 · Septic Permits, Fees, ...	5,516.00
TOTAL						5,516.00
Bill Pmt -...	08/16/2016	21294	LMCIT (Worker's Comp)	Covenant no. 0200074830	100 · 4M Fund/US Bank - ...	(896.00)
Bill	07/31/2016	32668	100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5024 Wo...	Annual Pay Plan, 5/15/16 to 5/15/17	5024 · Workers Comp Insura...	896.00
TOTAL						896.00
Bill Pmt -...	08/16/2016	21295	Northwest Assoc (City Projects)	Technical Assistance - City Projects	100 · 4M Fund/US Bank - ...	(80.50)
Bill	07/31/2016	22437	100 Gen'l Fd:B. Exp:B01 G & A:B1.2 Prof Serv:5330 Planning Fees	General	5330 · Planning Fees	80.50
TOTAL						80.50
Bill Pmt -...	08/16/2016	21296	Northwest Assoc (Private Projects)	Technical Assistance - Private Projects	100 · 4M Fund/US Bank - ...	(959.00)
Bill	07/31/2016	22438	100 Gen'l Fd:B. Exp:B01 G & A:B1.2 Prof Serv:5330 Planning Fees	Nelson Estates	5330 · Planning Fees	959.00
TOTAL						959.00
Bill Pmt -...	08/15/2016	21297	Nelson, Mark	Video: \$20 1st Hr, then \$12/hr (per meeting)	100 · 4M Fund/US Bank - ...	(476.00)
Bill	07/31/2016	July2016	100 Gen'l Fd:B. Exp:B01 G & A:B1.2 Prof Serv:5120 Contract - V...	Camcording Council, & other meetings: 1/04/2016 to ...	5120 · Contract - Video Mee...	476.00
TOTAL						476.00
Bill Pmt -...	08/15/2016	21298	Pioneer Press	Acct # 415245	100 · 4M Fund/US Bank - ...	(263.68)
Bill	07/31/2016	071641...	100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5555 Publishing &...	legals 7/14, 7/21	5555 · Publishing & Printing	263.68
TOTAL						263.68

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**City of Afton
Claims Paid
August 2016**

Type	Date	Num	Name	Memo	Account	Original Amo...
Bill Pmt -...	08/15/2016	21299	PressEnter	Acct # 33299 Customer # 33881	100 · 4M Fund/US Bank - ...	(807.50)
Bill	07/31/2016	July2016	100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5510 Computer Se...	F-secure business suite renewal	5510 · Computer Service/So...	510.00
			100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5510 Computer Se...	Proofpoint essentials	5510 · Computer Service/So...	27.50
			100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5510 Computer Se...	Contracted services Sep2016	5510 · Computer Service/So...	270.00
TOTAL						807.50
Bill Pmt -...	08/15/2016	21300	River Valley Printing	Cust No. 1483	100 · 4M Fund/US Bank - ...	(290.00)
Bill	07/31/2016	5491	100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5560 Newsletter	1250 4-pg newsletters	5560 · Newsletter Expenses	290.00
TOTAL						290.00
Bill Pmt -...	08/15/2016	21301	Xcel Energy (51-4272629-8)	3175 St. Croix Trail S Meter #0098360010	100 · 4M Fund/US Bank - ...	(13.62)
Bill	07/31/2016	510927...	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6020 Electricity - Xcel En...	3175 St. Croix Trail S Meter #0098360010	6020 · Electricity	13.62
TOTAL						13.62
Bill Pmt -...	08/15/2016	21302	Xcel Energy (51-5641441-6)	Acct #51-5641441-6 Meter #90708534	100 · 4M Fund/US Bank - ...	(13.75)
Bill	07/31/2016	510955...	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6020 Electricity - Xcel En...	3415 St. Croix Trail S Meter #90708534	6020 · Electricity	13.75
TOTAL						13.75
Bill Pmt -...	08/15/2016	21303	Xcel Energy (51-5700429-6)	Acct #51-5700429-6 Meter #0077765464	100 · 4M Fund/US Bank - ...	(115.31)
Bill	07/31/2016	510968...	100 Gen'l Fd:B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:58...	3033 St. Croix Trail S Meter #0077765464	5850 · Street Lighting	115.31
TOTAL						115.31
Bill Pmt -...	08/15/2016	21304	Xcel Energy (51-6223921-2)	Acct No. 51-6223921-2 Street Lighting	100 · 4M Fund/US Bank - ...	(204.01)
Bill	07/31/2016	511312...	100 Gen'l Fd:B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:58...	Street Lighting Service	5850 · Street Lighting	204.01
TOTAL						204.01

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**City of Afton
Claims Paid
August 2016**

Type	Date	Num	Name	Memo	Account	Original Amo...
Bill Pmt -...	08/15/2016	21305	Xcel Energy (51-6257802-9)	3420 St. Croix Trl S Meter #0096987678	100 · 4M Fund/US Bank - ...	(31.06)
Bill	07/31/2016	510954...	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6020 Electricity - Xcel En...	Town Square Park 3420 St. Croix Trl S Meter #00969...	6020 · Electricity	31.06
TOTAL						31.06
Bill Pmt -...	08/15/2016	21306	BrightStar Care	Refund Park Dep: July 24 BrightStar employee pic...	100 · 4M Fund/US Bank - ...	(100.00)
Bill	07/31/2016	July2016		Refund Park Dep: July 24 BrightStar employee picnic	1185 · Park Deposits	100.00
TOTAL						100.00
Bill Pmt -...	08/15/2016	21307	Julie Zeidel	Refund Park Dep: Gazebo Aug 6, Emergence Brass...	100 · 4M Fund/US Bank - ...	(100.00)
Bill	07/31/2016	July2016		Refund Park Dep: Gazebo Aug 6, Emergence Brass B...	1185 · Park Deposits	100.00
TOTAL						100.00
Bill Pmt -...	08/15/2016	21308	Shelly Holz	Refund Park Dep: picnic shelter, July 24	100 · 4M Fund/US Bank - ...	(100.00)
Bill	07/31/2016	July2016		Refund Park Dep: picnic shelter, July 24	1185 · Park Deposits	100.00
TOTAL						100.00
Paycheck	08/15/2016	21309	Johnson, Kenneth L		100 · 4M Fund/US Bank - ...	(416.99)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Ge...		5020 · Maintenance Person	566.10
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Ge...		2302 · PERA Payable - Staff	(36.80)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Ge...		5053 · PERA Contribution - ...	42.46
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Ge...		2302 · PERA Payable - Staff	(42.46)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Ge...		2210 · Federal Withholding	(46.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Ge...		5051 · Social Security Tax - ...	35.10
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Ge...		2205 · Soc Sec Payable - E...	(35.10)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Ge...		2204 · Social Security W/H -...	(35.10)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Ge...		5052 · Medicare Tax - Empl...	8.21
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Ge...		2213 · Medicare Payable - E...	(8.21)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Ge...		2212 · Medicare W/H - Emp...	(8.21)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Ge...		2208 · MN State Withholding	(23.00)
TOTAL						416.99

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Claims Paid
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Type	Date	Num	Name	Memo	Account	Original Amo...
Paycheck	08/15/2016	21310	Meade, Debra J		100 · 4M Fund/US Bank - ...	(603.94)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5007 Int...		5007 · Intern/Office Assistan...	767.55
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5007 Int...		2302 · PERA Payable - Staff	(49.89)
					5053 · PERA Contribution - ...	57.57
					2302 · PERA Payable - Staff	(57.57)
					2210 · Federal Withholding	(36.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5007 Int...		5051 · Social Security Tax - ...	47.59
					2205 · Soc Sec Payable - E...	(47.59)
					2204 · Social Security W/H -...	(47.59)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5007 Int...		5052 · Medicare Tax - Empl...	11.13
					2213 · Medicare Payable - E...	(11.13)
					2212 · Medicare W/H - Emp...	(11.13)
					2208 · MN State Withholding	(19.00)
TOTAL						603.94
Paycheck	08/15/2016	21311	Neitzel, Donald R		100 · 4M Fund/US Bank - ...	(220.40)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Ge...		5020 · Maintenance Person	233.10
			400 201 Project Fund:B. Exp:5915 201 Project Maintenance		5915 · 201 Project Maintena...	5.55
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Ge...		5051 · Social Security Tax - ...	14.45
			400 201 Project Fund:B. Exp:5915 201 Project Maintenance		5051 · Social Security Tax - ...	0.34
					2205 · Soc Sec Payable - E...	(14.79)
					2204 · Social Security W/H -...	(14.79)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Ge...		5052 · Medicare Tax - Empl...	3.38
			400 201 Project Fund:B. Exp:5915 201 Project Maintenance		5052 · Medicare Tax - Empl...	0.08
					2213 · Medicare Payable - E...	(3.46)
					2212 · Medicare W/H - Emp...	(3.46)
TOTAL						220.40
Paycheck	08/15/2016	21312	Moore, Ronald J		100 · 4M Fund/US Bank - ...	(3,302.13)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Ad...		5004 · Administrator Salary	3,839.58
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Ad...		5053 · PERA Contribution - ...	287.97
					2302 · PERA Payable - Staff	(287.97)
					2302 · PERA Payable - Staff	(249.57)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Ad...		5037 · Flexible Benefits	1,100.00
					2210 · Federal Withholding	(731.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Ad...		5051 · Social Security Tax - ...	306.26
					2205 · Soc Sec Payable - E...	(306.26)
					2204 · Social Security W/H -...	(306.26)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Ad...		5052 · Medicare Tax - Empl...	71.62
					2213 · Medicare Payable - E...	(71.62)

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Type	Date	Num	Name	Memo	Account	Original Amo...
					2212 · Medicare W/H - Emp...	(71.62)
					2208 · MN State Withholding	(279.00)
TOTAL						3,302.13
Paycheck	08/31/2016	21313	Johnson, Kenneth L		100 · 4M Fund/US Bank - ...	(477.61)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Ge...		5020 · Maintenance Person	616.05
			550 Special Activities Fund:N. Elections:6347 Election Expense		6347 · Elections Expense	41.63
					2302 · PERA Payable - Staff	(42.75)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Ge...		5053 · PERA Contribution - ...	46.21
			550 Special Activities Fund:N. Elections:6347 Election Expense		5053 · PERA Contribution - ...	3.12
					2302 · PERA Payable - Staff	(49.33)
					2210 · Federal Withholding	(59.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Ge...		5051 · Social Security Tax - ...	38.20
			550 Special Activities Fund:N. Elections:6347 Election Expense		5051 · Social Security Tax - ...	2.58
					2205 · Soc Sec Payable - E...	(40.78)
					2204 · Social Security W/H - ...	(40.78)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Ge...		5052 · Medicare Tax - Empl...	8.94
			550 Special Activities Fund:N. Elections:6347 Election Expense		5052 · Medicare Tax - Empl...	0.60
					2213 · Medicare Payable - E...	(9.54)
					2212 · Medicare W/H - Emp...	(9.54)
					2208 · MN State Withholding	(28.00)
TOTAL						477.61
Paycheck	08/31/2016	21314	Meade, Debra J		100 · 4M Fund/US Bank - ...	(667.57)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5007 Int...		5007 · Intern/Office Assistan...	856.80
					2302 · PERA Payable - Staff	(55.69)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5007 Int...		5053 · PERA Contribution - ...	64.26
					2302 · PERA Payable - Staff	(64.26)
					2210 · Federal Withholding	(44.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5007 Int...		5051 · Social Security Tax - ...	53.12
					2205 · Soc Sec Payable - E...	(53.12)
					2204 · Social Security W/H - ...	(53.12)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5007 Int...		5052 · Medicare Tax - Empl...	12.42
					2213 · Medicare Payable - E...	(12.42)
					2212 · Medicare W/H - Emp...	(12.42)
					2208 · MN State Withholding	(24.00)
TOTAL						667.57

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Type	Date	Num	Name	Memo	Account	Original Amo...
Paycheck	08/31/2016	21315	Neitzel, Donald R		100 · 4M Fund/US Bank - ...	(220.39)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Ge...		5020 · Maintenance Person	238.65
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Ge...		5051 · Social Security Tax - ...	14.80
					2205 · Soc Sec Payable - E...	(14.80)
					2204 · Social Security W/H -...	(14.80)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Ge...		5052 · Medicare Tax - Empl...	3.46
					2213 · Medicare Payable - E...	(3.46)
					2212 · Medicare W/H - Emp...	(3.46)
TOTAL						220.39
Liability ...	08/31/2016	21316	Madison National Life	103815000000000	100 · 4M Fund/US Bank - ...	(165.51)
				103815000000000	2325 · Madison Life ST & L...	108.81
				103815000000000	2325 · Madison Life ST & L...	56.70
TOTAL						165.51
Bill Pmt -...	08/31/2016	21317	Centerpoint Energy (8000015314-0)	Acct No. 8000015314-0	100 · 4M Fund/US Bank - ...	(140.05)
Bill	08/31/2016	Aug2016	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6010 Gas Heat	6010 5280051 3175 St. Croix Trl S Meter #M198105...	6010 · Gas Heat	19.85
			100 Gen'l Fd:B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:58...	5855 5297140 3033 St. Croix Trl S Meter #M199811...	5855 · Gas Lamps - Operatin...	19.85
			100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6010 Gas Heat	6010 5279993 3033 St. Croix Trl S Meter #M199811...	6010 · Gas Heat	19.85
			100 Gen'l Fd:B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:58...	5855 5297143 3033 St. Croix Trl S Meter #M199811...	5855 · Gas Lamps - Operatin...	80.50
TOTAL						140.05
Bill Pmt -...	08/31/2016	21318	City of Maplewood	Acct No. 1834	100 · 4M Fund/US Bank - ...	(1,153.40)
Bill	08/31/2016	008662	100 Gen'l Fd:B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:58...	street ID signage	5860 · Signs & Signals	1,153.40
TOTAL						1,153.40
Bill Pmt -...	08/31/2016	21319	City of Saint Paul	Customer No. 2092	100 · 4M Fund/US Bank - ...	(221.08)
Bill	08/31/2016	00017212	100 Gen'l Fd:B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:58...	asphalt mix	5835 · Surf Maint/Bit Patch/...	221.08
TOTAL						221.08

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Type	Date	Num	Name	Memo	Account	Original Amo...
Bill Pmt -...	08/31/2016	21320	Comcast (8772 10 572 0001508)	Account # 8772 10 572 0001508	100 · 4M Fund/US Bank - ...	(199.55)
Bill	08/31/2016	Aug2016	100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5510 Computer Se...	Comcast Business Internet	5510 · Computer Service/So...	34.90
			100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5565 Telephone	Comcast Business Voice	5565 · Telephone	164.65
TOTAL						199.55
Bill Pmt -...	08/31/2016	21321	Hudson Bagel & Coffee Co.		100 · 4M Fund/US Bank - ...	(136.80)
Bill	08/31/2016	Aug16 ...	550 Special Activities Fund:N. Elections:6347 Election Expense	20 box lunches: 2016 Primary Election	6347 · Elections Expense	136.80
TOTAL						136.80
Bill Pmt -...	08/31/2016	21322	Innovative Office Solutions LLC	customer # V105001	100 · 4M Fund/US Bank - ...	(135.68)
Bill	08/31/2016	1282329	100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5540 Office Suppli...	tissue, cups, sharpener, labels	5540 · Office Supplies	135.68
TOTAL						135.68
Bill Pmt -...	08/31/2016	21323	Laurie Arco (Vendor)		100 · 4M Fund/US Bank - ...	(40.00)
Bill	08/31/2016	PRIME...	550 Special Activities Fund:N. Elections:6347 Election Expense	cinnamon rolls 2016 Primary Election	6347 · Elections Expense	40.00
TOTAL						40.00
Bill Pmt -...	08/31/2016	21324	Menards - Hudson	Account No. 30890280	100 · 4M Fund/US Bank - ...	(30.90)
Bill	08/31/2016	24803	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6030 Misc Expense	NP wasp spray, Buggslyer hose end	6030 · Misc Exp - Bldg & L...	30.90
TOTAL						30.90
Bill Pmt -...	08/31/2016	21325	Metro Sales Inc.		100 · 4M Fund/US Bank - ...	(290.55)
Bill	08/31/2016	592771	100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5516 Copier Lease	Ricoh/MPC4503 Color Copier Serial No. E175MC60...	5516 · Copier Lease	43.50
Bill	08/31/2016	595914	100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5510 Computer Se...	Ricoh/MPC4503 Color Copier Serial No. E175MC60...	5510 · Computer Service/So...	247.05
TOTAL						290.55

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Type	Date	Num	Name	Memo	Account	Original Amo...
Bill Pmt -...	08/31/2016	21326	Xcel Energy (51-5247622-9)	Acct No. 51-5247622-9 Meters 92023602 & 98359...	100 · 4M Fund/US Bank - ...	(38.57)
Bill	08/31/2016	511489...	400 201 Project Fund:B. Exp:5915 201 Project Maintenance	201 Project: 3741 & 4105 River Rd	5915 · 201 Project Maintena...	38.57
TOTAL						38.57
Bill Pmt -...	08/31/2016	21327	Xcel Energy (51-5371356-9)	15891 34th St. S: Automatic Protective Lighting Se...	100 · 4M Fund/US Bank - ...	(14.83)
Bill	08/31/2016	512047...	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6020 Electricity - Xcel En...	15891 34th St. S: Automatic Protective Lighting Service	6020 · Electricity	14.83
TOTAL						14.83
Bill Pmt -...	08/31/2016	21328	Xcel Energy (51-6852605-2)	Acct #51-6852605-2 Install No. 184509 & 184508	100 · 4M Fund/US Bank - ...	(40.93)
Bill	08/31/2016	512254...	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6020 Electricity - Xcel En...	Automatic Protective Light Service Install No. 184509...	6020 · Electricity	40.93
TOTAL						40.93
Bill Pmt -...	08/31/2016	21329	ZoneOne Locating		100 · 4M Fund/US Bank - ...	(219.05)
Bill	08/31/2016	23365	100 Gen'l Fd:B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:58...	Locate Labor and travel	5870 · Other Road Maintena...	219.05
TOTAL						219.05
Bill Pmt -...	08/31/2016	21330	All Seasons Rental		100 · 4M Fund/US Bank - ...	(6.85)
Bill	08/31/2016	52337	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6040 Repairs & Maintena...	throttle trigger	6040 · City Property Mainte...	6.85
TOTAL						6.85
Bill Pmt -...	08/31/2016	21331	Centerpoint Energy (6217601-1)	Meter # M19702480474 Account No. 6217601-1	100 · 4M Fund/US Bank - ...	(30.35)
Bill	08/31/2016	Aug2016	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6045 City Garage Expense	1675 Stagecoach Trl S: City Garage	6045 · City Garage Expense	30.35
TOTAL						30.35
Bill Pmt -...	08/31/2016	21332	Kathi Pelnar	Humane Animal Control Service	100 · 4M Fund/US Bank - ...	(425.58)
Bill	08/31/2016	August...	100 Gen'l Fd:B. Exp:B02 Public Safety & Health:B2.1 Public Safe...	animal control	5605 · Animal Control	425.58
TOTAL						425.58

