



CITY COUNCIL AGENDA
AFTON CITY COUNCIL CHAMBERS
3033 St. Croix Trail South
TUESDAY, June 19, 2018
7:00 P.M.

1. CALL TO ORDER

2. PLEDGE OF ALLEGIANCE

- 3. ROLL CALL**
- _____ Mayor Bend
 - _____ Council Member Nelson
 - _____ Council Member Ross
 - _____ Council Member Richter
 - _____ Council Member Palmquist

4. APPROVAL OF AGENDA

- A. Approval of the Agenda for the Regular City Council Meeting of June 19, 2018 -

5. APPROVAL OF MINUTES

- A. Minutes of the May 15, 2018 Regular City Council Meeting-

6. PUBLIC INPUT

Citizens may share their comments or concerns on any issue that is a responsibility or function of the Afton City Council, whether or not the issue is on the Agenda. Persons who wish to address the Council must fill out a Comment Card before the meeting begins and give it to the City Administrator or Council Chair. The Council Chair will request you to come to the podium, state your full name and address and present your comments. You are encouraged to limit your presentation to no more than 3 minutes. The Council Chair reserves the right to limit an individual's presentation if it becomes redundant, repetitive, overly argumentative, or if it is not relevant to an issue that is part of the City of Afton's responsibilities. The Council Chair may also limit the number of individual presentations to accommodate the scheduled agenda items.

7. REPORTS/PRESENTATIONS

- A. Sheriff's Monthly Report –
- B. Tom Niedzwiecki, Budget Report -
- C. Lower St. Croix Fire District Report –

8. CONSENT AGENDA

All matters listed on the Consent Agenda are considered to be routine by City Council and will be enacted in one motion. If a member wishes to discuss an item, that item will be removed from the Consent Agenda and considered separately. (Roll Call for Consent Agenda approval if Resolutions included):

- A. Just and Correct Claims
- B. 4M Fund Transfer – MAY - **Resolution 2018-28**

9. CITY COUNCIL BUSINESS

- A. **Planning Commission Report –** (PC Chair Report & Draft PC Minutes)
- 1. Afton Marina and Yacht Club, Inc./Boatyard Grill Application for a Conditional Use Permit for a Restaurant at 16071 31st Street - **Resolution 2018-29**
 - 2. Ordinance Amendment regarding allowed uses, design standards, landscape requirements and exterior storage in the City's Industrial zones (I1-A, I1-B and I1-C) - **Ordinance 01-2018**
 - 3. Comprehensive Plan Update

B. Engineering Report – (Engineer Staff Report & Council Update)

1. 2018 Pavement Management Project Change Order No. 4 and Pay Voucher No. 6 for Park Construction Company
2. 2018 Pavement Management Project Change Order No. 5 and Final Payment
3. 30th Street Culvert
4. Pay Voucher No. 1 for Great Northern Landscapes, Inc. for the Downtown Landscape Project

C. Administration –

1. Geislinger Pay Voucher No. 13
2. Bridge Repair items
3. 50th Street Large Patches
4. BJS Restaurants LLC Application for On Sale and Sunday Liquor License for the Boatyard Grill Restaurant at 16071 31st Street
5. Retaining Wall at Lift Station Control Panel adjacent to Steamboat Park Parking Lot.
6. Security Cameras at Town Square Park Restroom
7. Tree Removal in Town Square Park
8. Painting of City Hall
9. Videographer Compensation
10. Audio System Upgrade
11. Schedule Special Council Meeting

D. Committee Reports -

1. Public Works
2. Personnel
3. Parks
4. Heritage Preservation Commission / Design Review
5. Natural Resources and Groundwater

10. BOARD OF APPEALS HEARING

- A. Appeal of Administrative Determination Regarding the Scannell Properties Application for a CUP for a Bus Transportation Terminal

11. COUNCIL, CONSULTANT AND STAFF REPORTS, ANNOUNCEMENTS AND UPDATES

- A. Ward 1 Council Member Palmquist
- B. Ward 2 Council Member Richter
- C. Ward 3 Council Member Ross
- D. Ward 4 Council Member Nelson
- E. Mayor Bend
- F. City Attorney Knaak
- G. City Administrator Moore

11. ADJOURN

A quorum of the City Council or Other Commissions may be present to receive information at, but not limited to, any of the following meetings: Planning Commission; the Public Works Committee; Parks Committee; Design Review and Historic Preservation Commission; Lower St. Croix Cable Commission; LSCWMO; MSCWMO; I-94 Corridor Coalition and the 5-City Mayor's Alliance.