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Type	Date	Num	Name	Memo	Account	Original Amo...
Bill Pmt -...	08/31/2016	21333	St. Croix Recreation Fun Playgrounds		100 · 4M Fund/US Bank - ...	(239.00)
Bill	08/31/2016	19037	100 Gen'l Fd:B. Exp:B05 Parks & Recreation:6135 Park Maintena...	Dome top lid color red	6135 · Park Maintenance	239.00
TOTAL						239.00
Bill Pmt -...	08/31/2016	21334	Wash Cty (Sheriff Squad Cars/Traffic)		100 · 4M Fund/US Bank - ...	(233.41)
Bill	08/31/2016	94176	100 Gen'l Fd:B. Exp:B02 Public Safety & Health:B2.1 Public Safe...	traffic detail 8/6/16	5635 · Police Services	233.41
TOTAL						233.41
Check	08/31/2016	21371	DeMaster, Robert Z16-18 15252 Afton Hills	Refund Z16-18 Variance Escrow	100 · 4M Fund/US Bank - ...	(250.00)
			DeMaster, Robert Z16-18 15252 Afton Hills	Refund Z16-18 Variance Escrow	2001 · Permit Escrow & Fees	250.00
TOTAL						250.00
Check	08/31/2016	21372	DeMaster, Robert & Jill Z16-23 15252	Refund IUP Z16-23 Escrow & Fee	100 · 4M Fund/US Bank - ...	(850.00)
			DeMaster, Robert & Jill Z16-23 15252	Refund IUP Z16-23 Escrow & Fee	2001 · Permit Escrow & Fees	850.00
TOTAL						850.00
Liability ...	08/09/2016	201608...	PERA (Staff)	3030-01 210990	100 · 4M Fund/US Bank - ...	(956.16)
				3030-01 210990	2302 · PERA Payable - Staff	443.93
				3030-01 210990	2302 · PERA Payable - Staff	512.23
TOTAL						956.16
Liability ...	08/09/2016	201608...	IRS (US Treasury)	41-1290668	100 · 4M Fund/US Bank - ...	(4,449.64)
				41-1290668	2210 · Federal Withholding	1,839.00
				41-1290668	2213 · Medicare Payable - E...	260.35
				41-1290668	2212 · Medicare W/H - Emp...	260.35
				41-1290668	2205 · Soc Sec Payable - E...	1,044.97
				41-1290668	2204 · Social Security W/H -...	1,044.97
TOTAL						4,449.64

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Type	Date	Num	Name	Memo	Account	Original Amo...
Liability ...	08/09/2016	201608...	MN Dept of Revenue	5050730	100 · 4M Fund/US Bank - ...	(750.00)
				5050730	2208 · MN State Withholding	750.00
TOTAL						750.00
Paycheck	08/15/2016	201608...	Ross, Stanley A	Direct Deposit	100 · 4M Fund/US Bank - ...	0.00
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Ma...	Direct Deposit	5002 · Mayor & Council Wa...	200.00
				Direct Deposit	2303 · PERA Payable - Cou...	(10.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Ma...	Direct Deposit	5053 · PERA Contribution - ...	10.00
				Direct Deposit	2303 · PERA Payable - Cou...	(10.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Ma...	Direct Deposit	5052 · Medicare Tax - Empl...	2.90
				Direct Deposit	2213 · Medicare Payable - E...	(2.90)
				Direct Deposit	2212 · Medicare W/H - Emp...	(2.90)
				Direct Deposit	2110 · Direct Deposit Liabili...	(187.10)
TOTAL						0.00
Paycheck	08/15/2016	201608...	Bend, Richard H	Direct Deposit	100 · 4M Fund/US Bank - ...	0.00
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Ma...	Direct Deposit	5002 · Mayor & Council Wa...	300.00
				Direct Deposit	2303 · PERA Payable - Cou...	(15.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Ma...	Direct Deposit	5053 · PERA Contribution - ...	15.00
				Direct Deposit	2303 · PERA Payable - Cou...	(15.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Ma...	Direct Deposit	5052 · Medicare Tax - Empl...	4.35
				Direct Deposit	2213 · Medicare Payable - E...	(4.35)
				Direct Deposit	2212 · Medicare W/H - Emp...	(4.35)
				Direct Deposit	2110 · Direct Deposit Liabili...	(280.65)
TOTAL						0.00
Liability ...	08/12/2016	201608...	QuickBooks Payroll Service	Created by Payroll Service on 08/06/2016	100 · 4M Fund/US Bank - ...	(282.40)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5505 Bank/IRS Fe...	Fee for 1 direct deposit(s) at \$1.75 each	5505 · Bank/IRS/Sales Tax	1.75
			QuickBooks Payroll Service	Created by Payroll Service on 08/06/2016	2110 · Direct Deposit Liabili...	280.65
TOTAL						282.40

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Type	Date	Num	Name	Memo	Account	Original Amo...
Liability ...	08/12/2016	201608...	QuickBooks Payroll Service	Created by Payroll Service on 08/06/2016	100 · 4M Fund/US Bank - ...	(188.85)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5505 Bank/IRS Fe... QuickBooks Payroll Service	Fee for 1 direct deposit(s) at \$1.75 each Created by Payroll Service on 08/06/2016	5505 · Bank/IRS/Sales Tax 2110 · Direct Deposit Liabili...	1.75 187.10
TOTAL						188.85
Liability ...	08/16/2016	201608...	PERA (Council)	3030-51 207620	100 · 4M Fund/US Bank - ...	(110.00)
				3030-51 207620 3030-51 207620	2303 · PERA Payable - Cou... 2303 · PERA Payable - Cou...	55.00 55.00
TOTAL						110.00
Bill Pmt ...	08/05/2016	201608...	Neopost 2888 {EFT}	Acct # 7900 0440 8026 2888	100 · 4M Fund/US Bank - ...	(200.00)
Bill	07/31/2016	07212016	100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5550 Postage	Acct # 7900 0440 8026 2888 Postage PPLN01	5550 · Postage	200.00
TOTAL						200.00
Paycheck	08/15/2016	201608...	Swanson Linner, Kimberly J	Direct Deposit	100 · 4M Fund/US Bank - ...	0.00
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5006 De...	Direct Deposit	5008 · Office Manager Wages	1,625.60
				Direct Deposit	2302 · PERA Payable - Staff	(105.66)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5006 De...	Direct Deposit	5053 · PERA Contribution - ...	121.92
				Direct Deposit	2302 · PERA Payable - Staff	(121.92)
				Direct Deposit	2210 · Federal Withholding	(85.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5006 De...	Direct Deposit	5051 · Social Security Tax - ...	100.78
				Direct Deposit	2205 · Soc Sec Payable - E...	(100.78)
				Direct Deposit	2204 · Social Security W/H - ...	(100.78)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5006 De...	Direct Deposit	5052 · Medicare Tax - Empl...	23.57
				Direct Deposit	2213 · Medicare Payable - E...	(23.57)
				Direct Deposit	2212 · Medicare W/H - Emp...	(23.57)
				Direct Deposit	2208 · MN State Withholding	(44.00)
				Direct Deposit	2110 · Direct Deposit Liabili...	(1,266.59)
TOTAL						0.00
Liability ...	08/12/2016	201608...	QuickBooks Payroll Service	Created by Payroll Service on 08/08/2016	100 · 4M Fund/US Bank - ...	(1,268.34)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5505 Bank/IRS Fe... QuickBooks Payroll Service	Fee for 1 direct deposit(s) at \$1.75 each Created by Payroll Service on 08/08/2016	5505 · Bank/IRS/Sales Tax 2110 · Direct Deposit Liabili...	1.75 1,266.59
TOTAL						1,268.34

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Type	Date	Num	Name	Memo	Account	Original Amo...
Liability ...	08/16/2016	201608...	PERA (Staff)	3030-01 210990	100 · 4M Fund/US Bank - ...	(951.84)
				3030-01 210990	2302 · PERA Payable - Staff	441.92
				3030-01 210990	2302 · PERA Payable - Staff	509.92
TOTAL						951.84
Paycheck	08/31/2016	201609...	Swanson Linner, Kimberly J	Direct Deposit	100 · 4M Fund/US Bank - ...	0.00
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5006 De...	Direct Deposit	5008 · Office Manager Wages	1,397.00
			550 Special Activities Fund:N. Elections:6347 Election Expense	Direct Deposit	6347 · Elections Expense	431.80
				Direct Deposit	2302 · PERA Payable - Staff	(118.87)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5006 De...	Direct Deposit	5053 · PERA Contribution - ...	104.78
			550 Special Activities Fund:N. Elections:6347 Election Expense	Direct Deposit	5053 · PERA Contribution - ...	32.38
				Direct Deposit	2302 · PERA Payable - Staff	(137.16)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5006 De...	Direct Deposit	5018 · Insurance Benefits	21.66
			550 Special Activities Fund:N. Elections:6347 Election Expense	Direct Deposit	5018 · Insurance Benefits	6.69
				Direct Deposit	2325 · Madison Life ST & L...	(28.35)
				Direct Deposit	1190 · Other Receivables	40.62
				Direct Deposit	2210 · Federal Withholding	(114.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5006 De...	Direct Deposit	5051 · Social Security Tax - ...	86.62
			550 Special Activities Fund:N. Elections:6347 Election Expense	Direct Deposit	5051 · Social Security Tax - ...	26.77
				Direct Deposit	2205 · Soc Sec Payable - E...	(113.39)
				Direct Deposit	2204 · Social Security W/H -...	(113.39)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5006 De...	Direct Deposit	5052 · Medicare Tax - Empl...	20.26
			550 Special Activities Fund:N. Elections:6347 Election Expense	Direct Deposit	5052 · Medicare Tax - Empl...	6.26
				Direct Deposit	2213 · Medicare Payable - E...	(26.52)
				Direct Deposit	2212 · Medicare W/H - Emp...	(26.52)
				Direct Deposit	2208 · MN State Withholding	(54.00)
				Direct Deposit	2110 · Direct Deposit Liabili...	(1,442.64)
TOTAL						0.00
Paycheck	08/31/2016	201609...	Moorse, Ronald J	Direct Deposit	100 · 4M Fund/US Bank - ...	0.00
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Ad...	Direct Deposit	5004 · Administrator Salary	3,839.58
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Ad...	Direct Deposit	5053 · PERA Contribution - ...	287.97
				Direct Deposit	2302 · PERA Payable - Staff	(287.97)
				Direct Deposit	2302 · PERA Payable - Staff	(249.57)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Ad...	Direct Deposit	5037 · Flexible Benefits	1,100.00
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Ad...	Direct Deposit	5018 · Insurance Benefits	28.35
				Direct Deposit	2325 · Madison Life ST & L...	(28.35)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Ad...	Direct Deposit	2325 · Madison Life ST & L...	(108.81)
				Direct Deposit	2210 · Federal Withholding	(731.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Ad...	Direct Deposit	5051 · Social Security Tax - ...	306.25

L16

09/13/16

City of Afton
Claims Paid
 August 2016

Type	Date	Num	Name	Memo	Account	Original Amo...
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Ad...	Direct Deposit	2205 · Soc Sec Payable - E...	(306.25)
				Direct Deposit	2204 · Social Security W/H -...	(306.25)
				Direct Deposit	5052 · Medicare Tax - Empl...	71.63
				Direct Deposit	2213 · Medicare Payable - E...	(71.63)
				Direct Deposit	2212 · Medicare W/H - Emp...	(71.63)
				Direct Deposit	2208 · MN State Withholding	(279.00)
				Direct Deposit	2110 · Direct Deposit Liabili...	(3,193.32)
TOTAL						0.00
Bill Pmt -...	08/31/2016	201609...	Spencer D Klover (DD)	Videographer \$25.00/hour	100 · 4M Fund/US Bank - ...	(168.75)
Bill	08/31/2016	VideoA...	100 Gen'l Fd:B. Exp:B01 G & A:B1.2 Prof Serv:5120 Contract - V...	6.75 hours @\$25, PC mtg, CC mtg	5120 · Contract - Video Mee...	168.75
TOTAL						168.75
Liability ...	08/30/2016	201609...	QuickBooks Payroll Service	Created by Payroll Service on 08/28/2016	100 · 4M Fund/US Bank - ...	(4,639.46)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5505 Bank/IRS Fe...	Fee for 2 direct deposit(s) at \$1.75 each	5505 · Bank/IRS/Sales Tax	3.50
			QuickBooks Payroll Service	Created by Payroll Service on 08/28/2016	2110 · Direct Deposit Liabili...	4,635.96
TOTAL						4,639.46
Check	08/30/2016	201609...	QuickBooks Payroll Service	Created by Direct Deposit Service on 08/28/2016	100 · 4M Fund/US Bank - ...	(1.75)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5505 Bank/IRS Fe...	Fee for 1 direct deposit(s) at \$1.75 each	5505 · Bank/IRS/Sales Tax	1.75
TOTAL						1.75
Liability ...	08/31/2016	201609...	PERA (Staff)	3030-01 210990	100 · 4M Fund/US Bank - ...	(1,005.60)
				3030-01 210990	2302 · PERA Payable - Staff	466.88
				3030-01 210990	2302 · PERA Payable - Staff	538.72
TOTAL						1,005.60

09/13/16

City of Afton
Claims Paid
August 2016

Type	Date	Num	Name	Memo	Account	Original Amo...
Liability ...	08/31/2016	201609...	IRS (US Treasury)	41-1290668	100 · 4M Fund/US Bank - ...	(4,426.74)
				41-1290668	2210 · Federal Withholding	1,846.00
				41-1290668	2213 · Medicare Payable - E...	257.51
				41-1290668	2212 · Medicare W/H - Emp...	257.51
				41-1290668	2205 · Soc Sec Payable - E...	1,032.86
				41-1290668	2204 · Social Security W/H -...	1,032.86
TOTAL						4,426.74
Liability ...	08/31/2016	201609...	MN Dept of Revenue	5050730	100 · 4M Fund/US Bank - ...	(750.00)
				5050730	2208 · MN State Withholding	750.00
TOTAL						750.00

Total Claims Paid
in August \$159,491.10

City of Afton
Permit Escrow & Fee Detail
 As of August 31, 2016

Type	Date	Num	Memo	Class	Amount
30th St Subdiv Z31-13					
Invoice	12/31/2013	Z13-31	WSB Eng'g Services Dec13	Invoices(Dev Fees):4341 Engineering Fees	199.50
Total 30th St Subdiv Z31-13					199.50
4960 Pleasant Ct					
Invoice	08/31/2012	WSBJun12	WSB Engineering: June 2012	Invoices(Dev Fees):4341 Engineering Fees	60.50
Total 4960 Pleasant Ct					60.50
50th St Dr/34th Lot Review					
Invoice	10/31/2011	WSBSep11	WSB Engineering Expenses Sep11	Invoices(Dev Fees):4341 Engineering Fees	112.00
Invoice	08/31/2012	WSBJun12	WSB Engineering: June 2012	Invoices(Dev Fees):4341 Engineering Fees	60.50
Total 50th St Dr/34th Lot Review					172.50
Anchor Bank Z16-24 13900 Hudson Rd					
Payment	07/31/2016	3554	Anchor Bank Z16-24 CUP Escrow 13900 Hudson Rd		-600.00
Invoice	07/31/2016	Z16-24	Anchor Bank Z16-24 CUP Fee 13900 Hudson Rd	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	07/31/2016	3554	Pymt of Anchor Bank Z16-24 CUP Fee 13900 Hudson Rd		-250.00
Total Anchor Bank Z16-24 13900 Hudson Rd					-600.00
Appert, Luke Z16-14 4558 Trading Pst					
Payment	05/17/2016	5690	Driveway Escrow Z16-14 4558 Trading Post Trl S		-1,500.00
Invoice	05/17/2016	Z16-14	Driveway Insp Fee Z16-14 4558 Trading Post Trl S	Invoices(Dev Fees):4401 Building Inspectio...	250.00
Payment	05/17/2016	5690	Pymt of Driveway Insp Fee Z16-14 4558 Trading Post Trl S		-250.00
Total Appert, Luke Z16-14 4558 Trading Pst					-1,500.00
Belwin Z011-11 Land Restoration					
Payment	09/20/2011	5283	Escrow Deposit Z011-11 Ecological Land Restoration		-600.00
Invoice	09/20/2011	Z011-11	Z011-11 CUP Fee	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	09/20/2011	5283	Pymt of CUP fee		-250.00
Total Belwin Z011-11 Land Restoration					-600.00
Benson, Jenna & Casey, Ben Z16-21					
Payment	07/12/2016	5536	Benson, Jenna & Casey, Ben Z16-21 Driveway Escrow 2660 Meadow Vista Way		-1,500.00
Invoice	07/12/2016	Z16-21	Benson, Jenna & Casey, Ben Z16-21 Driveway permit 2660 Meadow Vista Way	Invoices(Dev Fees):4401 Building Inspectio...	250.00
Payment	07/12/2016	5536	Pymt of Benson, Jenna & Casey, Ben Z16-21 Driveway permit 2660 Meadow Vista Way		-250.00
Total Benson, Jenna & Casey, Ben Z16-21					-1,500.00
Berggren/DNR Grading Permit					
Invoice	11/30/2006	SEHOct06	SEH Engineering Oct06	Invoices(Dev Fees):4341 Engineering Fees	524.00
Invoice	02/28/2007	07-0208	Grading Permit Fee: Stream Restoration Valley Creek	Invoices(Dev Fees):4440 Zoning Fees	100.00
Payment	02/28/2007	EF2600917 DNR	Pymt of Fee & Expenses		-624.00
Invoice	02/28/2007	SEHJan07	SEH: Engineering services	Invoices(Dev Fees):4341 Engineering Fees	268.00
Invoice	06/30/2008	CGIJun08	Community Growth Institute: Jun08	Invoices(Dev Fees):4343 Planning Fees	178.00
Invoice	07/31/2008	CGIJul08	Community Growth: Planner Jul08	Invoices(Dev Fees):4343 Planning Fees	756.50
Invoice	08/31/2008	SEHJul08	SEH Engineering: Jul08	Invoices(Dev Fees):4341 Engineering Fees	218.00
Invoice	08/31/2008	CGIAug08	Community Growth Institute: Aug08	Invoices(Dev Fees):4343 Planning Fees	200.25
Invoice	09/30/2008	SEHAug08	SEH Engineering: Aug08	Invoices(Dev Fees):4341 Engineering Fees	208.00
Invoice	10/31/2008	SEHSep08	SEH Engineering Expenses Sep08	Invoices(Dev Fees):4341 Engineering Fees	268.00
Invoice	12/31/2008	CGIDec08	Community Growth Institute: Dec08	Invoices(Dev Fees):4343 Planning Fees	89.00
Invoice	02/28/2009	SEHJan09	SEH Engineering Services: Jan09	Invoices(Dev Fees):4341 Engineering Fees	268.00
Invoice	03/31/2009	CGIMar09	Community Growth: Mar09 Planning Fees	Invoices(Dev Fees):4343 Planning Fees	23.00