PROCEEDINGS OF THE AFTON CITY COUNCIL
CITY OF AFTON
WASHINGTON COUNTY, MINNESOTA

DRAFT City Council Regular Meeting Minutes
May 15, 2018
Afton City Hall
3033 St. Croix Trail
Afton, MN 55001
7:00 P.M.

11 **1. THE MEETING WAS CALLED TO ORDER** at 7:00 P.M. by Mayor Richard Bend

12 **2. THE PLEDGE OF ALLEGIANCE** – was recited.

13 **3. ROLL CALL:** Mayor Richard Bend, Council Members Richter, Palmquist, Ross, Nelson. **Quorum Present.**

14
15 **ALSO PRESENT:** Todd Hubner, (City Engineer), City Administrator Ron Moorse, City Attorney Fritz
16 Knaak, City Accountant Tom Niedzwiecki (for first portion of the meeting), Planning Commission Chair Kris
17 Kopitzke.

18 **4. APPROVAL OF AGENDA** – [some agenda items were discussed out of sequence]

19 **A. Agenda for the Regular City Council Meeting of May 15, 2018**

20 Agenda changes: add item County Commissioner Gary Krisel; change item 7.d. school superintendent unable
21 to attend; add items 10c12, Lights on Flag; 10c13, Tree off 35th St, move closed session to 10c14.

22 **Motion/Second Ross/Palmquist To approve the Agenda of the May 15, 2018 Regular City Council
23 Meeting as amended. Passed 5-0.**

24 **5. APPROVAL OF MINUTES**

25 **A. Minutes of the April 17, 2018 Regular City Council Meeting**

26 Council member Richter would like both sets of findings and conditions should be put in minutes, if
27 including at all. Mayor Bend agree both sets should be in. Council member Palmquist stated that typically
28 this much information is not included.

29 Attorney Knaak pointed out that the council can decide what to reflect. Often not a bad idea to include
30 more to support the full discussion.

31 Council member Nelson recommended leaving in and to include supplemental packet items from Richter
32 attached at the end.

33 **Motion/Second Bend/Nelson To approve the minutes of the April 17, 2018 City Council Regular
34 Meeting with Joe Richter's addition from the supplemental packet. Passed 5-0.**

35 **B. Minutes of the April 4, 2018 City Council Work Session Motion/Second Palmquist/Ross To approve
36 the minutes of the April 4, 2018 City Work Session. Passed 5-0.**

37 **6. PUBLIC INPUT** –

38 Pete Gere, 1877 Quasar Ave S, Lake St Croix Beach. Talked about the 5 city Veterans memorial. The group
39 currently has no representatives from Afton. Information will be put in the next newsletter about the
40 memorial.

41 Kevin O'Hara, 3032 St Croix Tr, Mudslinger pottery. Has a street sign "Mudslinger Way" and would like to
42 know if he can put up on his side street or if there is a procedure.

43
44
45 Perry J Eggers 13379 50th St. Spoke against the development that was approved last month stating that many
46 houses cannot be put in the Ag zone. All of the city committees were against it.
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55 Julie Ziedel 3055 St Croix Tr.; Thank you for putting trees in on her property.
56

57 **7. REPORTS/PRESENTATIONS -**

58 **A. Sheriff's Monthly Report**

59 Sargent summarized the successful Jessie Diggins event.
60

61 **B. Tom Niedzwiecki, Budget Report**

62 Tom provided the monthly financial summary. Audit will be presented next month.

63 Council member Nelson asked about the fire dept. increases and the impact.

64 Council member Palmquist asked about hourly pay for the fire dept

65 **Motion/Second Palmquist/Ross to split the road dept. service fund into 2 separate accounts. Passed**
66 **5-0.**

67
68 **C. Lower St. Croix Fire District Report**

69 Council member Nelson presented a hand-out with a proposed budget, 4.67 increase, 5% annual increase
70 thereafter. Based on population and tax capacity. Would like to sit down with joint powers committee
71 and discuss.