City of Afton
Permit Escrow & Fee Detail
As of August 31, 2016

09/13/16

Type	Date	Num	Memo	Class	Amount
Invoice	04/30/2009	SEHMar09	SEH Engineering: Mar09	Invoices(Dev Fees):4341 Engineering Fees	61.50
Invoice	04/30/2009	CGIApr09	CGI Planning Services: Apr09	Invoices(Dev Fees):4343 Planning Fees	414.00
Invoice	05/31/2009	CGI52509	CGI Expenses: Inv#1718 052509	Invoices(Dev Fees):4343 Planning Fees	230.00
Invoice	05/31/2009	SEHApr09	SEH Engineering: 217414 Apr09	Invoices(Dev Fees):4341 Engineering Fees	301.00
Invoice	07/31/2009	WSBJun09	WSB #1 Jun09 Engineering	Invoices(Dev Fees):4341 Engineering Fees	84.00
General Jour...	01/31/2013	Applicant	Reverse Expense previously charged to Applicant: Berggren - DNR		-178.00
General Jour...	01/31/2013	Applicant	Reverse Expense previously charged to Applicant: Berggren - DNR		-84.00
Total Berggren/DNR Grading Permit					3,305.25
Berggren, Mike Trudy Z239-08 Variance					
Payment	01/27/2009	4349	Z239-08 Variance 13645 Valley Crk Trl		-600.00
Invoice	01/27/2009	Z239-08	Z239-08 Variance Fee re. Garages	Invoices(Dev Fees):4440 Zoning Fees	150.00
Payment	01/27/2009	4349	Pymt of Z239-08 Variance Fee		-150.00
Payment	06/29/2009	4435	Z212-09 Demolition Deposit		-250.00
Invoice	06/29/2009	Z212-09	Z212-09 Demolition Fee 13645 Val Crk Trl	Invoices(Dev Fees):4440 Zoning Fees	100.00
Payment	06/29/2009	4435	Pymt of Z212-09 Demolition Fee		-100.00
Invoice	06/30/2009	WashCty	Wash Cty Recording Fees	Invoices(Dev Fees):4344 Misc Dev Fees	46.00
Check	06/30/2009	14869	Refund 212-09 Demolition Deposit		250.00
Total Berggren, Mike Trudy Z239-08 Variance					-554.00
Boy Scout Troop 226					
Payment	05/08/2012	4392	Park Cleaning Deposit 5/6/12		-25.00
Total Boy Scout Troop 226					-25.00
Brockman Trucking Rezone Ag to Comm1 Z258					
Payment	11/23/2005	11911	Refundable Rezone Deposit Z258		-1,500.00
Invoice	11/23/2005	Z258	Rezone Fee Ag to Comm1 Z258 (Brockman Truck/Pearson)	Invoices(Dev Fees):4440 Zoning Fees	350.00
Payment	11/23/2005	11911	Pymt of Rezone Fee Z258		-350.00
Invoice	11/30/2005	NAC14944	NAC: Pearson rezoning	Invoices(Dev Fees):4343 Planning Fees	63.00
Invoice	12/31/2005	2275Sep05	Hamilton, et al: Sep05 legal services	Invoices(Dev Fees):4342 Legal Fees	105.00
Invoice	12/31/2005	2277Oct05	Hamilton, et al: Oct05 legal services	Invoices(Dev Fees):4342 Legal Fees	30.00
Check	11/30/2009	15237	Refund Z258-05 Brockman Trucking Deposit Net of Expense		1,302.00
Invoice	12/31/2013	Z13-26	WSB Eng'g Services Dec13	Invoices(Dev Fees):4341 Engineering Fees	970.50
Invoice	02/28/2014	WSB Feb14	WSB Engineering Services Feb14	Invoices(Dev Fees):4341 Engineering Fees	182.00
Total Brockman Trucking Rezone Ag to Comm1 Z258					1,152.50
Carlson, Will Z16-31 2434 Stagecoach Trl					
Payment	08/31/2016	6153	Rezoning Escrow Carlson, Will Z16-31 2434 Stagecoach Trl		-1,500.00
Invoice	08/31/2016	Z16-31	Rezoning Fee Carlson, Will Z16-31 2434 Stagecoach Trl	Invoices(Dev Fees):4440 Zoning Fees	350.00
Payment	08/31/2016	6153	Pymt of Rezoning Fee Carlson, Will Z16-31 2434 Stagecoach Trl		-350.00
Total Carlson, Will Z16-31 2434 Stagecoach Trl					-1,500.00

City of Afton
Permit Escrow & Fee Detail
 As of August 31, 2016

Type	Date	Num	Memo	Class	Amount
Cedar Bluffs/Pratt					
Invoice	07/31/2011	KnaakJul11	Knaack & Assoc: legal serv re. Cedar Bluff	Invoices(Dev Fees):4342 Legal Fees	284.44
Invoice	08/31/2011	WSB6-180	WSB: Engineering	Invoices(Dev Fees):4341 Engineering Fees	280.00
Invoice	08/31/2011	WashCtyAug	Wash Cty: Recording fee	Invoices(Dev Fees):4344 Misc Dev Fees	9.50
Invoice	09/30/2011	WSBSep11	WSB Engineering Fees Sep11	Invoices(Dev Fees):4341 Engineering Fees	1,195.50
Invoice	10/18/2011	Z014-11	Z014-11 Sign Permit	Invoices(Dev Fees):4440 Zoning Fees	150.00
Invoice	10/18/2011	Z014-11	Z014-11 Temp/Renewal re. Sign Permit	Invoices(Dev Fees):4440 Zoning Fees	25.00
Payment	10/18/2011	1003	Pymt of Z014-11 Temp/Renewal re. sign permit		-25.00
Payment	10/18/2011	1003	Pymt of Z014-11 sign permit		-275.00
Payment	10/18/2011	1003	Z014-11 sign deposit		-200.00
Invoice	10/31/2011	WSBSep11	WSB Engineering Expenses Sep11	Invoices(Dev Fees):4341 Engineering Fees	2,538.00
Payment	11/30/2011	74796	Pymt of Expenses per Invoice CBD11-2011		-4,297.94
Invoice	11/30/2011	WSBNov11	WSB Engineering Expenses: Nov2011	Invoices(Dev Fees):4341 Engineering Fees	2,316.00
Invoice	12/31/2011	180-9 Nov11	WSB City Engineer Nov11	Invoices(Dev Fees):4341 Engineering Fees	804.00
Payment	03/15/2012	75997	Pymt of escrow Invoice CBD1-2012		-2,975.50
Invoice	05/31/2012	WSB 180-10	WSB Engineering Services Apr12	Invoices(Dev Fees):4341 Engineering Fees	200.00
Payment	07/31/2012	77809	Pymt of engineering fee		-200.00
Invoice	10/31/2012	WSBSep12	WSB Engineering Sep2012	Invoices(Dev Fees):4341 Engineering Fees	242.00
Invoice	11/30/2012	WSBOct12	WSB Engineering	Invoices(Dev Fees):4341 Engineering Fees	847.00
Invoice	12/31/2012	WSBNov12	WSB Engineering Nov12	Invoices(Dev Fees):4341 Engineering Fees	642.00
General Jour...	01/01/2013	Applicant	Additional Expenses not previously charged to Applicant: Cedar Bluff		171.00
Payment	01/30/2013	80888	Pymt of outstanding balance		-1,731.00
Invoice	01/31/2013	WSB 180-14	WSB Engineering: Jan13 180-14	Invoices(Dev Fees):4341 Engineering Fees	60.50
Invoice	02/28/2013	WSB 180-15	WSB Engineering: Feb13 180-15	Invoices(Dev Fees):4341 Engineering Fees	665.00
Payment	05/30/2013	2030	Pymt of WSB engineering services		-725.50
Invoice	07/31/2013	WSB Jul13	WSB Engineering Jul13	Invoices(Dev Fees):4341 Engineering Fees	199.50
Invoice	11/30/2013	ROW Record	Wash Cty Recording Fee	Invoices(Dev Fees):4250 Recording Fees	46.00
Invoice	12/31/2013	WSBNov13	WSB Eng'g Nov 2013	Invoices(Dev Fees):4341 Engineering Fees	66.50
General Jour...	04/15/2014	Applicant	Addl Exp charged to Applicant: Twomey: WSB Dec Invoice		69.00
Invoice	05/31/2014	Cedar Bluff	WSB Engineering Fees 180-18	Invoices(Dev Fees):4341 Engineering Fees	207.00
Invoice	08/31/2014	WSB 19	WSB Engineering	Invoices(Dev Fees):4341 Engineering Fees	345.00
Payment	09/16/2014	2058	Pymt of balance		-519.00
Invoice	12/31/2014	WSBAug14	WSB Engineering August 2014	Invoices(Dev Fees):4341 Engineering Fees	174.00
Invoice	03/31/2015	WSB180-21	WSB Engineering 180-21	Invoices(Dev Fees):4341 Engineering Fees	143.00
General Jour...	04/01/2015	Applicant	Addl Exp not previously chged to Applicant: Cedar Bluff		276.00
General Jour...	04/01/2015	Applicant	Addl Exp not previously chged to Applicant: Cedar Bluff		69.00
Payment	04/01/2015	2069	Pymt of expenses \$276, \$69 & \$174		-519.00
Invoice	08/31/2015	WSB 180-22	WSB 180-22 Engineering Fees	Invoices(Dev Fees):4341 Engineering Fees	297.00
Invoice	09/30/2015	WSB180-24	WSB Engineering 180-24	Invoices(Dev Fees):4341 Engineering Fees	214.50
Payment	10/31/2015	2097	Pymt of WSB invoice 022815		-143.00
General Jour...	11/30/2015	Applicant	Addl Exp not previously chged to Applicant: Cedar Bluff		71.50
General Jour...	11/30/2015	Applicant	Addl Exp not previously chged to Applicant: Cedar Bluff		143.00
Payment	11/30/2015	2101	Invoice CBD11-2015 WSB June, July, Aug & Oct		-726.00
Total Cedar Bluffs/Pratt					414.00
Chrome-X LLC Z15-25 PO Box 221					
Payment	07/31/2015	1002	Partial pymt of \$250 fee & \$600 Escrow		-155.00
Invoice	09/30/2015	WSB450-7	WSB Engineering 450-7	Invoices(Dev Fees):4341 Engineering Fees	234.00
Total Chrome-X LLC Z15-25 PO Box 221					79.00

City of Afton
Permit Escrow & Fee Detail
 As of August 31, 2016

Type	Date	Num	Memo	Class	Amount
Clover, Phillip					
Invoice	12/31/2000		Opening balance		5,070.65
Invoice	05/11/2001	Clover1	Ck 6795 HR Green Engineering Fee - Plat Review	Invoices(Dev Fees):4341 Engineering Fees	90.00
Invoice	08/12/2001	Clover2	Ck 7081 Howard R. Green Engineering Fees	Invoices(Dev Fees):4341 Engineering Fees	180.00
Payment	08/30/2001	57251	Pymt from Universal Title Co.		-5,340.65
Invoice	09/30/2001	Clover3	Ck 7160 Howard Green Engineering Fee	Expenses (Dev Exp):Clover Estates	270.00
Invoice	11/09/2001	Clover4	Zoning Fee (Driveway)	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	11/09/2001	6975	Pymt of Zoning Fee (Driveway)		-250.00
Invoice	11/30/2001	Clover5	Ck 7317 Howard Green Engineering Fees	Invoices(Dev Fees):4341 Engineering Fees	803.25
Payment	02/28/2002	7074	Pymt of balance thru 1/31/02		-1,073.25
Invoice	02/28/2002	Clover6	Septic system & inspection fee	Invoices(Dev Fees):4430 Septic Sys & Insp ...	300.00
Invoice	02/28/2002	Clover7	Park Dedication Fee	Invoices(Dev Fees):4425 Park Dedication Fee	24,300.00
Payment	02/28/2002	7074	Pymt of septic system & inspection fee		-300.00
Payment	02/28/2002	7074	Pymt of park dedication fee		-24,300.00
Invoice	08/31/2002	Clover8	Howard R. Green: plat review	Invoices(Dev Fees):4341 Engineering Fees	25.00
Invoice	02/28/2003	Clover9	Howard Green: Plat review	Invoices(Dev Fees):4341 Engineering Fees	232.50
Invoice	02/28/2003	Clover10	Howard Green: Plat review	Invoices(Dev Fees):4341 Engineering Fees	232.50
Invoice	04/30/2003	Clover11	Howard Green: 4/9 Eng'g	Invoices(Dev Fees):4341 Engineering Fees	93.00
Invoice	05/31/2003	Clover11	Howard R. Green: meet w/Clover at site	Invoices(Dev Fees):4341 Engineering Fees	186.00
Invoice	08/31/2003	Clover12	SEH engineering fees	Invoices(Dev Fees):4341 Engineering Fees	580.05
Invoice	09/30/2003	Clover13	SEH Engineering Clover Subdivision	Invoices(Dev Fees):4341 Engineering Fees	748.45
Invoice	10/31/2003	Clover14	SEH Engineering Fees: Clover subdivision	Invoices(Dev Fees):4341 Engineering Fees	790.71
Invoice	11/30/2003	Clover15	SEH: Engineering services	Invoices(Dev Fees):4341 Engineering Fees	903.73
Invoice	12/31/2003	Clover16	SEH: Engineering re. pavement repairs	Invoices(Dev Fees):4341 Engineering Fees	183.15
Invoice	11/30/2006	SEHOct06	SEH engineering Oct06	Invoices(Dev Fees):4341 Engineering Fees	384.00
Invoice	12/31/2006	SEHDec06	SEH: Engineering fees Dec06	Invoices(Dev Fees):4341 Engineering Fees	1,189.50
General Jour...	01/31/2012	Escrow W/O	Write off outstanding balance per CC 1/17/12: 6+ Years Past Due		-477.94
Total Clover, Phillip					5,070.65
DeMaster, Robert Z16-18 15252 Afton Hills					
Invoice	05/17/2016	Z16-18	Demolition Permit Fee DeMaster, Robert Z16-18 15252 Afton Hills	Invoices(Dev Fees):4440 Zoning Fees	110.00
Payment	05/17/2016	14308	Demolition Escrow DeMaster, Robert Z16-18 15252 Afton Hills		-250.00
Payment	05/17/2016	14308	Pymt of Demolition Permit Fee DeMaster, Robert Z16-18 15252 Afton Hills		-110.00
Check	08/31/2016	21371	Refund Z16-18 Variance Escrow		250.00
Total DeMaster, Robert Z16-18 15252 Afton Hills					0.00
DeMaster, Robert & Jill Z16-23 15252					
Payment	07/31/2016	14332	DeMaster, Robert & Jill Z16-23 CUP Escrow 15252 Afton Hills Dr S		-600.00
Invoice	07/31/2016	Z16-23	DeMaster, Robert & Jill Z16-23 CUP Fee 15252 Afton Hills Dr S	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	07/31/2016	14332	Pymt of DeMaster, Robert & Jill Z16-23 CUP Fee 15252 Afton Hills Dr S		-250.00
General Jour...	08/31/2016	DeMaster	Reverse IUP Application Fee Robert DeMaster Z16-23		-250.00
Check	08/31/2016	21372	Refund IUP Z16-23 Escrow & Fee		850.00
Total DeMaster, Robert & Jill Z16-23 15252					0.00
Deming, David Z016-11 Veg Cutting					
Payment	11/30/2011	9466	Z016-11 Veg Cutting Deposit 16200 45th St S		-200.00
Invoice	11/30/2011	B063-11	Z016-11 Veg Cutting Permit	Invoices(Dev Fees):4440 Vegetative Cutting	150.00
Payment	11/30/2011	9480	Partial pay of Z016-11 Veg Cutting Permit		-50.00
Total Deming, David Z016-11 Veg Cutting					-100.00

City of Afton
Permit Escrow & Fee Detail
 As of August 31, 2016

Type	Date	Num	Memo	Class	Amount
Derrick Homes Z16-07 Driveway					
Payment	04/25/2016	36720	Z16-07 Driveway Escrow (Vacant lot)		-1,500.00
Invoice	04/25/2016	Z16-07	Z16-07 Driveway fee (Vacant lot)	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	04/25/2016	36720	Pymt of Z16-07 Driveway fee (Vacant lot)		-250.00
Total Derrick Homes Z16-07 Driveway					-1,500.00
Dickinson, Dan Grading & Variance					
Payment	07/15/2002	4235	Initial Grading Deposit 15876 Afton Blvd S.		-1,000.00
Payment	07/15/2002	4235	Initial Variance deposit (lot area per dwelling 7,000 ft)		-250.00
Invoice	07/31/2002	Dickinson1	Resolution recording fee	Invoices(Dev Fees):4250 Recording Fees	20.00
Check	01/20/2004	9332	Refund Grading & Variance Deposit net of expenses		0.00
Check	03/31/2004	9524	Refund Grading & Variance Deposit net of expenses		1,230.00
Payment	05/27/2004	5095	Final Inspection Deposit Permit A35-04		-200.00
Check	02/28/2005	10429	Refund Bldg Insp Deposit Permit A35-04		200.00
Payment	07/31/2015	5816	Z15-30 Variance Escrow (lot area)		-600.00
Invoice	07/31/2015	Z15-30 CUP	Z15-30 Variance Fee (lot area)	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	07/31/2015	5816	Pymt of Z15-30 Variance Fee (lot area)		-250.00
Total Dickinson, Dan Grading & Variance					-600.00
Du, Haiwei Z207 2997 Trading Post Trl					
Payment	01/31/2008	24566	Z200-08 Admin Permit Build SFD w/i 20' of Bluffline		-100.00
Invoice	01/31/2008	Z200Fee	Z200-08 Admin Fee	Invoices(Dev Fees):4440 Zoning Fees	60.00
Payment	01/31/2008	24566	Pymt of Z200 Admin Permit Fee		-60.00
Invoice	01/31/2008	NACJan08	NAC Planning Fee Jan08	Invoices(Dev Fees):4343 Planning Fees	113.90
Invoice	01/31/2008	SEHJan08	SEH Engineering Exp Jan08	Invoices(Dev Fees):4341 Engineering Fees	276.08
Invoice	02/29/2008	NACFeb08	NAC: Planning Feb08	Invoices(Dev Fees):4343 Planning Fees	22.80
Payment	03/31/2008	24564	Z207-08 Deposit Extend Driveway New SFD		-1,500.00
Invoice	03/31/2008	Z207-08	Z207-08 Driveway Permit	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	03/31/2008	24564	Pymt of Z207 Driveway permit		-250.00
Payment	03/31/2008	3412	Erosion Control Deposit Z208-08		-14,831.25
Invoice	03/31/2008	NACMar08	NAC Planning: Mar08	Invoices(Dev Fees):4343 Planning Fees	114.00
Invoice	04/30/2008	NACApr08	NAC: Planning Exp Apr08	Invoices(Dev Fees):4343 Planning Fees	11.40
Invoice	05/31/2008	SEHMar08	SEH Engineering: Mar08	Invoices(Dev Fees):4341 Engineering Fees	871.00
Invoice	12/31/2011	230-11 WSB	WSB City Engineer Nov11	Invoices(Dev Fees):4341 Engineering Fees	224.00
General Jour...	06/30/2012	Forfeit Esc	Forfeit Escrow outstanding balance to City per CC 5/15/12: Category 4		1,500.00
Total Du, Haiwei Z207 2997 Trading Post Trl					-13,298.07
Dunn, Curtis Z15-35 14320 30th St S					
Payment	08/27/2015	4517	Z15-35 Driveway Escrow 14320 30th St S		-1,500.00
Invoice	08/27/2015	Z15-35	Z15-35 Driveway Bldg Insp Fee	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	08/27/2015	4517	Pymt of Z15-35 Driveway Bldg Insp Fee		-250.00
General Jour...	10/31/2015	Applicant	WSB Engineering 450-8 Aug15 Dunn Z15-35		117.00
Total Dunn, Curtis Z15-35 14320 30th St S					-1,383.00
Equaris Proposal					
Invoice	03/31/2011	WSB2-230	WSB Engineering: Equaris proposal, memo	Invoices(Dev Fees):4341 Engineering Fees	336.00
Total Equaris Proposal					336.00