72 Mayor Bend stated that all of the members will have to agree in order to amend.

73 **Motion/Second Nelson/Richter To have Ron request a meeting of the joint powers committee.**

74 **Friendly amendment Palmquist: To wait 2 weeks. (accepted)**

75 **Passed 5-0.**
76

77 **D. Gary Kriesel County Commissioner**

78 Commissioner Kriesel Thanked the city for the success of Jessie Diggins Day. Traffic management and
79 everything else went very smoothly. Special thanks to Council member Ross for coordinating, the Mayor
80 and the Council for their support.

81
82 Washington County Sherriff Dan Starry presented the city with a "Jessie Diggins Trail" street sign.
83

84 **E. Jill Lucas, Valley Branch Watershed District Board of Managers**

85 Jill provided a summary of VBWD history, communities, projects and their new website. Grant money
86 for the Kelle's Creek septic program is still available until the end of 2018.
87

88 **F. Afton Historical Museum Presentation of Framed Historic Plat**

89 Council member Ross in his role as president of the museum presented the city a framed print of an
90 original plat map of Afton.
91

92 **8. EXTENSION OF TEMPORARY MORATORIUM – PUBLIC HEARING**

93 **A. Ordinance Amendment Extending Ordinance 4-2017**

94 Administrator Moorse provided the following information: On July 24, 2017, the Council adopted interim
95 ordinance 04-2017 placing a temporary moratorium on zoning applications for certain use classifications
96 in the City to enable the City to conduct studies for the purpose of consideration of possible revision and
97 amendments to the City's official controls to address issues related to its use classifications, most
98 specifically to those matters related to exterior storage in industrially zoned areas within the City. The
99 interim ordinance and moratorium expire on June 15, 2018. The process of completing the studies and
100 drafting and adopting an ordinance that reflects the results of the studies of uses that involve exterior
101 storage as well as other industrial use regulations has not been completed, and is not expected to be
102 completed until at least the June 19 meeting of the City Council.
103

104 Mayor Bend opened the public hearing at 8:07 pm.

105 No comments were received from the public

106 Public hearing closed at 8:08 pm

107 **Motion/Second Palmquist/Bend To adopt Ordinance 02-2018 extending Interim Ordinance 04-2017**
108 **and the related temporary moratorium from June 15, 2018 to July 24, 2018. Roll call: all aye,**
109 **passed 5-0.**

110
111 **9. CONSENT AGENDA**

112 A. Just and Correct Claims

113 B. 4M Fund Transfer – APRIL – Resolution 2018-24

114 **Motion/Second Palmquist/Richter To approve consent agenda and Resolution 2018-24 approving**
115 **April transfers. Roll call: All aye, passed 5-0.**

116
117 **10. CITY COUNCIL BUISINESS**

118 **A. Planning Commission Report** – (PC report & Draft PC minutes)

119 Commission member Doherty summarized the May meeting of the planning commission.

120 1. Nicholas Squires Variance Application at 14641 Afton Boulevard – **Resolution 2018-25**

121 Administrator Moose provided a summary of the application: Nicholas Squires is proposing to construct
122 a 1,920 square foot accessory building in the front yard of his property at 14641 Afton Boulevard.

123 The property does not have any frontage on Afton Boulevard, but is located at the end of a private
124 driveway that serves several properties and is also located at the end of a platted but unimproved public
125 street right-of-way. The parcel is 11 acres, which allows an accessory building up to 2,500 square feet.
126 The side and rear setbacks for an accessory building up to 1500 square feet are 50 feet. The setbacks for
127 an accessory building greater than 1500 square feet are 100 feet.

128
129 Council member Palmquist asked about the unimproved road at site. Moose replied that if the cul de sac
130 is developed in the future, the setback will be met.