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Type	Date	Num	Memo	Class	Amount
Esertz Ent Z26-13 13380 Hudson Rd					
Payment	11/26/2013	46070	Z26-13 CUP Escrow truck parking facility		-600.00
Invoice	11/26/2013	Z26 CUP	Z26-13 CUP fee re truck parking facility	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	11/26/2013	46071	Pymt of Z26 CUP fee		-250.00
Total Esertz Ent Z26-13 13380 Hudson Rd					-600.00
Finch, David & Elizabeth 4885 Pheasant Ct					
Payment	04/30/2009	3336	Park Deposit MPA Picnic		-100.00
Check	06/30/2009	14800	Refund MPA Picnic Park Deposit		100.00
Payment	07/31/2013	4147	Z13-06 Barn for horses, equip, hay		-600.00
Invoice	07/31/2013	Z13-06	Admin Permit Z13-06	Invoices(Dev Fees):4440 Zoning Fees	150.00
Invoice	07/31/2013	Z13-07	Z13-07 Farmsite	Invoices(Dev Fees):4440 Zoning Fees	50.00
Payment	07/31/2013	4147	Pymt of Admin & Farmsite fees		-200.00
Total Finch, David & Elizabeth 4885 Pheasant Ct					-600.00
GJ&W Afton Ctr Dev & EAW					
Invoice	11/30/2006	SEHOct06	SEH Engineering Services Oct06	Invoices(Dev Fees):4341 Engineering Fees	704.00
Invoice	12/31/2006	SEHNov06	SEH: Engineering Nov06	Invoices(Dev Fees):4341 Engineering Fees	1,038.73
Invoice	12/31/2006	LegalNov06	Hamilton: Legal fees Nov06	Invoices(Dev Fees):4342 Legal Fees	45.00
Invoice	12/31/2006	SEHDec06	SEH Engineering Dec06	Invoices(Dev Fees):4341 Engineering Fees	342.12
Invoice	01/31/2007	LegalJan07	Jensen, Bell et al: Legal services Jan07	Invoices(Dev Fees):4342 Legal Fees	108.00
Invoice	03/31/2007	JensenFeb07	Jensen Legal Fees Feb07	Invoices(Dev Fees):4342 Legal Fees	963.00
Invoice	04/30/2007	JensenMar07	Jensen Legal Fees Mar07	Invoices(Dev Fees):4342 Legal Fees	1,494.00
Invoice	05/31/2007	JensenApr07	Jensen: Legal services Apr07	Invoices(Dev Fees):4342 Legal Fees	504.00
Invoice	10/31/2008	Jensen	Jensen, Bell: Legal Expenses	Invoices(Dev Fees):4342 Legal Fees	36.00
Invoice	11/30/2008	SEHOct08	SEH Engineering: Oct08	Invoices(Dev Fees):4341 Engineering Fees	6,992.00
Invoice	12/31/2008	CGIDec08	Community Growth Institute: Dec08	Invoices(Dev Fees):4343 Planning Fees	89.00
Invoice	12/31/2008	SEHNov08	SEH Engineering: Nov08	Invoices(Dev Fees):4341 Engineering Fees	5,322.19
Invoice	12/31/2008	SEHDec08	SEH Engineering: Dec08	Invoices(Dev Fees):4341 Engineering Fees	9,334.72
Invoice	02/28/2009	SEHJan09	SEH Engineering Services: Jan09	Invoices(Dev Fees):4341 Engineering Fees	1,102.00
Invoice	03/31/2009	SEHFeb09	SEH Engineering Services Feb09	Invoices(Dev Fees):4341 Engineering Fees	7,888.40
Invoice	04/30/2009	SEHMar09	SEH Engineering: Mar09	Invoices(Dev Fees):4341 Engineering Fees	1,108.42
Invoice	05/31/2009	CGI052509	CGI Expenses: Inv#1718 052509	Invoices(Dev Fees):4343 Planning Fees	2,874.00
Invoice	05/31/2009	SEHApr09	SEH Engineering: 217415 Apr09	Invoices(Dev Fees):4341 Engineering Fees	840.00
Invoice	07/31/2009	CGIJun09	CGI Planner Expenses thru 062509	Invoices(Dev Fees):4343 Planning Fees	253.00
Total GJ&W Afton Ctr Dev & EAW					41,038.58
Hartung, Dan Z16-15 2698 Meadow Vista Way					
Payment	05/17/2016	956	Driveway Escrow Hartung, Dan Z16-15 2698 Meadow Vista Way		-1,500.00
Invoice	05/17/2016	Z16-15	Driveway Insp Fee Hartung, Dan Z16-15 2698 Meadow Vista Way	Invoices(Dev Fees):4401 Building Inspectio...	250.00
Payment	05/17/2016	946	Pymt of Driveway Insp Fee Hartung, Dan Z16-15 2698 Meadow Vista Way		-250.00
Total Hartung, Dan Z16-15 2698 Meadow Vista Way					-1,500.00
Heller, Darin B033 Fence Deposit					
Payment	04/30/2010	7485	B-033-10 Swimming Pool Fence Deposit		-3,850.00
Payment	04/30/2010	7484	B033 Pool Deposit		-60.00
Invoice	04/30/2010	B-033-10	Swimming Pool Fee (Bldg Permit B-033)	Invoices(Dev Fees):4440 Zoning Fees	60.00
Payment	04/30/2010	7484	Pymt of Pool Fee B-033-10		-60.00
Check	07/29/2010	15809	Refund pool fence deposit Z-007-10		3,850.00
Total Heller, Darin B033 Fence Deposit					-60.00

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Type	Date	Num	Memo	Class	Amount
Hill, Peter & Cherie Z15-29 WCD 13212 McG					
Payment	07/31/2015	12258	Grading permit escrow Wash Conserv District		-600.00
Invoice	07/31/2015	Z15-29 CUP	WCD Grading CUP	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	07/31/2015	12258	Pymt of WCD Grading CUP Fee		-250.00
Total Hill, Peter & Cherie Z15-29 WCD 13212 McG					-600.00
Holz, Brad & Shelly Z15-23 4206 Rivr Rd S					
Payment	07/16/2015	1867	Two Escrows \$600 Variance & \$350 Renewal/Extension		-950.00
Invoice	07/16/2015	Z15-23	Z15-23 \$250 Variance & \$250 Renewal/Extension	Invoices(Dev Fees):4440 Zoning Fees	500.00
Payment	07/16/2015	1867	Pymt of Z15-23 \$250 Variance & \$250 Renewal/Extension		-500.00
Invoice	09/30/2015	WSB450-7	WSB Engineering 450-7	Invoices(Dev Fees):4341 Engineering Fees	468.00
Total Holz, Brad & Shelly Z15-23 4206 Rivr Rd S					-482.00
Islamic Soc Z16-05,06 12585 Hudson Rd					
Payment	03/21/2016	1166	Z16-05 CUP Escrow Mosque 12585 Hudson Rd		-600.00
Payment	03/21/2016	1165	16-05 CUP Fee Mosque 12585 Hudson Rd		-250.00
Invoice	03/21/2016	Z16-05	16-05 CUP Fee Mosque 12585 Hudson Rd	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	03/21/2016	1174	16-06 Variance Escrow Mosque 12585 Hudson Rd		-600.00
Payment	03/21/2016	1173	16-06 Variance Fee Mosque 12585 Hudson Rd		-250.00
Invoice	03/21/2016	Z16-06	16-06 Variance Fee Mosque 12585 Hudson Rd	Invoices(Dev Fees):4440 Zoning Fees	250.00
General Jour...	05/31/2016	5310 Eng'g	WSB Engineer: March 2016		1,135.00
Total Islamic Soc Z16-05,06 12585 Hudson Rd					-65.00
Iverson, Ross Z204214 2555 Trdng Post Trl					
Payment	05/31/2006	5458	Driveway Deposit: to access future home site		-1,500.00
Invoice	05/31/2006	Z214	Driveway Inspection Fee	Invoices(Dev Fees):4401 Building Inspectio...	250.00
Payment	05/31/2006	5458	Pymt of Driveway Inspection Fee		-250.00
Payment	03/14/2007	8119	Admin Permit for B16-07 Z204 SFD		-100.00
Invoice	03/14/2007	Z204	Z204 Admin fee for B16-07 SFD	Invoices(Dev Fees):4440 Zoning Fees	60.00
Payment	03/14/2007	8119	Pymt of Z204 Admin permit B16-07		-60.00
Invoice	04/30/2007	SEHMar07	SEH Engineering Mar07	Invoices(Dev Fees):4341 Engineering Fees	616.58
Invoice	01/31/2008	NACJan08	NAC Planning Fee Jan08	Invoices(Dev Fees):4343 Planning Fees	182.20
Check	05/31/2009	14728	Refund Admin Permit Deposit Z204-07		100.00
Total Iverson, Ross Z204214 2555 Trdng Post Trl					-701.22
Johnson, Carl & Maria Z16-29 3595 Lemieux					
Payment	08/23/2016	5540	Driveway Escrow Johnson, Carl & Maria Z16-29 3595 Lemieux		-1,500.00
Invoice	08/23/2016	Z16-29	Driveway Insp Fee Johnson, Carl & Maria Z16-29 3595 Lemieux	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	08/23/2016	5540	Pymt of Driveway Insp Fee Johnson, Carl & Maria Z16-29 3595 Lemieux		-250.00
Total Johnson, Carl & Maria Z16-29 3595 Lemieux					-1,500.00
Johnson, Justin & Jessica 14872 V Crk Trl					
Payment	04/30/2014	Cash	Variance Deposit Z14-15		-600.00
Payment	04/30/2014	350	Renewal/Amendment Deposit Z14-15		-350.00
Invoice	04/30/2014	Z14-15 Var	Z14-15 Variance Fee	Invoices(Dev Fees):4440 Zoning Fees	250.00
Invoice	04/30/2014	Z14-16 Var	Renewal/Amendment Fee	Invoices(Dev Fees):4440 Zoning Fees	150.00
Payment	04/30/2014	cash	Pymt of variance fee		-250.00
Payment	04/30/2014	cash	Pymt of renewal/amendment fee		-150.00
Check	11/26/2014	19753	Refund Variance Escrow Z14-15		600.00
Total Johnson, Justin & Jessica 14872 V Crk Trl					-350.00

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Type	Date	Num	Memo	Class	Amount
Krahn, Kurt & Kathy Z13-29 15820 37th					
Invoice	12/31/2013	Z1-14	WSB Eng'g Services Dec13	Invoices(Dev Fees):4341 Engineering Fees	199.50
Payment	01/27/2014	4990	Z13-29 variance deposit		-600.00
Invoice	01/27/2014	Z13-29	z13-29 variance fee	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	01/27/2014	4990	z13-29 pymt of variance fee		-250.00
Total Krahn, Kurt & Kathy Z13-29 15820 37th					-400.50
Lakeview Inv 14833 50th St Z14-33					
Payment	10/29/2014	6001	Z14-33 major subdiv escrow		-7,500.00
Payment	10/29/2014	6001	Pymt major subdiv fee \$2000 + \$100/lot		-2,800.00
Invoice	10/29/2014	Z14-33	Z14-33 major subdiv fee \$2000 + \$100/lot	Invoices(Dev Fees):4440 Major Subdivision	2,800.00
Invoice	10/31/2014	WSB420-9	WSB Engineering	Invoices(Dev Fees):4341 Engineering Fees	414.00
Invoice	12/31/2014	Z14-33	The Planning Company: Lakeview Dev Trading Post Trail Preserve, Z-33-14	Invoices(Dev Fees):4343 Planning Fees	553.76
Invoice	12/31/2014	Z14-33	The Planning Company: Lakeview Dev Trading Post Trail Preserve, Z-33-14	Invoices(Dev Fees):4343 Planning Fees	250.00
Invoice	12/31/2014	Z14-33	The Planning Company: Lakeview Dev Trading Post Trail Preserve, Z-33-14	Invoices(Dev Fees):4343 Planning Fees	500.00
Invoice	12/31/2014	Z14-33	WSB: Lakeview Dev Trading Post Trail Preserve, Z-33-14	Invoices(Dev Fees):4341 Engineering Fees	113.00
Invoice	12/31/2014	Z14-33	WSB: Lakeview Dev Trading Post Trail Preserve, Z-33-14	Invoices(Dev Fees):4341 Engineering Fees	565.00
Invoice	02/28/2015	Planning	The Planning Company 2465	Invoices(Dev Fees):4343 Planning Fees	250.00
Invoice	02/28/2015	Planning	The Planning Company 2466	Invoices(Dev Fees):4343 Planning Fees	650.00
Invoice	03/31/2015	PingCo2527	The Planning Company 2527	Invoices(Dev Fees):4343 Planning Fees	687.50
Invoice	03/31/2015	WSB450-2	WSB Engineering 450-2	Invoices(Dev Fees):4341 Engineering Fees	903.50
Invoice	03/31/2015	KnaakMar15	Holstad & Knaak: Legal services Mar2015	Invoices(Dev Fees):4342 Legal Fees	700.00
Payment	04/30/2015	1210459	Escrow re Construction Estimate		-232,689.00
Invoice	04/30/2015	Planning Co	2580 The Planning Company	Invoices(Dev Fees):4343 Planning Fees	250.00
Invoice	04/30/2015	WSB 450-3	WSB Engineering 450-3	Invoices(Dev Fees):4341 Engineering Fees	71.50
Invoice	04/30/2015	Planning Co	The Planning company 2581	Invoices(Dev Fees):4343 Planning Fees	562.50
Invoice	05/31/2015	WSB450-4	WSB Engineering	Invoices(Dev Fees):4341 Engineering Fees	214.50
Check	06/30/2015	20306	Reduction Escrow Trading Post Reserve Z14-33		0.00
Check	06/30/2015	20307	Reduction Escrow Trading Post Reserve Z14-33		184,176.50
Invoice	06/30/2015	WSB480-1	WSB Engineering 480-1	Invoices(Dev Fees):4341 Engineering Fees	1,608.00
Invoice	08/31/2015	WSB 480-2	WSB 480-2 Engineering Fees	Invoices(Dev Fees):4341 Engineering Fees	4,460.28
Invoice	09/30/2015	WSB Various	WSB Engineering Various	Invoices(Dev Fees):4341 Engineering Fees	4,679.00
Invoice	10/31/2015	Lakeview	WSB Engineering	Invoices(Dev Fees):4341 Engineering Fees	1,315.50
Total Lakeview Inv 14833 50th St Z14-33					-37,264.46
LOC, LLC Z15-44 xxx Hudson Rd Variance					
Payment	12/31/2015	3975	Z15-44 xxx Hudson Rd Variance		-600.00
Invoice	12/31/2015	Z15-44	Z15-44 xxx Hudson Rd Variance	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	12/31/2015	3975	Pymt of Z15-44 Variance Fee		-250.00
Total LOC, LLC Z15-44 xxx Hudson Rd Variance					-600.00
Localized, LLC Z16-20 2167 Oakgreen Av S					
Payment	06/21/2016	5003	Rezoning Escrow Z16-20 2167 Oakgreen Av S		-1,500.00
Invoice	06/21/2016	Z16-20	Rezoning Fee Z16-20 2167 Oakgreen Av S	Invoices(Dev Fees):4440 Zoning Fees	350.00
Payment	06/21/2016	5003	Pymt of Rezoning Fee Z16-20 2167 Oakgreen Av S		-350.00
Total Localized, LLC Z16-20 2167 Oakgreen Av S					-1,500.00
Lucas Woodland B063-11 15222 Afton Blvd S					
Payment	11/30/2011	1301	Admin Permit Deposit B-063-11 Demo Extension		-1,000.00
Invoice	11/30/2011	B063-11	Admin Permit B063-11 Cert of Occupancy	Invoices(Dev Fees):4440 Zoning Fees	150.00
Payment	11/30/2011	1302	Pymt of Admin Permit B063-11 Cert of Occupancy		-150.00
Total Lucas Woodland B063-11 15222 Afton Blvd S					-1,000.00

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Type	Date	Num	Memo	Class	Amount
Maas, Gary Z15-26 3185 St Crx Trl					
Payment	07/31/2015		Escrow Vegetative Cutting Z15-26		-200.00
Total Maas, Gary Z15-26 3185 St Crx Trl					-200.00
Maas, Gary Z15-38 16688 7th St S					
Payment	10/31/2015	6938	Z15-38 Minor Subdivision Escrow Deposit		-1,500.00
Invoice	10/31/2015	Z15-38	Z15-38 Minor Subdivision Fee	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	10/31/2015	6938	Pymt of Z15-38 minor sub fee		-250.00
Total Maas, Gary Z15-38 16688 7th St S					-1,500.00
McDonough, M Z15-32 Pool					
Payment	08/27/2015	2109	Z15-32 Pool Escrow (Prestige Pools)		-1,000.00
Invoice	08/27/2015	Z15-32	Z15-32 Fee re. Pool	Invoices(Dev Fees):4440 Zoning Fees	100.00
Payment	08/27/2015	2109	Pymt of Zoning Fee Z15-32 re Pool		-100.00
Payment	08/27/2015	2109	Z15-33 Fence Permit for Pool		-1,000.00
Invoice	08/27/2015	Z15-33	Z15-33 Fence Permit	Invoices(Dev Fees):4440 Zoning Fees	60.00
Payment	08/27/2015	2109	Pymt of Z15-33 Fence Permit Fee		-60.00
Total McDonough, M Z15-32 Pool					-2,000.00
Meissner, Joe 14186 Valley Cr					
Invoice	06/30/2010	WashCty	Wash Cty Recording Fee	Invoices(Dev Fees):4250 Recording Fees	46.00
Invoice	08/31/2010	Variance	Wash Cty Recording Fee - Variance	Invoices(Dev Fees):4250 Recording Fees	46.00
Payment	01/23/2012		Pymt re. re-recording variance		-46.00
Total Meissner, Joe 14186 Valley Cr					46.00
Morgan, Randy Z13-15 Sand Hill Driveway					
Payment	07/25/2013	8930	Z13-15 Driveway Escrow		-1,500.00
Invoice	07/25/2013	Z13-15	Z13-15 Bldg Insp Fee	Invoices(Dev Fees):4401 Building Inspectio...	250.00
Payment	07/25/2013	8930	Pymt of Bldg Insp Fee Driveway		-250.00
Invoice	07/31/2013	WSB Jul13	WSB Engineering Jul13	Invoices(Dev Fees):4341 Engineering Fees	133.00
Invoice	08/31/2013	WSB 360-7	WSB Engineering Services	Invoices(Dev Fees):4341 Engineering Fees	266.00
Invoice	09/30/2013	WSB Sep13	WSB Engineer services	Invoices(Dev Fees):4341 Engineering Fees	133.00
Invoice	05/31/2014	Z13-15	WSB Engineering Fees 420-4	Invoices(Dev Fees):4341 Engineering Fees	69.00
General Jour...	10/31/2015	Applicant	WSB Engineering 450-8 Aug15 Morgan Z13-15		500.50
General Jour...	11/30/2015	5310 Eng'g	WSB Engineer: Sep 2015		143.00
Total Morgan, Randy Z13-15 Sand Hill Driveway					-255.50
Murphy, Elaine Z15-28 WCD 4969 Neal					
Payment	07/31/2015	12258	Grading permit escrow Wash Conserv District		-600.00
Invoice	07/31/2015	Z15-28 CUP	WCD Grading CUP	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	07/31/2015	12258	Pymt of WCD Grading CUP Fee		-250.00
General Jour...	10/31/2015	Applicant	WSB Engineering 450-8 Aug15 Murphy Z15-18		321.75
General Jour...	11/30/2015	5310 Eng'g	WSB Engineer: Sep 2015		234.00
General Jour...	11/30/2015	5310 Eng'g	WSB Engineer: Oct 2015		58.50
Total Murphy, Elaine Z15-28 WCD 4969 Neal					14.25