131
132 **Motion/Second Palmquist/Ross to approve Resolution 2018-25 approving the variance application.**
133 **Roll call: all aye, passed 5-0.**

134
135 2. Tom Hinz Variance Application at 4787 Manning Avenue – **Resolution 2018-26**

136 Administrator Moose provided a summary of the application: Thomas and Louise Hinz are proposing to
137 relocate the driveway at 4787 Manning Avenue to the north to provide a safer entrance to Manning
138 Avenue. The property is 4.7 acres and is zoned Agriculture, as is the property to the north, south and east.
139 The current driveway has a poor sightline to traffic coming over a hill to the south. The Minnesota
140 Department of Transportation (Mn/DOT), which is constructing road improvements on Manning Avenue
141 in the area of 4787 Manning Avenue, has indicated it will relocate the driveway to the north to improve
142 the sightline. Because the preferred location of the driveway is in the area of an existing culvert under
143 Manning Avenue, the driveway is proposed to be located north of the culvert, three feet from the north
144 property line. The proposed plans require a variance to the required ten foot sideyard setback.

145
146 Council member Palmquist asked if Mn/DOT is paying for this. Mr. Hinz replied, yes.

147
148 **Motion/Second Richter/Bend to approve Resolution 2018-26 approving the variance request at 4797**
149 **Manning Ave. Roll call: all aye, passed 5-0.**

150
151 3. Ray Pruban Minor Subdivision Application at 2158 Oakgreen Avenue – **Resolution 2018-27**

152 Administrator Moose provided a summary of the application: Ray Pruban has applied for a minor
153 subdivision at 2158 Oakgreen Avenue to subdivide the existing 45 acre parcel into three lots. Mr.
154 Pruban has a purchase agreement on the property that is subject to approval of the minor subdivision.

155
156 Discussion was held about the 16.5' strip of land along the road with the easement over it. Palmquist
157 asked about easement

158 **Motion/Second Bend/Palmquist To approve Resolution 2018-27 approving the Subdivision**
159 **Application at 2158 Oakgreen Ave with findings and conditions.**

160 Discussion

161 Council member Richter offered friendly amendment to add condition that no further subdividing of
162 parcel C will be allowed. (Bend accept)

163 Pruban noted that it is not sub-dividable in current situation.

164 Council member Richter pointed out that a variance could be requested in the future if conditions change.

165 Attorney Knaak stated that if recorded with the resolution, a variance could be requested in the future,
166 and a resolution could undo. Wouldn't have to prove hardship.

167 **Roll call vote – all aye, passed 5-0.**

168
169 **B. Engineering Report – (Engineer Staff Report & Council Update)**

170 1. Change Order No. 10 for the Downtown Village Improvement Project

171 **Motion/Second Nelson/Palmquist to approve Change Order No. 10 for the Downtown Village**
172 **Improvement Project in the amount of \$18070.42 to Geislinger and Sons, Inc. Passed 5-0.**

173
174 2. 2018 Crack Filling Project Price Quotes

175 **Motion/Second Palmquist/Ross to approve quote from Fahrner Asphalt Sealers LLC in amount of**
176 **\$45,279.68. Passed 5-0**

177
178 3. Scope of Work and cost for Hydrologic Analysis for the Bridge on Valley Creek Trail over Valley
179 Creek

180 **Motion/Second Palmquist/Richter to approve WSB to perform a hydrologic model of the existing**
181 **drainage area and coordinate with the VBWD at a cost not to exceed \$3,500. Passed 5-0.**

182
183 **C. Administration –**

184 1. Preparation of a Development Agreement for the Afton Creek Preserve Subdivision

185 Administrator Moorse provided the following information: At its May 2, 2018 Special Meeting, the
186 Council reviewed a proposal from attorney Mark Vierling for the preparation of a development
187 agreement for the Afton Creek Preserve Subdivision. The Council also asked City Attorney Fritz
188 Knaak if he was interested in preparing the development agreement. Mr. Knaak indicated that he was
189 interested and also would recommend Tim Keane, City Attorney for South St. Paul. Mr. Knaak
190 indicated he would submit a proposal for preparing the development agreement and would also contact
191 Mr.Keane regarding his interest.