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Type	Date	Num	Memo	Class	Amount
Myers, Jim Z15-14 1405 Sandhill Rd					
Payment	05/31/2015	104362	Z15-14 Driveway Escrow		-1,500.00
Invoice	05/31/2015	z15-14	Z15-14 Driveway Bldg Insp Fee	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	05/31/2015	104362	Pymt of Driveway Bldg Insp Fee		-250.00
Invoice	09/30/2015	WSB450-7	WSB Engineering 450-7	Invoices(Dev Fees):4341 Engineering Fees	71.50
Total Myers, Jim Z15-14 1405 Sandhill Rd					-1,428.50
Nelson Est/Frennette/Reithmeyer					
Invoice	08/31/2014	NWA Z14-24	NW Assoc Planning Fees	Invoices(Dev Fees):4343 Planning Fees	1,421.90
Invoice	09/30/2014	NWA Z14-24	Northwest Assoc: 21465 Planning Fees	Invoices(Dev Fees):4343 Planning Fees	1,265.20
Invoice	10/31/2014	WSB420-9	WSB Engineering	Invoices(Dev Fees):4341 Engineering Fees	364.00
General Jour...	11/30/2015	5330 Planng	Northwest Assoc: Nelson Estates - Reithmeyer Plat		94.50
General Jour...	07/31/2016	5330 Planng	Northwest Assoc: Nelson Estates - Reithmeyer Plat		959.00
Total Nelson Est/Frennette/Reithmeyer					4,104.60
Nelson Estates Z16-26					
General Jour...	08/31/2016	5330 Planng	Northwest Assoc: Nelson Estates Z16-26		200.00
General Jour...	08/31/2016	5330 Planng	Northwest Assoc: Nelson Estates Z16-26		70.00
Total Nelson Estates Z16-26					270.00
Osborn, Jaeson & Kayla Z15-41 15612 36th					
Payment	11/16/2015	5516	Driveway Escrow Z15-41 15612 36th St S Amaris Homes		-1,500.00
Invoice	11/16/2015	Z15-41	Driveway Bldg Insp Fee Z15-41	Invoices(Dev Fees):4401 Building Inspectio...	250.00
Payment	11/16/2015	5516	Pymt of Bldg Insp Fee (Driveway)		-250.00
Total Osborn, Jaeson & Kayla Z15-41 15612 36th					-1,500.00
Osborn, Jay Z1-13 3850 Oak Green Av S					
Payment	02/28/2013	113	Escrow Ag Bldg Z1-13		-1,000.00
Invoice	02/28/2013	Z1-13	Z1-13 Admin Permit Fee	Invoices(Dev Fees):4440 Zoning Fees	150.00
Payment	02/28/2013	113	Pymt of Z1-13 admin permit fee		-150.00
Total Osborn, Jay Z1-13 3850 Oak Green Av S					-1,000.00
Osborn, Jay Z1-14 3850 Oak Green Av S					
Invoice	12/31/2013	Z1-14	WSB Eng'g Services Dec13	Invoices(Dev Fees):4341 Engineering Fees	66.50
Payment	01/29/2014	5014	Escrow Z14-1 Ag Purpose - horses		-600.00
Invoice	01/29/2014	Z1-15	Z14-1 ag admin permit	Invoices(Dev Fees):4440 Zoning Fees	150.00
Payment	01/29/2014	5013	Pymt of z14-1 ag admin fee		-150.00
Invoice	01/29/2014	Z1-14	Farmsite fee	Invoices(Dev Fees):4440 Zoning Fees	50.00
Payment	01/29/2014	5015	pymt of farmsite fee		-50.00
Total Osborn, Jay Z1-14 3850 Oak Green Av S					-533.50
Paddock, Bruce Z15-16 22.028.20.14.0064					
Payment	05/31/2015	5811	Z15-16 Variance Escrow Buildability		-600.00
Invoice	05/31/2015	z15-16	Z15-16 Variance Fee	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	05/31/2015	5811	Pymt of variance fee Z15-16		-250.00
Total Paddock, Bruce Z15-16 22.028.20.14.0064					-600.00

City of Afton Permit Escrow & Fee Detail As of August 31, 2016

Type	Date	Num	Memo	Class	Amount
Pentel, Sylvia 2009 1501 Stagecoach Trl					
Payment	05/19/2010	3013	Z-009-10 Driveway Deposit		-1,500.00
Invoice	05/19/2010	Z-009-10	2009 Building Insp fee for Driveway	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	05/19/2010	3013	Pymt of 2009 Bldg Insp Fee for Driveway		-250.00
Payment	05/19/2010	3013	Grading Deposit		-1,000.00
Invoice	05/19/2010	Pentel	Grading Permit	Invoices(Dev Fees):4440 Zoning Fees	100.00
Payment	05/19/2010	3013	Pymt of Grading Permit		-100.00
Invoice	06/30/2010	WSBJun10	WSB Engineering Exp: Grading Permit	Invoices(Dev Fees):4341 Engineering Fees	56.00
General Jour...	07/29/2010	Rev Invoice	Reverse Original \$100 Charge for Grading Permit 5/19/10		-100.00
Check	07/29/2010	15810	Refund grading permit deposit and fee		1,100.00
Invoice	07/31/2010	WSBJul10	WSB Eng'g: Engineering Services re. grading permit	Invoices(Dev Fees):4341 Engineering Fees	336.00
Invoice	01/31/2011	WSBJan11	WSB: Engineering re. Grading Permit	Invoices(Dev Fees):4341 Engineering Fees	152.00
Invoice	02/28/2011	WSB4-140	WSB Engineering: grading permit	Invoices(Dev Fees):4341 Engineering Fees	188.00
Invoice	07/31/2012	WSBMay2012	WSB EngineeringMay2012	Invoices(Dev Fees):4341 Engineering Fees	60.50
Invoice	09/30/2013	WashCty	Wash Cty Recording Fee	Invoices(Dev Fees):4344 Misc Dev Fees	46.00
Total Pentel, Sylvia 2009 1501 Stagecoach Trl					-661.50
Reithmeyer, Joe & Kim Z15-37 1093					
Payment	09/23/2015	15666	Z15-37 Minor Subdiv 1093 Ind Trl S & 1093 Lk Edith Ln		-1,500.00
Invoice	09/23/2015	MinorZ15-37	Minor Subdiv Fee Z15-37	Invoices(Dev Fees):4440 Minor Subdivision	250.00
Payment	09/23/2015	15666	Pymt of Minorsubdiv Fee Z15-37		-250.00
Total Reithmeyer, Joe & Kim Z15-37 1093					-1,500.00
Reithmeyer Z16-26, Z24-14 Min Sub 1093					
Payment	07/22/2014	1008319	Minor Subdiv Escrow 1093 Indian Trl S Z24-14		-5,000.00
Invoice	07/22/2014	Z14-24	Minor Sub Fee Z14-24 \$1,000 + \$100 4 lots	Invoices(Dev Fees):4440 Minor Subdivision	1,400.00
Payment	07/22/2014	1008379	Pymt of minor sub fees		-1,400.00
Total Reithmeyer Z16-26, Z24-14 Min Sub 1093					-5,000.00
Ries, Lisa 16-22 12364 Meadow Bluff Trl					
Payment	07/12/2016	7232	Z16-22 Driveway Escrow 12364 Meadow Bluff Trl		-1,500.00
Invoice	07/12/2016	Z16-212	Z16-22 Driveway Permit 12364 Meadow Bluff Trl	Invoices(Dev Fees):4401 Building Inspectio...	250.00
Payment	07/12/2016	7232	Pymt of Z16-22 Driveway permit 12364 Meadow Bluff Trl		-250.00
Total Ries, Lisa 16-22 12364 Meadow Bluff Trl					-1,500.00
Rivas Brown Trout Z16-12 13 15311 Putnam					
Payment	04/30/2016	3226	Z16-12 Driveway Escrow 15311 Putnam		-600.00
Invoice	04/30/2016	Z16-13	Z16-13 Minor Subdiv fee 15311 Putnam/2573 Stagecoach	Invoices(Dev Fees):4440 Zoning Fees	250.00
Invoice	04/30/2016	Z16-12	Z16-12 Driveway fee 15311 Putnam/2573 Stagecoach	Invoices(Dev Fees):4440 Zoning Fees	200.00
Payment	04/30/2016	3227	Z16-13 Minor Subdiv fee 15311 Putnam/2573 Stagecoach		-1,500.00
Payment	04/30/2016	3226	Pymt of Z16-12 driveway fee 15311 Putnam/2573 Stagecoach		-200.00
Payment	04/30/2016	3227	Pymt of Z16-13 Minor Subdiv fee 15311 Putnam/2573 Stagecoach		-250.00
Total Rivas Brown Trout Z16-12 13 15311 Putnam					-2,100.00
Riverbank Exchange Z215 13900 Hudson Rd					
Invoice	12/31/2004	Zeller15	SEH Engineering Services Dec04	Invoices(Dev Fees):4341 Engineering Fees	246.00
Invoice	11/30/2008	JensenSep08	Jensen, et al: Legal Expenses Sep08	Invoices(Dev Fees):4342 Legal Fees	864.00
Payment	09/08/2009	109076	Z215 CUP Deposit Commercial Bldg		-600.00
Invoice	09/08/2009	Z215-09	Z215 CUP Fee	Invoices(Dev Fees):4440 Zoning Fees	150.00
Payment	09/08/2009	109076	Pymt of CUP Z215 Fee		-150.00
Total Riverbank Exchange Z215 13900 Hudson Rd					510.00

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Type	Date	Num	Memo	Class	Amount
Nature's SavATree Z16-03 xxx Hudson Rd					
Payment	03/21/2016	090418	Z16-03 CUP Escrow		-600.00
Payment	03/21/2016	090418	Z16-03 CUP Fee		-250.00
Invoice	03/21/2016	Z16-03	Z16-03 CUP Fee	Invoices(Dev Fees):4440 Zoning Fees	250.00
General Jour...	05/31/2016	5310 Eng'g	WSB Engineer: March 2016		886.00
Total Nature's SavATree Z16-03 xxx Hudson Rd					286.00
Scheel, Bill 13404 15th St S					
Payment	05/31/2015	1039	Z15-17 Minor Subdivision Escrow		-1,500.00
Invoice	05/31/2015	z15-17	Z15-17 Minor Subdiv fee	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	05/31/2015	1040	Pymt of Z15-17 minor subdivision fee		-250.00
Total Scheel, Bill 13404 15th St S					-1,500.00
Schiltgen, Ron & Mary Z16-10 2899 Manning					
Payment	04/30/2016	7429	Z16-10 Demolition Escrow 2899 Manning		-250.00
Invoice	04/30/2016	Z16-10	Z16-10 Demolition fee 2899 Manning	Invoices(Dev Fees):4440 Zoning Fees	110.00
Payment	04/30/2016	7429	Pymt of Z16-10 Demolition fee 2899 Manning		-110.00
Payment	07/12/2016	7483	Demo Escrow Z16-10 2899 Manning Av S		-5,000.00
Total Schiltgen, Ron & Mary Z16-10 2899 Manning					-5,250.00
SEV MN1 LLC Z16-25 12351 15th St S					
Payment	07/31/2016	1029	SEV MN1 LLC Z16-25 Rezoning for solar farms 12351 15th St S		-1,500.00
Invoice	07/31/2016	Z16-25	SEV MN1 LLC Z16-25 12351 15th St S	Invoices(Dev Fees):4440 Zoning Fees	350.00
Payment	07/31/2016	1029	Pymt of SEV MN1 LLC Z16-25 12351 15th St S		-350.00
Total SEV MN1 LLC Z16-25 12351 15th St S					-1,500.00
Teitelbaum, Chaim Z16-09 15511 Aft Hills					
Payment	04/25/2016	1596	Z16-09 Minor Subdivision Escrow 15511 Aft Hills Dr S		-1,500.00
Invoice	04/25/2016	Z16-09	Z16-09 Minor Subdivision fee 15511 Aft Hills Dr S	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	04/25/2016	1596	Pymt of Z16-09 Minor Subdivision fee 15511 Aft Hills Dr S		-250.00
General Jour...	04/30/2016	Applicant	Applicant Expense NAC Apr16: Chaim Teitelbaum		280.00
Total Teitelbaum, Chaim Z16-09 15511 Aft Hills					-1,220.00
Thao, David Z15-2012416 Meadow Bluff Tr					
Payment	07/16/2015	212217	Z15-20 Driveway/Erosion Escrow (\$1,500 + Excess \$1,500)		-3,000.00
Invoice	07/16/2015	Z15-20	Z15-20 Driveway/Erosion Bldg Insp Fee	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	07/16/2015	212217	Pymt of Z15-20 Bldg Insp Fee		-250.00
Total Thao, David Z15-2012416 Meadow Bluff Tr					-3,000.00
Three Sister's Springs					
Invoice	07/31/2004	Three01	SEH: Engineering Services	Invoices(Dev Fees):4341 Engineering Fees	364.00
Payment	08/31/2004	1206	Refundable Developer Deposit to cover expenses		-9,500.00
Invoice	08/31/2004	Three02	Park Dedication Fee	Invoices(Dev Fees):4425 Park Dedication Fee	17,906.00
Payment	08/31/2004	1205	Pymt of Park Dedication Fee		-17,906.00
Invoice	08/31/2004	Three03	SEH: engineering services	Invoices(Dev Fees):4341 Engineering Fees	1,726.39
Invoice	09/30/2004	Three04	Hamilton, et al: Legal services	Invoices(Dev Fees):4342 Legal Fees	275.50
Invoice	09/30/2004	Three05	SEH: Engineering services	Invoices(Dev Fees):4341 Engineering Fees	316.12
Invoice	10/31/2004	Three06	SEH: engineering services	Invoices(Dev Fees):4341 Engineering Fees	1,556.12
Invoice	11/30/2004	Three07	SEH: Engineering services	Invoices(Dev Fees):4341 Engineering Fees	184.50
Invoice	12/31/2004	Three08	SEH: Engineering services	Invoices(Dev Fees):4341 Engineering Fees	30.75
Invoice	04/30/2005	Three09	SEH: Engineer services	Invoices(Dev Fees):4341 Engineering Fees	64.00
Invoice	07/31/2005	Three10	SEH: engineering services	Invoices(Dev Fees):4341 Engineering Fees	166.07

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Type	Date	Num	Memo	Class	Amount
Invoice	11/30/2005	SEH138812	SEH: Engineering Services	Invoices(Dev Fees):4341 Engineering Fees	586.85
Invoice	12/31/2005	SEHNov05	SEH: Site inspection	Invoices(Dev Fees):4341 Engineering Fees	128.00
Invoice	12/31/2005	SEHNov05	SEH: Paving of wear course	Invoices(Dev Fees):4341 Engineering Fees	684.25
Invoice	06/30/2006	SEHMay06	SEH: eng'g update	Invoices(Dev Fees):4341 Engineering Fees	64.00
Invoice	10/31/2006	SEHSep06	SEH: Engineering Sep06	Invoices(Dev Fees):4341 Engineering Fees	211.12
Invoice	11/30/2006	SEHOct06	SEH: Final Inspection Oct06	Invoices(Dev Fees):4341 Engineering Fees	291.35
Invoice	12/31/2006	SEHNov06	SEH: Engineering Nov06	Invoices(Dev Fees):4341 Engineering Fees	128.00
Invoice	02/24/2007	Transfer	Transfer from Three Sisters to Valley Creek Proj/Landsmith	Invoices(Dev Fees):4440 Zoning Fees	2,850.98
Invoice	10/31/2007	SEHSep07	SEH Engineering Sep07	Invoices(Dev Fees):4341 Engineering Fees	33.50
Invoice	11/30/2007	SEHOct07	SEH: Engineering Services Oct07	Invoices(Dev Fees):4341 Engineering Fees	317.89
Invoice	06/30/2008	SEHMay08	SEH: engineering fees	Invoices(Dev Fees):4341 Engineering Fees	142.08
Total Three Sister's Springs					621.47
Traditional Ventures Z16-02 1987 Manning					
Payment	02/18/2016	2126	Z16-02 Variance Escrow 1987 Manning Av S		-600.00
Invoice	02/18/2016	Z16-02	Z16-02 variance fee	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	02/18/2016	2126	Pymt of Z16-02 variance fee		-250.00
Total Traditional Ventures Z16-02 1987 Manning					-600.00
Traditional Ventures Z15-27 WCD 1987 Mng					
Payment	07/31/2015	12258	Grading permit escrow Wash Conserv District		-600.00
Invoice	07/31/2015	Z15-27 CUP	WCD Grading CUP	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	07/31/2015	12258	Pymt of WCD Grading CUP Fee		-250.00
Total Traditional Ventures Z15-27 WCD 1987 Mng					-600.00
Uecker, Lonette Z16-28 13606 50th St					
Payment	07/31/2016	5439	Uecker, Lonette Z16-28 Driveway Escrow 13606 50th St		-1,500.00
Invoice	07/31/2016	Z16-28	Uecker, Lonette Z16-28 Driveway Permit 13606 50th St	Invoices(Dev Fees):4401 Building Inspectio...	250.00
Payment	07/31/2016	5439	Pymt of Uecker, Lonette Z16-28 Driveway permit 13606 50th St		-250.00
Total Uecker, Lonette Z16-28 13606 50th St					-1,500.00
Vang, Jack SWWD Z15-9 12788 50th St S					
Payment	04/30/2015	4010	CUP Escrow Z15-9 Conservation Projects		-1,700.00
Invoice	04/30/2015	Z15-9	CUP Fee grassed waterway & extended detention	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	04/30/2015	4010	Pymt of CUP Fee		-250.00
Invoice	05/31/2015	WSB450-4	WSB Engineering	Invoices(Dev Fees):4341 Engineering Fees	825.50
Invoice	06/30/2015	WSB450-2	WSB Engineering 450-2	Invoices(Dev Fees):4341 Engineering Fees	58.50
Total Vang, Jack SWWD Z15-9 12788 50th St S					-816.00
VBWD Fetcher Both Up & Down Stream					
Invoice	12/14/2007	Z234	Z234 Grading Permit re. Pond	Invoices(Dev Fees):4440 Zoning Fees	100.00
Payment	12/14/2007	141756	Grading Deposit Z234 1916 Oakgreen (Valley Br WMO)		-1,000.00
Payment	12/14/2007	141756	Pymt of Z234 Grading Permit Fee		-100.00
Invoice	01/31/2008	NACJan08	NAC Planning Fee Jan08	Invoices(Dev Fees):4343 Planning Fees	114.00
Invoice	03/31/2008	NACMar08	NAC Planning: Mar08	Invoices(Dev Fees):4343 Planning Fees	17.10
Invoice	05/16/2008	Z211Fee	Z211 Downstream Zoning Fee	Invoices(Dev Fees):4440 Zoning Fees	150.00
Invoice	05/16/2008	Z210Fee	Z210 Upstream Zoning Fee	Invoices(Dev Fees):4440 Zoning Fees	150.00
Payment	05/16/2008	145285	Pymt of Downstream Z211 zoning fee		-150.00
Payment	05/16/2008	145284	Pymt of upstream Z210 zoning fee		-150.00
Invoice	05/31/2008	SEHApr08	SEH Engineering: Apr08	Invoices(Dev Fees):4341 Engineering Fees	123.00
Invoice	05/31/2008	SEHApr08	SEH Engineering: Apr08	Invoices(Dev Fees):4341 Engineering Fees	123.00
Invoice	05/31/2008	CGIMay08	Community Growth Institute: May08	Invoices(Dev Fees):4343 Planning Fees	311.50
Invoice	06/19/2008	Z217	Z217 Grading Fee	Invoices(Dev Fees):4440 Zoning Fees	100.00