192 **Motion/Second Palmquist/Nelson To accept the proposal from attorney Fritz Knaak to prepare**
193 **the development agreement for the Afton Creek Preserve subdivision.**

194 Discussion

195 Council member Richter asked about level of detail

196 Mayor Bend would like to add that construction traffic is not allowed at the Odell access and that all
197 requirements of the Ordinances are met

198 Council member Palmquist asked about adding a condition of no construction until final plat approved

199 Council member Ross asked about procedure and indicated he would like time to review.

200 Attorney Knaak responded that comments can be sent to Ron. Document will be done prior to
201 approval of final plat.

202 **Motion Vote: passed 5-0**

203
204 2. Draft Ordinance Amendment Regarding Industrial Uses

205 Administrator Moorse provided a summary of the planning commission's discussion.

206 The Council reviewed the items.

207 Council member Palmquist stated he would lean toward having requirements, rather than
208 encouragements

209 Mayor Bend stated it should specific in architectural standards, not subjective

- 210 **Motion/Second Palmquist/Bend To refer the ordinance amendment back to the Planning**
211 **Commission for a public hearing. Passed 5-0.**
212
- 213 3. Additional Speed/Noise Patrol During the Summer Months
214 Administrator Moore provided the following information:
215 In response to concerns regarding the need for additional speed/noise enforcement, the Council
216 included funding of \$5,000 in the 2018 General Fund Budget for additional speed and noise
217 enforcement by the Washington County Sheriff's Department. In past years, additional enforcement
218 has been provided starting on the Memorial Day Holiday weekend. The cost for the additional
219 enforcement is \$60.00 per hour. The additional enforcement is normally provided in 4-hour
220 increments. It is recommended that additional enforcement be provided for at least two 4-hour
221 increments during the Memorial Day Holiday weekend. The Council may also want to consider
222 planning for additional enforcement during the 4th of July Holiday weekend.
223 **Motion/Second Palmquist/Nelson To authorize 10, four hour increments of additional**
224 **enforcement between Memorial day and July 1 scheduled as per the county. Passed 5-0**
225
- 226 4. Painting of City Hall
227 **Motion/Second Nelson/Palmquist To accept the price quote of Kerschbaum Renovation in the**
228 **amount of \$4,400 for the painting of the City Hall and staining the exterior stairs.**
229 Discussion
230 Mayor Bend added friendly amendment to include caulking and painting of all windows.
231 It is uncertain if the quote included that or not.
232 Mayor Bend suggested to table.
233 **-Motion withdrawn-**
234
- 235 5. Seasonal Staff Hires and Pay Adjustments
236 **Motion/Second Bend/Ross To approve hiring Tom Pahl as the lead seasonal maintenance**
237 **worker at the rate of \$12.75/hour and hiring Will Gasperini as a seasonal maintenance worker**
238 **at the rate of \$11.25/hour. Passed 5-0.**
239
- 240 6. Planning Commission Compensation
241 Discussion was held regarding if the planning commission members should receive compensation.
242 Most communities do not compensate.
243 **Motion/Second Richter/Ross To compensate planning commission members at \$50 per month.**
244 **Vote 2 aye, 3 nay. Failed 2-3**
245
- 246 7. Rinta Park Tree Removals
247 **Motion/Second Bend/Nelson to approve \$800 for tree removal at Rinta gardens.**
248 **-Motion withdrawn-**
249
- 250 8. Laserfiche Scanning Options
251 **Motion/Second Ross/Bend to approve the additional cost of \$5,000 to enable the property file**
252 **documents to be sorted into the proper property file structure as they are scanned.**
253 Council member Palmquist stated that it could be done as needed over time rather than incurring
254 more cost.
255 **Vote: 3 aye, 2 nay (Richter, Palmquist). Passed. 3-2**
256
- 257 9. Schedule Special Council Meeting
258 May 30, 7:00
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- 260 10. Schedule Council Work Session
261 May 30, 5:00

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- 11. Paperless Agenda Packets Technology
Motion/Second Palmquist/Ross To authorize the purchase of a Microsoft Surface for each council member and administrator, along with a pen at total cost not to exceed \$7,800. Passed 5-0.
- 12. Flag light relocation
Estimate relocate the light which shines on the city hall flag is \$675.00
Motion/Second Nelson/Bend To table item. Passed 5-0.
- 13. Tree removal off 35th St
Five trees are located on city property, overhanging structures and road.
Motion/Second Bend/Nelson to approve removal of trees at cost not to exceed \$1,650. Passed 5-0.
- 14. **Closed Session:** Nationstar Settlement Proposal
Council went into closed session at 11:06 p.m. after addressing items 10D and 11.

D. Committee Reports (taken out of order)

- 1. Public Works – no report
- 2. Personnel – no report
- 3. Parks – no report
- 4. Heritage Preservation Commission / Design Review – meet Wed
- 5. Natural Resources and Groundwater – no quorum

11. COUNCIL, CONSULTANT, AND STAFF REPORTS, ANNOUNCEMENTS, AND UPDATES

- A. Ward 1 Council Member Palmquist – equipment by Steamboat Park
- B. Ward 2 Council Member Richter – truck activity
- C. Ward 3 Council Member Ross – no report
- D. Ward 4 Council Member Nelson – fire dept.
- E. Mayor Bend – weed complaints
- F. City Attorney Knaak – no report
- G. City Administrator Moorese – no report

12. ADJOURN –

Meeting adjourned at

Respectfully submitted by:

Julie Yoho, City Clerk

Approved by Council (June 19, 2018) as (check one): Presented: _____ Amended: _____

Mayor Richard Bend _____ Date _____

Citations for: Afton
5/1/2018 To 5/31/2018

Agcy	Date	Citation Number	Badge	Officer Name	Citation Type	Block	Street Name	Str Sfx	Cross Street Name	Cross St Sfx	City	Literal Description	Statute
WCSO	5/5/2018	820087812501	115	M. Tellez	Citation	0	KEATS AVE S		40TH ST S		Afton	MOV-Speed-Exceed 55 mph	169.14.2(a)(3)
WCSO	5/5/2018	820087812502	115	Miguel Tellez	Citation	0	KEATS AVE S		40TH ST S		Afton	MOV-Speed-Exceed 55 mph	169.14.2(a)(3)
WCSO	5/6/2018	820087812602	115	M. Tellez	Citation	0	MANNING AVE N		15TH ST S		Afton	MOV-Speed-Exceed 55 mph	169.14.2(a)(3)
WCSO	5/6/2018	820087812604	115	M. Tellez	Citation	0	HUDSON RD S		IDIAN TR S		Afton	MOV-Speed-Exceed Limit	169.14.2(a)
WCSO	5/7/2018	820012812702	151	J. Stafne	Citation	0	HUDSON RD S				Afton	DL-Fail to Obtain MN DL within 60 days of becoming resident MOV-Fail to Drive with Due Care	171.02.1
WCSO	5/7/2018	820012812702	151	J. Stafne	Citation	0	HUDSON RD S				Afton	DL-Fail to Obtain MN DL within 60 days of becoming resident MOV-Fail to Drive with Due Care	169.14.1
WCSO	5/7/2018	820029812701	1267	S. Lester	Written Warning	0	MANNING AVE S		50TH ST S		Afton	MOV-Speed-Exceed Speed Limit Posted in Local Jurisdiction	169.14.5
WCSO	5/13/2018	820087813301	115	Miguel Tellez	Citation	0	AFTON BLVD S		PENNINGTON AVE S		Afton	MOV-Speed-Exceed Limit	169.14.2(a)
WCSO	5/16/2018	820025813601	130	D. Bump	Citation	14300	HUDSON RD S				Afton	MOV-Speed-Exceed Limit	169.14.2(a)
WCSO	5/17/2018	820018813701	1253	A. Jaring	Citation	0	HUDSON RD S				Afton	CRIM-Alcohol-Underage Possession CRIM-Possession of Drug Paraphernalia CRIM-Possess or Sell Small Amount of Marijuana (42.5 grams or less)	340A.503.3