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Type	Date	Num	Memo	Class	Amount
Payment	06/19/2008	145282	Pymt of Z217 Grading Fee		-100.00
Payment	06/19/2008	145282	Z217 Upstream Grading Permit 14020, 14100, 14186		-1,000.00
Payment	06/19/2008	145283	Z218 Downstream Grading Deposit 2398 St Crx Trl		-1,000.00
Invoice	06/19/2008	Z218	Z218 Upstream Grading Fee	Invoices(Dev Fees):4440 Zoning Fees	100.00
Payment	06/19/2008	145283	Pymt of Z218 Upstream Grading Fee		-100.00
Invoice	06/30/2008	CGIJun08	Community Growth Institute: Jun08	Invoices(Dev Fees):4343 Planning Fees	66.75
Invoice	06/30/2008	CGIJun08	Community Growth Institute: Jun08	Invoices(Dev Fees):4343 Planning Fees	1,001.25
Invoice	06/30/2008	SEHMay08	SEH: engineering fees (Upstream)	Invoices(Dev Fees):4341 Engineering Fees	201.00
Invoice	06/30/2008	SEHMay08	SEH: engineering fees (Downstream)	Invoices(Dev Fees):4341 Engineering Fees	201.00
Invoice	07/31/2008	SEHJun08	SEH Engineering: Jun08	Invoices(Dev Fees):4341 Engineering Fees	123.00
Invoice	07/31/2008	SEHJun08	SEH Engineering: Jun08 Upstream	Invoices(Dev Fees):4341 Engineering Fees	201.00
Invoice	07/31/2008	SEHJun08	SEH Engineering: Jun08 Downstream	Invoices(Dev Fees):4341 Engineering Fees	201.00
Invoice	08/31/2008	SEHJul08	SEH Engineering: Jul08	Invoices(Dev Fees):4341 Engineering Fees	275.25
Invoice	08/31/2008	CGIAug08	Community Growth Institute: Aug08	Invoices(Dev Fees):4343 Planning Fees	111.25
Invoice	09/30/2008	SEHAug08	SEH Engineering: Aug08	Invoices(Dev Fees):4341 Engineering Fees	511.71
Invoice	09/30/2008	CGISep08	CGI Planning Exp: Sep08	Invoices(Dev Fees):4343 Planning Fees	445.00
Total VBWD Fetcher Both Up & Down Stream					1,026.81
VBWD Z15-10					
Payment	06/23/2010	162285	Land grading (remove dam & repace w rock rapids)		-1,000.00
Invoice	06/23/2010	Z-015-10	land grading zoning fee	Invoices(Dev Fees):4440 Zoning Fees	100.00
Invoice	06/23/2010	Z-015-10	Z15-10 CUP Fee	Invoices(Dev Fees):4440 Zoning Fees	150.00
Payment	06/23/2010	162285	Pymt of Z15-10 zoning fee		-100.00
Payment	06/23/2010	162284	Pymt of Z15-10 CUP fee		-150.00
Total VBWD Z15-10					-1,000.00
VBWD Z15-18 FOC					
Payment	05/31/2015	2016	Z15-18 Minor Subdivision Escrow		-1,500.00
Invoice	05/31/2015	z15-18	Z15-18 Minor subdivision fee	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	05/31/2015	2016	Pymt of z15-18 minor subdivision fee		-250.00
Invoice	08/31/2015	WSB 450-6	WSB 450-6 Engineering	Invoices(Dev Fees):4341 Engineering Fees	292.50
Total VBWD Z15-18 FOC					-1,207.50
VBWD Z15-22, CWF, FOC Review					
Invoice	06/30/2015	WSB450-5	WSB Engineering 450-5	Invoices(Dev Fees):4341 Engineering Fees	494.00
Payment	07/16/2015	208467	Z15-22 Grading Escrow Neal & Trading Pst Tr		-600.00
Invoice	07/16/2015	Z15-22	Z15-22 CUP Grading re Neal & Trading Pst Tr	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	07/16/2015	208468	Pymt of Z15-22 CUP Fee		-250.00
Invoice	08/31/2015	WSB 450-6	WSB 450-6 Engineering	Invoices(Dev Fees):4341 Engineering Fees	1,001.25
Invoice	09/30/2015	WSB450-7	WSB Engineering 450-7	Invoices(Dev Fees):4341 Engineering Fees	539.00
Total VBWD Z15-22, CWF, FOC Review					1,434.25
Vine Hill Partners/Lucas Woodland Demo					
Payment	12/21/2011	1304	Escrow Demo existing home		-250.00
Invoice	12/21/2011	B138-11	B138-11 Demo Existing Home	Invoices(Dev Fees):4440 Zoning Fees	110.00
Payment	12/21/2011	5371	Pymt of Demo Permit B138-11		-110.00
Total Vine Hill Partners/Lucas Woodland Demo					-250.00

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Type	Date	Num	Memo	Class	Amount
Voxland, Jared 13804 40th S Z13-5					
Payment	04/16/2013	121	Z13-5 Demolition deposit 13804 40th St S		-250.00
Invoice	04/16/2013	Z13-5	Demo Permit \$110 x 3	Invoices(Dev Fees):4440 Zoning Fees	330.00
Payment	04/16/2013	121	Pymt of Demo permit fee \$110 x 3		-330.00
General Jour...	11/26/2013	Z005-2013	Reverse after the fact fee (CC forgave): Jared Voxland Demo permit		-220.00
Check	11/27/2013	18868	Reverse after the fact fee (CC forgave): Jared Voxland Demo permit		470.00
Payment	05/20/2014	5028	Z14-16 new foundation for barn		-600.00
Invoice	05/20/2014	Z14-16 barn	Z1Admin permit Z14-16 new foundation for barn	Invoices(Dev Fees):4440 Zoning Fees	150.00
Payment	05/20/2014	5028	Pymt of Admin permit Z14-16 new foundation for barn		-150.00
Total Voxland, Jared 13804 40th S Z13-5					-600.00
Vujovich, Peter Variance 1296 Indian Trl					
Payment	11/30/2002	5177	Initial Deposit		-250.00
Invoice	11/30/2002	Vujovich1	Zoning fee	Invoices(Dev Fees):4440 Zoning Fees	150.00
Payment	11/30/2002	5177	Pymt of zoning fee		-150.00
Invoice	02/29/2004	Vujovich2	NW Assoc Consultant: Planner	Invoices(Dev Fees):4343 Planning Fees	63.60
Invoice	03/31/2004	Vujovich3	NW Assoc Consultants	Invoices(Dev Fees):4343 Planning Fees	346.75
Invoice	04/30/2004	Vujovich4	NW Assoc planning fees	Invoices(Dev Fees):4343 Planning Fees	78.88
Total Vujovich, Peter Variance 1296 Indian Trl					239.23
Walker, Jeffrey Grading/Farm Site					
Payment	05/12/2004	4141	Grading Deposit		-500.00
Invoice	05/12/2004	Walker1	Farm Site Permit Fee	Invoices(Dev Fees):4440 Zoning Fees	150.00
Invoice	05/12/2004	Walker2	SUP Variance Fee	Invoices(Dev Fees):4440 Zoning Fees	150.00
Payment	05/12/2004	4140	Pymt of SUP & Farm Site Fee		-300.00
Invoice	05/31/2004	Walker3	NW Assoc: Planning	Invoices(Dev Fees):4343 Planning Fees	442.85
Invoice	05/31/2004	Walker4	Wash Cty: mailing labels	Invoices(Dev Fees):4344 Misc Dev Fees	53.13
Invoice	05/31/2004	Walker5	NW Assoc: 5/7/04 Meeting re. lawsuit	Invoices(Dev Fees):4343 Planning Fees	32.40
Invoice	06/30/2004	Walker6	SEH: engineering services	Invoices(Dev Fees):4341 Engineering Fees	1,000.12
Invoice	06/30/2004	Walker7	Hamilton et al: legal fees	Invoices(Dev Fees):4342 Legal Fees	2,246.00
Invoice	07/31/2004	Walker8	Hamilton, et al: legal fees	Invoices(Dev Fees):4342 Legal Fees	1,015.00
Invoice	07/31/2004	Walker9	SEH: engineering services	Invoices(Dev Fees):4341 Engineering Fees	439.87
Invoice	07/31/2004	Walker10	Lenny Jenks: Walker transcript	Invoices(Dev Fees):4344 Misc Dev Fees	125.00
Invoice	08/31/2004	Walker11	SEH: engineering services	Invoices(Dev Fees):4341 Engineering Fees	195.37
Invoice	09/30/2004	Walker12	Hamilton, et al: Legal services	Invoices(Dev Fees):4342 Legal Fees	435.00
Invoice	09/30/2004	Walker13	SEH: Engineering services	Invoices(Dev Fees):4341 Engineering Fees	61.50
Invoice	11/30/2004	Walker14	Hamilton, et al: Legal services	Invoices(Dev Fees):4342 Legal Fees	29.00
Invoice	12/31/2004	Walker15	Hamilton, Quigley et al: legal services	Invoices(Dev Fees):4342 Legal Fees	101.50
Invoice	02/28/2006	SEHJan06	SEH engineering services Jan06	Invoices(Dev Fees):4341 Engineering Fees	128.00
Invoice	05/31/2008	SEHApr08	SEH Engineering: Apr08	Invoices(Dev Fees):4341 Engineering Fees	67.00
General Jour...	01/31/2012	Escrow W/O	Write off outstanding balance per CC 1/17/12: 6+ Years Past Due		-2,074.24
Total Walker, Jeffrey Grading/Farm Site					3,797.50
Wamstad Z15-27 Plan Review					
General Jour...	10/31/2015	Applicant	WSB Engineering 450-8 Aug15 Wamstad Z15-27		328.25
Total Wamstad Z15-27 Plan Review					328.25

City of Afton
Permit Escrow & Fee Detail
 As of August 31, 2016

Type	Date	Num	Memo	Class	Amount
Wamstad, Charlie Z16-17 12xxx 22nd St S					
Payment	05/17/2016	2139	Driveway Escrow Wamstad, Charlie Z16-17 12xxx 22nd St S		-1,500.00
Invoice	05/17/2016	Z16-17	Driveway Insp Fee Wamstad, Charlie Z16-17 12xxx 22nd St S	Invoices(Dev Fees):4401 Building Inspectio...	250.00
Payment	05/17/2016	2139	Pymt of Driveway Insp Fee Wamstad, Charlie Z16-17 12xxx 22nd St S		-250.00
General Jour...	08/31/2016	5310 Eng'g	WSB Engineer: May 2016		363.00
Total Wamstad, Charlie Z16-17 12xxx 22nd St S					-1,137.00
Wash Cty Pub Safety Tower Z209,213					
Invoice	11/30/2007	NACNov07	NAC: Planner Services Nov07	Invoices(Dev Fees):4343 Planning Fees	161.20
Invoice	11/30/2007	NACOct07	NAC: Planner Services Oct07	Invoices(Dev Fees):4343 Planning Fees	119.60
Invoice	12/31/2007	NACDec07	NAC Planning Dec07	Invoices(Dev Fees):4343 Planning Fees	292.64
Invoice	12/31/2007	JensenDec07	Jensen: Legal Dec07	Invoices(Dev Fees):4342 Legal Fees	171.00
Payment	04/21/2008	244177	Deposit Pub Safety Radio Tower Z209		-8,000.00
Invoice	04/21/2008	Z209	Z209 Design Review Fee	Invoices(Dev Fees):4440 Zoning Fees	150.00
Payment	04/21/2008	244177	Pymt of Design Review Fee Z209		-150.00
Invoice	04/30/2008	NACApr08	NAC: Planning Exp Apr08	Invoices(Dev Fees):4343 Planning Fees	22.80
Invoice	04/30/2008	NACApr08	NAC: Planning Exp Apr08	Invoices(Dev Fees):4343 Planning Fees	119.70
Payment	05/16/2008	246176	Z213 Setback Variance Deposit		-600.00
Invoice	05/16/2008	Z213Fee	Z213 Setback Variance Fee	Invoices(Dev Fees):4440 Zoning Fees	150.00
Payment	05/16/2008	246176	Pymt of Z213 Setback Variance Fee		-150.00
Invoice	05/31/2008	CGIMay08	Community Growth Institute: May08	Invoices(Dev Fees):4343 Planning Fees	2,493.25
General Jour...	06/30/2008	Z213WashCty	Reverse Variance Fee Z213 Stealth Tower: No Setback Variance Needed		-150.00
Check	06/30/2008	13833	Refund Wash Cty Pub Safety Tower Variance Fee and Deposit Z213		750.00
Invoice	06/30/2008	CGIJun08	Community Growth Institute: Jun08	Invoices(Dev Fees):4343 Planning Fees	155.75
Invoice	06/30/2008	CGIJun08	Community Growth Institute: Jun08	Invoices(Dev Fees):4343 Planning Fees	89.00
Invoice	07/31/2008	CGIJul08	Community Growth: Planner Jul08	Invoices(Dev Fees):4343 Planning Fees	66.75
Invoice	08/31/2008	CGIAug08	Community Growth Institute: Aug08	Invoices(Dev Fees):4343 Planning Fees	133.50
Invoice	09/30/2008	CGISep08	CGI Planning Exp: Sep08	Invoices(Dev Fees):4343 Planning Fees	178.00
Invoice	10/31/2008	JensenJun08	Jensen, Bell: Legal Expenses	Invoices(Dev Fees):4342 Legal Fees	234.00
Invoice	11/30/2008	JensenSep08	Jensen, et al: Legal Expenses Sep08	Invoices(Dev Fees):4342 Legal Fees	666.00
Invoice	11/30/2008	CGIOct08	Community Growth: Planner Exp Oct08	Invoices(Dev Fees):4343 Planning Fees	356.00
Invoice	12/31/2008	CGINov08	Community Growth Institute: 1584 Nov08	Invoices(Dev Fees):4343 Planning Fees	311.50
Invoice	12/31/2008	CGINov08	Community Growth Institute: 1584 Nov08	Invoices(Dev Fees):4343 Planning Fees	66.75
Invoice	12/31/2008	CGIDec08	Community Growth Institute: 1609 Dec08	Invoices(Dev Fees):4343 Planning Fees	44.50
Invoice	01/31/2009	CGIJan09	Community Growth Institute: Jan09	Invoices(Dev Fees):4343 Planning Fees	287.25
Invoice	03/31/2009	CGIMar09	Community Growth: Mar09 Planning Fees	Invoices(Dev Fees):4343 Planning Fees	23.00
Invoice	04/30/2009	CGIApr09	CGI Planning Services: Apr09	Invoices(Dev Fees):4343 Planning Fees	92.00
Check	12/22/2010	16216	Partial Refund Wash Cty Pub Safety Tower Z209 CUP		1,415.81
Total Wash Cty Pub Safety Tower Z209,213					-500.00
Weber, Scott 1267 Stagecoach Z14-8					
Payment	04/09/2014	2538	Minor Subdivision Z14-8		-1,500.00
Invoice	04/09/2014	Minor Subd	Minor Subdivision Fee Z14-8	Invoices(Dev Fees):4440 Minor Subdivision	250.00
Payment	04/09/2014	2538	Pymt of minor subdiv fee		-250.00
Total Weber, Scott 1267 Stagecoach Z14-8					-1,500.00
Weissner Z15-29 Plan Review					
General Jour...	10/31/2015	Applicant	WSB Engineering 450-8 Aug15 Weissner Z15-29		386.75
Total Weissner Z15-29 Plan Review					386.75

City of Afton
Permit Escrow & Fee Detail
As of August 31, 2016

09/13/16

Type	Date	Num	Memo	Class	Amount
Wilcox, Jesse & Jenny Z15-31 Variance					
Payment	09/23/2015	12952	Z15-31 Variance Escrow 14725 Aft Blvd S		-600.00
Invoice	09/23/2015	Variance Z1	Z15-31 Variance 14725 Aft Blvd S	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	09/23/2015	12952	Pynt of Z15-31 Variance 14725 Aft Blvd S		-250.00
Total Wilcox, Jesse & Jenny Z15-31 Variance					-600.00
TOTAL					-48,049.16

City of Afton
Building Inspection Fees by Account - Detail Afton
 January through August 2016

Date	Num	Valuation/Me...	Class	Class	Amount
Jan 16					
Jan 16					
Feb 16					
02/18/2016	B16-01	na	door	Afton Bldg Insp Fees:Bertelsen, Wendy 15th St. S.	109.00
02/18/2016	B16-02	\$40,000	remodel	Afton Bldg Insp Fees:Crotty, Mary 12575 10th St S	660.00
02/18/2016	B16-03	na	hvac	Afton Bldg Insp Fees:Kinjiakaqawa, Nancy 15123 50th	109.00
02/18/2016	B16-04	na	hvac	Afton Bldg Insp Fees:Taschuk, Mark 4311 Neal Av S	109.00
02/18/2016	B16-05	na	hvac	Afton Bldg Insp Fees:Leonard, Jason 13891 50th St S	109.00
02/18/2016	B16-06	na	hvac	Afton Bldg Insp Fees:McConnell, Mary 5680 Odell Av	109.00
02/18/2016	B16-07	na	hvac	Afton Bldg Insp Fees:Lind, Pete 12738 4th St	50.00
02/18/2016	B16-08	na	hvac	Afton Bldg Insp Fees:Thomas, Kathleen 13736 Valley C	109.00
02/18/2016	B16-09	na	hvac	Afton Bldg Insp Fees:303 Croix Drive S	109.00
02/18/2016	B16-10	na	hvac	Afton Bldg Insp Fees:Amaris 5269 Osgood Av	109.00
02/18/2016	B16-12	\$950,000	New Residence	Afton Bldg Insp Fees:Rivas, Robert 15311 Putnam Blvd	15,675.00
02/18/2016	B16-13	na	reroof	Afton Bldg Insp Fees:Voita, Marlene & Jim 4333 Penfi	109.00
02/18/2016	B16-14	na	hvac	Afton Bldg Insp Fees:Canas, Donna Mae 12799 2nd St S	54.00
02/18/2016	B16-15	NA	SIDING	Afton Bldg Insp Fees:Osborn, Mike 13640 30th St S	109.00
Feb 16					17,529.00
Mar 16					
03/21/2016	B16-11	na	hvac	Afton Bldg Insp Fees:Osborn, Jaeson & Kayla 5269 Osg	109.00
03/21/2016	B16-16	na	reroof	Afton Bldg Insp Fees:Edwards, Tom 3040 Neal Av	109.00
03/21/2016	B16-17	na	hvac	Afton Bldg Insp Fees:Agnessi, Mark 14255 East Oakgre	109.00
03/21/2016	B16-18	na	hvac	Afton Bldg Insp Fees:Maynard, Paul & Robin 13233 Hud	109.00
03/21/2016	B16-19B	\$90,000	Interior Work	Afton Bldg Insp Fees:BJS Restaurant 3121 St Crx Trl	1,485.00
03/21/2016	B16-19P	na	hvac	Afton Bldg Insp Fees:Invitation Homes 12979 2nd St S	54.00
03/21/2016	B16-20	na	reroof	Afton Bldg Insp Fees:Hanson, Joan 15707 Aft Hills Dr	109.00
03/21/2016	B16-21	na	hvac	Afton Bldg Insp Fees:Buchholz, Brian 14540 15th St	109.00
03/21/2016	B16-22	na	rerooff	Afton Bldg Insp Fees:15711 Upper 34th St	109.00
03/21/2016	B16-23	na	hvac	Afton Bldg Insp Fees:Galatowitsch, Gene 12613 50th S	54.00
03/21/2016	B16-24	na	hvac	Afton Bldg Insp Fees:Strub, Bill 12916 15th St S	109.00
Mar 16					2,465.00
Apr 16					
04/25/2016	B16-25	na	reroof	Afton Bldg Insp Fees:LaVerdiere, Lynn 5919 Osgood Ct	109.00
04/25/2016	B16-26	\$600,000	SFD	Afton Bldg Insp Fees:Morehead, Mike & Barbara 1940 Q	9,900.00
04/25/2016	B16-27	na		Afton Bldg Insp Fees:Pollock, Alan 14671 Afton Blvd	109.00
04/25/2016	B16-28	na	garage	Afton Bldg Insp Fees:DeRuyck, Michael 3242 Nybeck Av	109.00
04/25/2016	B16-29	\$54,000	solar	Afton Bldg Insp Fees:Ramsden, William 14001 Valley C	891.00
04/25/2016	B16-30	\$575,000	SFD	Afton Bldg Insp Fees:Cerrato, Steve & Maureen 2949 N	9,487.50
04/25/2016	B16-31	\$12,000	build/remodel	Afton Bldg Insp Fees:Whitman, Doug & Patty 543 Stage	247.50
04/25/2016	B16-32	na	hvac	Afton Bldg Insp Fees:Staples, Thomas 14040 30th St S	54.00
04/25/2016	B16-33	na	reroof	Afton Bldg Insp Fees:Barclay, John 4389 Pasture Ridg	109.00
04/25/2016	B16-34	na	door	Afton Bldg Insp Fees:Doherty, Sally 13575 40th St S	109.00

City of Afton
Building Inspection Fees by Account - Detail Afton
 January through August 2016

Date	Num	Valuation/Me...	Class	Class	Amount
Apr 16					21,125.00
May 16					
05/17/2016	B16-35	na	footings	Afton Bldg Insp Fees:Prebil, Jeff 14940 42nd St	109.00
05/17/2016	B16-36	na	hvac	Afton Bldg Insp Fees:Craft, Jason 1037 Indian Trl Pa	54.00
05/17/2016	B16-37	\$980,000	New SFD	Afton Bldg Insp Fees:Hartung, Dan & Jackie 2698 Mead	16,170.00
05/17/2016	B16-38	\$525,000	New SFD	Afton Bldg Insp Fees:Holz, Brad 4206 River Rd S	8,662.50
05/17/2016	B16-39	na	remodel	Afton Bldg Insp Fees:Crunk, Bruce 12916 3rd St S	109.00
05/17/2016	B16-40	na	hvac	Afton Bldg Insp Fees:Rahimi, Abdollah 14940 42nd St	54.00
05/17/2016	B16-41	na	reroof	Afton Bldg Insp Fees:Klatt, Linda 2755 Neal Av S	109.00
05/17/2016	B16-42	na	reroof	Afton Bldg Insp Fees:Sesler, Nancy 4627 River Rd S	109.00
05/17/2016	B16-43	na	door	Afton Bldg Insp Fees:Becker, John & Sandy 426 Croix	109.00
05/17/2016	B16-44	na	windows	Afton Bldg Insp Fees:Clymer, Terry 14065 40t St S	109.00
05/17/2016	B16-45	\$80,000	addition	Afton Bldg Insp Fees:Osborn, Jay 3850 Oak Green Av S	1,320.00
05/17/2016	B16-46	\$40,000	walkway/breezeway	Afton Bldg Insp Fees:Hipp, Charlie & Susan 1217 Indi	660.00
05/17/2016	B16-47	na	reroof	Afton Bldg Insp Fees:Yurek, Leo 4723 River Rd	109.00
05/17/2016	B16-48	\$155,840	addition, remodel	Afton Bldg Insp Fees:Schotzko, Andrea 3322 Penningto	2,574.00
May 16					30,257.50
Jun 16					
06/21/2016	B16-49	\$47,195	remodel	Afton Bldg Insp Fees:Pechuman, Gary 4711 Norcrest Av	825.00
06/21/2016	B16-50	na	reroof	Afton Bldg Insp Fees:Thrall, Jay 4293 Trading Pst Tr	109.00
06/21/2016	B16-51	na	remodel	Afton Bldg Insp Fees:Kobilka, Rick 14044 E Oakgreen	109.00
06/21/2016	B16-52	\$33,000	solar	Afton Bldg Insp Fees:Hipp, Charlie & Susan 1217 Indi	544.50
06/21/2016	B16-53	na	reside	Afton Bldg Insp Fees:Slitts, Jerry & Christne 12827	109.00
06/21/2016	B16-54	\$48,323	windows, doors	Afton Bldg Insp Fees:Johnson, Liz & Eric 3415 Trd Ps	792.00
06/21/2016	B16-55	na	hvac	Afton Bldg Insp Fees:Gross, Richard 14791 57th St S	109.00
06/21/2016	B16-56	na	mech	Afton Bldg Insp Fees:Boyd, Tim 15111 Afton Hills Dr	109.00
06/21/2016	B16-57	na	mech	Afton Bldg Insp Fees:Maynard, Paul & Robin 13233 Hud	109.00
06/21/2016	B16-58	na	windows, door	Afton Bldg Insp Fees:Mem Luth Church 15730 Afton Blv	109.00
06/21/2016	B16-59	\$100,000	demolish and replace garage	Afton Bldg Insp Fees:Diggins, Clay 2888 Trading Post	1,650.00
06/21/2016	B16-60	\$140,000	storage	Afton Bldg Insp Fees:Carlson, Will 2534 Stagecoach T	2,310.00
06/21/2016	B16-61	na	solar	Afton Bldg Insp Fees:Moore, Geo 5777 Osgood	109.00
06/21/2016	B16-62	\$10,000	Deck	Afton Bldg Insp Fees:Mauer, Kenneth 15201 Aft Hills	165.00
06/21/2016	B16-63	\$37,000	solar	Afton Bldg Insp Fees:Hlavacek, Doug 1010 Stagecoach	610.50
Jun 16					7,769.00
Jul 16					
07/12/2016	B16-74	na	reroof	Afton Bldg Insp Fees:Beil, Rosella 15372 11th Ave S	109.00
07/12/2016	B16-73	\$555,110	New SFD	Afton Bldg Insp Fees:Ries, Lisa 12364 Meadow Bluff T	9,240.00
07/12/2016	B16-71	\$50,000	remodel, addition	Afton Bldg Insp Fees:Dahl, Kathy 16100 45th St S	825.00
07/12/2016	B16-72	na	reroof	Afton Bldg Insp Fees:Mauer, Kenneth 15201 Aft Hills	109.00
07/12/2016	B16-69	\$600,000	new SFD	Afton Bldg Insp Fees:Benson, Jenna & Casey, Ben 2660	9,900.00
07/12/2016	B16-68	\$1,700,000	Comm'l Office, warehouse	Afton Bldg Insp Fees:Afton Trees LLC 12450 Hudson Rd	25,950.00
07/12/2016	B16-67	\$7,000	deck	Afton Bldg Insp Fees:Fox, Richard & JoAnn 2855 Nybec	115.50
07/12/2016	B16-66	\$10,000	bathroom	Afton Bldg Insp Fees:Miler, Dan 15141 Afton Hills Dr	165.00
07/12/2016	B16-70	na	hvac	Afton Bldg Insp Fees:Reyers, Jan 1370 Indian Trl S	54.00

City of Afton
Building Inspection Fees by Account - Detail Afton
 January through August 2016

Date	Num	Valuation/Me...	Class	Class	Amount
07/12/2016	B16-65	na	hvac	Afton Bldg Insp Fees:Hager, Dean 2903 Nybeck Av S	54.00
07/31/2016	B16-75	na	reside	Afton Bldg Insp Fees:Wolner, Joann 13446 50th St S	109.00
07/31/2016	B16-76	na	garden shed	Afton Bldg Insp Fees:Flicker, Tom 5665 Osgood Av S	109.00
07/31/2016	B16-77	na	reroof	Afton Bldg Insp Fees:Lee, Xang 1025 Manning Av S	109.00
07/31/2016	B16-78	na	wood stove	Afton Bldg Insp Fees:Osborn, Jay 3850 Oak Green Av S	109.00
07/31/2016	B16-79	\$156,000	remodel	Afton Bldg Insp Fees:Koktavy, James 16508 Swede Hill	2,574.00
07/31/2016	B16-80	\$18,000	windows	Afton Bldg Insp Fees:Crawley, Patrick 13955 Tomahawk	297.00
07/31/2016	B16-81	na	plumbing	Afton Bldg Insp Fees:Holz, Brad 4206 River Rd S	109.00
07/31/2016	B16-82	na	windows, door	Afton Bldg Insp Fees:Ronningen, Barb 15324 11th St S	109.00
07/31/2016	B16-83	\$400,000	new SFD	Afton Bldg Insp Fees:Ueker, Lonette 13606 50th St	6,600.00
07/31/2016	B16-84	na	reroof	Afton Bldg Insp Fees:Anderson, Paul; 14935 45th St S	109.00
07/31/2016	B16-86	na	windows, doors	Afton Bldg Insp Fees:Dissekamp, Thomas 5595 Osgood	109.00
07/31/2016	B16-85	\$40,000	Entry roofs, trellis	Afton Bldg Insp Fees:Belwin Conservancy 1553 Stageco	660.00
07/31/2016	B16-87	na	hvac	Afton Bldg Insp Fees:Miler, Dan 15141 Afton Hills Dr	54.00
07/31/2016	B16-88	na	reside	Afton Bldg Insp Fees:Ramirez, Chris 15336 Afton Hill	109.00
Jul 16					57,687.50
Aug 16					
08/23/2016	B16-104	\$50,000	storage bldg	Afton Bldg Insp Fees:DeMaster, Bob 15376 Aft Blvd S	825.00
08/23/2016	B16-103	na	hvac	Afton Bldg Insp Fees:Dorgan, Steve & Krista 4723 Par	54.00
08/23/2016	B16-102	na	hvac	Afton Bldg Insp Fees:Kretman, Wade 13853 50th St S	54.00
08/23/2016	B16-100	na	hvac	Afton Bldg Insp Fees:Holz, Brad 4206 River Rd S	109.00
08/23/2016	B16-101	na	hvac	Afton Bldg Insp Fees:Amans Custom Homes 14635 50th S	109.00
08/23/2016	B16-99	na	reside	Afton Bldg Insp Fees:Sundstrom, Paul 15885 Upper 34t	109.00
08/23/2016	B16-98	na	Multiple	Afton Bldg Insp Fees:Vannelli, Dan 14049 44th St S	132.00
08/23/2016	B16-97	\$96,000	addition	Afton Bldg Insp Fees:Meiser, Roger 1520 Stagecoach T	1,584.00
08/23/2016	B16-91	na	hvac	Afton Bldg Insp Fees:Del Rio, Angelo 12912 3rd St S	54.00
08/23/2016	B16-94	na	hvac	Afton Bldg Insp Fees:Cennato, Steve 2949 Nybeck Av S	109.00
08/23/2016	B16-96	na	windows	Afton Bldg Insp Fees:McdCusker, James 13876 W Oakgre	109.00
08/23/2016	B16-93	\$528,000	SFD	Afton Bldg Insp Fees:Johnson, Carl & Maria 14635 50t	8,662.50
08/23/2016	B16-95	\$18,278	Solar	Afton Bldg Insp Fees:Costello, Mike 13605 30th St S	313.50
08/23/2016	B16-92	\$10,600	deck	Afton Bldg Insp Fees:Wolner, Joann 13446 50th St S	181.50
08/23/2016	B16-90	na	windows	Afton Bldg Insp Fees:Roettger, Joshua 3170 Neal Av	109.00
08/23/2016	B16-89	na	windows	Afton Bldg Insp Fees:Clayton, George 12390 8th St Ct	109.00
08/31/2016	B16-114	na	reroof	Afton Bldg Insp Fees:Stedman, Mark & Bode, Nancy 152	109.00
08/31/2016	B16-113	na	door	Afton Bldg Insp Fees:Galatowitsch, Gene 12613 50th S	109.00
08/31/2016	B16-112	na	reroof	Afton Bldg Insp Fees:Albery Planten Vanafton 764 Ind	109.00
08/31/2016	B16-110	\$20,000	addition	Afton Bldg Insp Fees:Wittl, Steve 4837 Pheasant Ct S	330.00
08/31/2016	B16-106	na	hvac	Afton Bldg Insp Fees:Rivas, Robert 2573 Stagecoach T	109.00
08/31/2016	B16-107	na	hvac	Afton Bldg Insp Fees:Kaul, Wm 15621 42nd St	54.00
08/31/2016	B16-105	na	hvac	Afton Bldg Insp Fees:Cerrato, Steve & Maureen 2949 N	109.00
08/31/2016	B16-108	\$22,000	hvac (extensive)	Afton Bldg Insp Fees:Benson, Ben 2660 Meadow Vista W	363.00
08/31/2016	B16-109	\$7,000	plumbing	Afton Bldg Insp Fees:Koktavy, James 16508 Swede Hill	115.50
08/31/2016	B16-111	\$18,000	plumbing	Afton Bldg Insp Fees:Casey, Ben 2660 Meadow Vista Wa	297.00
Aug 16					14,328.00

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City of Afton
Building Inspection Fees by Account - Detail Afton
January through August 2016

<u>Date</u>	<u>Num</u>	<u>Valuation/Me...</u>	<u>Class</u>	<u>Class</u>	<u>Amount</u>
TOTAL					<u><u>151,161.00</u></u>

City of Afton
200 Park Reserve Fund Stmt of Rev & Exp - Detail
 January through August 2016

Type	Date	Num	Source Name	Memo	Amount
200 Park Reserve Fd					
A. Rev					
4425 Park Dedication Fees					
Deposit	08/31/2016	1029		Chaim Teitelbaum: Park Dedication Fee Minor Subdivision	16,360.00
Total 4425 Park Dedication Fees					16,360.00
4903 Interest Income - 4M Fund					
General Journal	01/31/2016	interest		Interest Income	9.59
General Journal	02/29/2016	interest		Interest Income	11.43
General Journal	03/31/2016	interest		Interest Income	11.63
General Journal	04/30/2016	interest		Interest Income	11.96
General Journal	05/31/2016	interest		Interest Income	15.87
General Journal	06/30/2016	interest		Interest Income	17.33
General Journal	07/31/2016	interest		Interest Income	16.91
General Journal	08/31/2016	interest		Interest Income	17.28
Total 4903 Interest Income - 4M Fund					112.00
Total A. Rev					16,472.00
Total 200 Park Reserve Fd					16,472.00
TOTAL					16,472.00

City of Afton
725 Road Debt Service Fund - Detail
 January through August 2016

09/13/16

Type	Date	Num	Source Name	Memo	Amount
4725 · Debt Serv Levy - Road Project					
Deposit	06/30/2016			Road Bond Debt Service	130,000.00
Total 4725 · Debt Serv Levy - Road Project					130,000.00
4916 · Interest Inc - Road Debt Serv					
General Journal	01/31/2016	interest		Interest Income	21.67
General Journal	02/29/2016	interest		Interest Income	18.57
General Journal	03/31/2016	interest		Interest Income	19.86
General Journal	04/30/2016	interest		Interest Income	24.71
General Journal	05/31/2016	interest		Interest Income	30.40
General Journal	06/30/2016	interest		Interest Income	33.54
General Journal	07/31/2016	interest		Interest Income	33.11
General Journal	08/31/2016	interest		Interest Income	39.24
Total 4916 · Interest Inc - Road Debt Serv					221.10
7735 · 2014A Refunding Bds Int Exp					
General Journal	01/19/2016	Road Bond	725 Road Paving Debt Service Fund:7735 2014A Refund Bds Int E...	Monthly Accrued Interest Expense: 2014A Road Bond	(8,425.00)
General Journal	02/29/2016	Road Bond	725 Road Paving Debt Service Fund:7735 2014A Refund Bds Int E...	Monthly Accrued Interest Expense: 2014A Road Bond	(9,085.00)
General Journal	03/31/2016	Road Bond	725 Road Paving Debt Service Fund:7735 2014A Refund Bds Int E...	Monthly Accrued Interest Expense: 2014A Road Bond	(9,085.00)
General Journal	04/30/2016	Road Bond	725 Road Paving Debt Service Fund:7735 2014A Refund Bds Int E...	Monthly Accrued Interest Expense: 2014A Road Bond	(9,085.00)
General Journal	05/31/2016	Road Bond	725 Road Paving Debt Service Fund:7735 2014A Refund Bds Int E...	Monthly Accrued Interest Expense: 2014A Road Bond	(9,085.00)
General Journal	06/30/2016	Road Bond	725 Road Paving Debt Service Fund:7735 2014A Refund Bds Int E...	Monthly Accrued Interest Expense: 2014A Road Bond	(4,035.00)
General Journal	07/19/2016	Road Bond	725 Road Paving Debt Service Fund:7735 2014A Refund Bds Int E...	Monthly Accrued Interest Expense: 2014A Road Bond	(8,075.00)
General Journal	08/31/2016	Road Bond	725 Road Paving Debt Service Fund:7735 2014A Refund Bds Int E...	Monthly Accrued Interest Expense: 2014A Road Bond	(8,075.00)
Total 7735 · 2014A Refunding Bds Int Exp					(64,950.00)
7736 · 2014A Refunding Bds Admin Exp					
Bill	01/14/2016	4167145	US Bank (Admin Fee)	2016 Admin Fee: GO Tax Abatement 2014A	(450.00)
Bill	01/31/2016	16-030	Springsted Incorporated	Continuing Disclosure Services - Road Refunding Bonds	(500.00)
Total 7736 · 2014A Refunding Bds Admin Exp					(950.00)
TOTAL					64,321.10

City of Afton
City Infra-Structure Improvement Projects - LTD Summary
 January 2011 through August 2016

	Jan - Dec 11	Jan - Dec 12	Jan - Dec 13	Jan - Dec 14	Jan - Dec 15	Jan - Aug 16	TOTAL
120 Street Imp Capital Fd							
B. Exp							
7981 Village Local Rd Imp	0.00	0.00	(6,079.50)	(89,427.00)	(250,098.57)	(68,044.68)	(413,649.75)
7982 CR21 Imp Proj	0.00	0.00	(2,827.50)	(23,269.25)	(23,382.75)	(2,442.00)	(51,921.50)
Total B. Exp	0.00	0.00	(8,907.00)	(112,696.25)	(273,481.32)	(70,486.68)	(465,571.25)
Total 120 Street Imp Capital Fd	0.00	0.00	(8,907.00)	(112,696.25)	(273,481.32)	(70,486.68)	(465,571.25)
800 City InfraStructure Imp Fd							
A. Rev							
4917 Interest Income	0.00	2.04	2.55	3.26	395.48	2,341.48	2,744.81
4849 DNR BWSR Grant	0.00	0.00	129,850.00	0.00	0.00	0.00	129,850.00
4850 Park Reserve Trf re. Dwtwn L...	0.00	0.00	100,000.00	0.00	0.00	0.00	100,000.00
4851 VBWD Easement	0.00	0.00	0.00	0.00	5,800.00	0.00	5,800.00
4852 VBWD Grant \$50M/Yr 10 Yrs	0.00	0.00	0.00	0.00	0.00	50,000.00	50,000.00
4871 Rental Inc - Flood Levee Prop	0.00	850.00	1,700.00	0.00	0.00	0.00	2,550.00
4894 MnDNR Grant - Other	0.00	9,247.38	10,024.53	0.00	35,137.00	0.00	54,408.91
4895 MnDNR Grant - Land Purchase	0.00	351,673.70	616,669.52	0.00	0.00	0.00	968,343.22
4896 Flood Levy Imp Proj - Tax Levy	0.00	95,000.00	95,000.00	95,000.00	95,000.00	47,500.00	427,500.00
Total A. Rev	0.00	456,773.12	953,246.60	95,003.26	136,332.48	99,841.48	1,741,196.94
B. Exp							
8891 Dwtwn Prop Purch/Exp	0.00	(372221.16)	(780944.33)	(933.95)	(2,481.58)	(1,639.89)	(1,158,220.91)
8892 Dwtwn Imp - Easemnts & Da...	0.00	0.00	0.00	(11,700.00)	(633,200.00)	0.00	(644,900.00)
8894 Septic Permits, Fees, Admin	0.00	0.00	0.00	(10,558.00)	(42,355.31)	(63,445.51)	(116,358.82)
8895 DNR Flood Imp Proj - Engineer	(6,673.00)	(54,384.11)	(29,242.00)	(157,437.85)	(198,277.10)	(57,271.49)	(503,285.55)
8896 Sanitary Sewer Imp	0.00	(395.00)	(87,311.07)	(293,780.46)	(194,199.55)	(94,892.41)	(670,578.49)
8897 Septic Construction Eng'g	0.00	0.00	0.00	(540.77)	(9,048.00)	(8,545.49)	(18,134.26)
8898 Flood Mitigation/ROW Serv	0.00	(9,754.75)	(4,480.00)	(19,787.25)	(87,667.80)	(14,084.00)	(135,773.80)
8899 Village Improvements	0.00	0.00	(33,513.00)	(28,452.75)	0.00	(4,381.18)	(66,346.93)
Total B. Exp	(6,673.00)	(436,755.02)	(935,490.40)	(523,191.03)	(1,167,229.34)	(244,259.97)	(3,313,598.76)
Total 800 City InfraStructure Imp Fd	(6,673.00)	20,018.10	17,756.20	(428,187.77)	(1,030,896.86)	(144,418.49)	(1,572,401.82)
805 Downtown Imp Debt Service							
4897 Levy PFA Loan Interest	0.00	0.00	0.00	0.00	8,000.00	0.00	8,000.00
4898 Levy Dwtwn Imp Tmp Imp Bd	0.00	0.00	0.00	0.00	0.00	14,000.00	14,000.00
4899 Levy Dwtwn Imp Bond	0.00	0.00	0.00	0.00	0.00	35,000.00	35,000.00
7737 Int Exp Dwtwn Tmp Imp Bd	0.00	0.00	0.00	0.00	(19,948.45)	(18,775.01)	(38,723.46)
7738 Bond Issue Expense	0.00	0.00	0.00	0.00	(53,263.75)	(1,108.00)	(54,371.75)
Total 805 Downtown Imp Debt Service	0.00	0.00	0.00	0.00	(65,212.20)	29,116.99	(36,095.21)
TOTAL	(6,673.00)	20,018.10	8,849.20	(540,884.02)	(1,369,590.38)	(185,788.18)	(2,074,068.28)

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City of Afton
City Infra-Structure Imp Projects - Detail by Account
 January through August 2016

Type	Date	Num	Source Name	Memo	Amount
4852 · VBWD Grant \$50M/Yr 10 Yrs					
Deposit	04/25/2016	4240		VBWD Grant: \$50,000 annually starting in 2015 for 10 years. \$500,000 Total	50,000.00
Total 4852 · VBWD Grant \$50M/Yr 10 Yrs					50,000.00
4896 · Flood Levy Imp Proj - Tax Levy					
Deposit	06/30/2016			DNR Match	47,500.00
Total 4896 · Flood Levy Imp Proj - Tax Levy					47,500.00
4898 · Levy Dwtwn Imp Tmp Imp Bd					
Deposit	06/30/2016			Levy Downtown Temp Imp Bond	14,000.00
Total 4898 · Levy Dwtwn Imp Tmp Imp Bd					14,000.00
4899 · Levy Dwtwn Imp Bond					
Deposit	06/30/2016			Levy PFA Loan(s)	35,000.00
Total 4899 · Levy Dwtwn Imp Bond					35,000.00
4917 · Interest Inc - Disaster Fd					
General J...	01/31/2016	interest		Interest Income	225.37
General J...	02/22/2016	interest		Interest Income	252.22
General J...	03/31/2016	interest		Interest Income	252.73
General J...	04/30/2016	interest		Interest Income	257.70
General J...	05/31/2016	interest		Interest Income	316.23
General J...	06/30/2016	interest		Interest Income	344.99
General J...	07/31/2016	interest		Interest Income	339.45
General J...	08/31/2016	interest		Interest Income	352.79
Total 4917 · Interest Inc - Disaster Fd					2,341.48
7737 · 2015A Int Exp Dwtwn Tmp Imp Bd					
General J...	01/31/2016	DwtwnImpBd	805 Downtown Imp Debt Service:7737 I...	Monthly Accrued Int Exp: 2015A Downtown Tmp Imp Bond	(2,346.88)
General J...	02/29/2016	DwtwnImpBd	805 Downtown Imp Debt Service:7737 I...	Monthly Accrued Int Exp: 2015A Downtown Tmp Imp Bond	(2,346.88)
General J...	03/31/2016	DwtwnImpBd	805 Downtown Imp Debt Service:7737 I...	Monthly Accrued Int Exp: 2015A Downtown Tmp Imp Bond	(2,346.85)
General J...	04/30/2016	DwtwnImpBd	805 Downtown Imp Debt Service:7737 I...	Monthly Accrued Int Exp: 2015A Downtown Tmp Imp Bond	(2,346.88)
General J...	05/31/2016	DwtwnImpBd	805 Downtown Imp Debt Service:7737 I...	Monthly Accrued Int Exp: 2015A Downtown Tmp Imp Bond	(2,346.88)
General J...	06/30/2016	DwtwnImpBd	805 Downtown Imp Debt Service:7737 I...	Monthly Accrued Int Exp: 2015A Downtown Tmp Imp Bond	(2,346.88)
General J...	07/31/2016	DwtwnImpBd	805 Downtown Imp Debt Service:7737 I...	Monthly Accrued Int Exp: 2015A Downtown Tmp Imp Bond	(2,346.88)
General J...	08/31/2016	DwtwnImpBd	805 Downtown Imp Debt Service:7737 I...	Monthly Accrued Int Exp: 2015A Downtown Tmp Imp Bond	(2,346.88)
Total 7737 · 2015A Int Exp Dwtwn Tmp Imp Bd					(18,775.01)
7738 · 2015A Adm Exp Dwtwn Temp Imp B					
Bill	01/31/2016	16-030	Springsted Incorporated	Continuing Disclosure Services - Temp Imp Bonds	(500.00)
Bill	02/28/2016	1099-S Forms2015	Niedzwiecki, Thomas H.	Prepare 1099-S Forms for Distribution to recipients for easements & damages, Downtown Impro...	(158.00)
Bill	04/30/2016	4273865	US Bank (Temp Imp Bond)	Admin Fee 4/1/16 to 3/31/17: Temp Imp Bonds	(450.00)
Total 7738 · 2015A Adm Exp Dwtwn Temp Imp B					(1,108.00)

City of Afton
City Infra-Structure Imp Projects - Detail by Account
January through August 2016

Type	Date	Num	Source Name	Memo	Amount
7900 · Street Imp Capital Projects					
7981 · Village Local Road Improvements					
Bill	03/31/2016	400-28	WSB (Street Imp)	Village Local Rd Improvements	(12,720.25)
Bill	04/30/2016	400-29	WSB (Village Local Road Imp)	Village Local Road Improvements	(12,619.50)
Bill	05/31/2016	742775282	Finance and Commerce	Bids re: Downtown Village Improvement Project	(250.73)
Bill	05/31/2016	0516415245	Pioneer Press	legal notices, advertisement for bids	(2,099.95)
Bill	05/31/2016	400-30	WSB (Village Local Road Imp)	Village Local Road Improvements, April 2016	(13,564.75)
Bill	06/30/2016	400-31	WSB (Village Local Road Imp)	Village Local Road Improvements, May 2016	(9,777.50)
Bill	08/31/2016	400-32	WSB (Village Local Road Imp)	Village Local Road Improvements, June 2016	(9,834.00)
Bill	08/31/2016	400-33	WSB (Village Local Road Imp)	Village Local Road Improvements, July 2016	(7,178.00)
Total 7981 · Village Local Road Improvements					(68,044.68)
7982 · CR 21 Improvement Project					
Bill	03/15/2016	27	WSB (Street Imp)	CR 21 improvement project	(661.50)
Bill	03/31/2016	390-28	WSB (Street Imp)	CR 21 Improvement Project	(661.50)
Bill	04/30/2016	390-29	WSB (CR21 Improvements)	CR 21 Improvement Project	(220.50)
Bill	05/31/2016	390-30	WSB (CR21 Improvements)	CR 21 Improvement Project, April 2016	(299.50)
Bill	08/31/2016	390-31	WSB (Street Imp)	CR 21 Improvement Project	(305.00)
Bill	08/31/2016	390-32	WSB (Street Imp)	CR 21 Improvement Project, July 2016	(294.00)
Total 7982 · CR 21 Improvement Project					(2,442.00)
Total 7900 · Street Imp Capital Projects					(70,486.68)
8890 · DNR Flood Imp Expense					
8891 · DNR Flood Imp - Prop Purch/Exp					
Bill	01/31/2016	488325562	Xcel Energy (51-0895345-1)	Eastwood - Septic Property 2318 St Croix Trl S Meter# 000071246886	(21.84)
Bill	03/16/2016	492048105	Xcel Energy (51-0895345-1)	Eastwood - Septic Property 2318 St Croix Trl S Meter# 000071246886	(21.63)
Bill	03/31/2016	590461	Wash Cty (Prop Records & Taxpayer Se...	04.028.20.43.0005 Full Year Prop Taxes	(120.00)
Bill	03/31/2016	495766537	Xcel Energy (51-0895345-1)	Eastwood - Septic Property 2318 St Croix Trl S Meter# 000071246886	(21.41)
Bill	04/30/2016	499486051	Xcel Energy (51-0895345-1)	Eastwood - Septic Property 2318 St Croix Trl S Meter# 000071246886	(24.17)
Bill	05/31/2016	MovingExp3561St...	Gehrke, James	Moving Expense 3561 St Croix Trl: Uniform Relocation Act reimbursement	(1,325.00)
Bill	05/31/2016	503218488	Xcel Energy (51-0895345-1)	Eastwood - Septic Property 2318 St Croix Trl S Meter# 96987678	(38.95)
Bill	06/30/2016	506961069	Xcel Energy (51-0895345-1)	Eastwood - Septic Property 2318 St Croix Trl S Meter# 96987678	(24.67)
Bill	07/31/2016	510714473	Xcel Energy (51-0895345-1)	Eastwood - Septic Property 2318 St Croix Trl S Meter# 96987678	(21.01)
Bill	08/31/2016	514473710	Xcel Energy (51-0895345-1)	Eastwood - Septic Property 2318 St Croix Trl S Meter# 96987678	(21.21)
Total 8891 · DNR Flood Imp - Prop Purch/Exp					(1,639.89)
8894 · Septic Permits, Fees, Admin					
Bill	01/31/2016	012616	Holstad & Knaak, PLC	Condemnation litigation: Downtown Imp Projects	(468.75)
Bill	01/31/2016	15587	Environmental Law Group	Environmental review and permitting issues	(6,944.00)
Bill	02/29/2016	2496	UW-La Crosse	authentication performed by Mississippi Valley Archeology Center -levee	(3,993.00)
Bill	02/29/2016	Feb2016	Holstad & Knaak, PLC	Condemnation litigation: Downtown Imp Projects	(533.00)
Bill	03/15/2016	15619	Environmental Law Group	Environmental review and permitting issues	(5,432.00)
Bill	03/15/2016	03012016	Holstad & Knaak, PLC	Condemnation litigation: Downtown Imp Projects	0.00
Bill	03/31/2016	2016010-01	Blondo Consulting LLC	Tribal Consultation through March 4 2016	(2,000.00)
Deposit	04/25/2016	55973810		MPCA: Refund sanitary sewer extension permit Oct 2015 not required	310.00

City of Afton
City Infra-Structure Imp Projects - Detail by Account
January through August 2016

Type	Date	Num	Source Name	Memo	Amount
Bill	04/30/2016	15704	Environmental Law Group	Environmental review and permitting issues	(5,460.00)
Bill	04/30/2016	15668	Environmental Law Group	Environmental review and permitting issues	(2,526.00)
Bill	04/30/2016	201603-01	Blondo Consulting LLC	Tribal Consultation through May 9, 2016	(3,700.00)
Bill	04/30/2016	2016038-01	Blondo Consulting LLC	Tribal Consultation through May 9, 2016	(1,500.00)
Bill	05/31/2016	10000006991	Minnesota Pollution Control Agency	Afton WWTP 2318 St Croix Trl S: Wastewater Annual permit fees	(505.00)
Bill	05/31/2016	2016010-02	Blondo Consulting LLC	Additional Architectural Studies: Total contract \$3,000	(1,000.00)
Bill	05/31/2016	2016037-02	Blondo Consulting LLC	Additional Archeological Testing	(2,500.00)
Bill	05/31/2016	15727	Environmental Law Group	Environmental review and permitting issues	(12,012.00)
Bill	05/31/2016	AFT-16-01	Archaeo-Physics	Lidar analysis and plotting of T.H. Lewis survey of the 21WA10 mound group	(5,340.76)
Bill	06/30/2016	15765	Environmental Law Group	Environmental review and permitting issues	(2,100.00)
Bill	06/30/2016	June2016	Holstad & Knaak, PLC	Condemnation	(225.00)
Bill	07/31/2016	07262016	Holstad & Knaak, PLC	Condemnation	(370.00)
Bill	07/31/2016	15795	Environmental Law Group	Environmental review and permitting issues	(5,516.00)
Bill	08/31/2016	15851	Environmental Law Group	Environmental review and permitting issues	(1,456.00)
Bill	08/31/2016	Aug2016	Holstad & Knaak, PLC	Condemnation	(174.00)
Total 8894 · Septic Permits, Fees, Admin					(63,445.51)
8895 · DNR Flood Imp Proj - Engineer					
Bill	03/15/2016	49	WSB (DNR Flood Imp)	Flood protection improvement project	(9,932.99)
Bill	03/31/2016	320--50	WSB (DNR Flood Imp)	Flood protection improvement project	(8,770.25)
Bill	04/30/2016	320-51	WSB (DNR Flood Imp)	Flood protection improvement project	(8,184.50)
Bill	05/31/2016	320-52	WSB (DNR Flood Imp)	Flood protection improvement project, April 2016	(5,537.75)
Bill	06/30/2016	320-53	WSB (DNR Flood Imp)	Flood protection improvement project, May 2016	(14,039.75)
Bill	08/31/2016	320-54	WSB (DNR Flood Imp)	Flood protection improvement project, June 2016	(6,239.00)
Bill	08/31/2016	320-55	WSB (DNR Flood Imp)	Flood protection improvement project, July 2016	(4,567.25)
Total 8895 · DNR Flood Imp Proj - Engineer					(57,271.49)
8896 · Sanitary Sewer Improvements					
Bill	02/29/2016	11600811	Wenck Associates Inc.	Wastewater System Engineering	(544.00)
Bill	03/15/2016	26	WSB (Sanitary Sewer Imp)	Sanitary Sewer Improvements	(9,397.66)
Bill	03/31/2016	410-27	WSB (Sanitary Sewer Imp)	Sanitary Sewer Improvements	(13,087.00)
Bill	04/30/2016	410-28	WSB (Sanitary Sewer Imp)	Sanitary Sewer Improvements	(12,505.25)
Bill	05/31/2016	410-29	WSB (Sanitary Sewer Imp)	Sanitary Sewer Improvements, April 2016	(9,881.25)
Bill	06/30/2016	11604064	Wenck Associates Inc.	Afton LSTS - Bidding, Construction & Post Construction Services	(1,255.45)
Bill	06/30/2016	410-30	WSB (Sanitary Sewer Imp)	Sanitary Sewer Improvements, May 2016	(17,431.75)
Bill	07/31/2016	11604962	Wenck Associates Inc.	Afton LSTS - Bidding, Construction & Post Construction Services	(97.05)
Bill	08/31/2016	410-31	WSB (Sanitary Sewer Imp)	Sanitary Sewer Improvements, June 2016	(16,028.25)
Bill	08/31/2016	410-32	WSB (Sanitary Sewer Imp)	Sanitary Sewer Improvements, July 2016	(14,664.75)
Total 8896 · Sanitary Sewer Improvements					(94,892.41)
8897 · Septic Construction Eng'g					
Bill	01/31/2016	11600301	Wenck Associates Inc.	Afton LSTS - Bidding, Construction & Post Construction Services	(6,854.64)
Bill	02/29/2016	11600812	Wenck Associates Inc.	Afton LSTS - Bidding, Construction & Post Construction Services	(1,690.85)
Total 8897 · Septic Construction Eng'g					(8,545.49)

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City of Afton
City Infra-Structure Imp Projects - Detail by Account
January through August 2016

Type	Date	Num	Source Name	Memo	Amount
8898 · Flood Mitigation/ROW Serv					
Bill	03/15/2016	29	WSB (Flood ROW Mitigation)	flood mitigation project right of way services	(441.00)
Bill	03/31/2016	321-30	WSB (Flood ROW Mitigation)	flood mitigation project right of way services	(879.75)
Bill	04/30/2016	321-31	WSB (Flood ROW Mitigation)	flood mitigation project right of way services	(1,610.25)
Bill	05/31/2016	321-32	WSB (Flood ROW Mitigation)	flood mitigation project right of way services, April 2016	(1,543.50)
Bill	06/30/2016	321-33	WSB (Flood ROW Mitigation)	flood mitigation project right of way services, May 2016	(6,263.00)
Bill	08/31/2016	321-34	WSB (Flood ROW Mitigation)	flood mitigation project right of way services, June 2016	(1,509.00)
Bill	08/31/2016	321-35	WSB (Flood ROW Mitigation)	flood mitigation project right of way services, July 2016	(1,837.50)
Total 8898 · Flood Mitigation/ROW Serv					(14,084.00)
8899 · Village Improvements					
Bill	07/28/2016	0616415245	Pioneer Press	DNR grant, Downtown Imp Projects bid	(4,381.18)
Total 8899 · Village Improvements					(4,381.18)
Total 8890 · DNR Flood Imp Expense					(244,259.97)
TOTAL					(185,788.18)