Citations for: Afton

5/1/2018 To 5/31/2018

Agcy	Date	Citation Number	Badge	Officer Name	Citation Type	Block	Street Name	Str Sfx	Cross Street Name	Cross St Sfx	City	Literal Description	Statute
WCSO	5/17/2018	820018813701	1253	A. Jaring	Citation	0	HUDSON RD S				Afton	CRIM-Alcohol-Underage Possession CRIM-Possession of Drug Paraphernalia CRIM-Possess or Sell Small Amount of Marijuana (42.5 grams or less)	152.092(a)
WCSO	5/17/2018	820018813701	1253	A. Jaring	Citation	0	HUDSON RD S				Afton	CRIM-Alcohol-Underage Possession CRIM-Possession of Drug Paraphernalia CRIM-Possess or Sell Small Amount of Marijuana (42.5 grams or less)	152.027.4(a)
WCSO	5/19/2018	820018813901	0	A. Jaring	Citation	0	MANNING AVE S		30TH ST S		Afton	MOV-Speed-Exceed Limit	169.14.2(a)
WCSO	5/20/2018	820025814001	1280	T. VanSomeren	Citation	0	HUDSON RD S		NEAL AVE S		Afton	CRIM-Possess Small Amount of Marijuana in MV (1.4 grams or more) CRIM-Possession of Drug Paraphernalia	152.027.3
WCSO	5/20/2018	820025814001	1280	T. VanSomeren	Citation	0	HUDSON RD S		NEAL AVE S		Afton	CRIM-Possess Small Amount of Marijuana in MV (1.4 grams or more) CRIM-Possession of Drug Paraphernalia	152.092(a)
WCSO	5/25/2018	820056814501	WC9800	C. Evens	Citation	0	MANNING AVE S		20TH ST S		Afton	MOV-Insurance-Owner Fail To Produce Proof-No Proof of insurance	169.791.4
WCSO	5/30/2018	820029815002	WC12112	S. Lester	Citation	0	MANNING AVE S		50TH ST S		Afton	MOV-Speed-Exceed Speed Limit Posted in Local Jurisdiction	169.14.5

6/01/18 5:00:01

Washington County Sheriff's Office
 CONTRACT ICR's
 Contract Report for AFTON
 For the Period 5/01/18 To 5/31/18

Date	Time	ICR #	ID#	Street Name	Complaint
5/01/18	7:20:27	118014436	0176	MAJESTIC PINES	OFFICERS INFO
5/01/18	12:33:19	118014476	0067	AFTON BLVD CT	ALARM
5/01/18	12:45:49	118014480	0130	TOMAHAWK DR	FOUND DOG
5/01/18	16:13:13	118014513	0091	22ND ST	DUMPING COMPLAINT
5/01/18	18:35:42	118014524	0172	15TH ST	WELFARE CHECK/SUICIDAL JUVENIL
5/02/18	7:10:15	118014577	0130	VALLEY CREEK TR	CIVIL ISSUE
5/02/18	7:16:55	118014578	0130	FAHLSTROM PL	MEDICAL LEVEL 1
5/02/18	9:02:01	118014595	0130	SAINT CROIX TR	ANIMAL QUESTIONS
5/02/18	12:02:49	118014627	0130	32ND ST	DAMAGE TO PROPERTY
5/03/18	8:28:09	118014749	0095	15TH ST	THEFT REPORT
5/03/18	9:19:04	118014758	0095	MEADOW BLUFF TR	ALARM
5/03/18	10:06:44	118014761	0163	15TH ST	CPS REFERRAL
5/03/18	20:01:55	118014849	0086	32ND ST	911 OPEN LINE
5/04/18	10:42:52	118014915	0151	ST CROIX TR	DIRECTED PATROL
5/04/18	17:49:05	118014987	1204	NEAL AV	PUBLIC ASSIST
5/05/18	1:15:05	118015023	0074	MEADOW BLUFF TR	JUVENILE CONCERN
5/05/18	4:53:38	118015028	0074	HUDSON RD	ALARM
5/05/18	10:51:24	118015046	0115	NEAL AV	SPEEDING 69/55
5/05/18	11:07:17	118015047	0115	NEAL AV	SPEEDING 71/55
5/05/18	14:16:09	118015062	0151	SAINT CROIX TR	DIRECTED PATROL-SPEED
5/05/18	18:55:23	118015094	0086	MANNING AV	GRASS FIRE
5/06/18	9:46:34	118015148	0115	MANNING AV	SPEEDING 70/55
5/06/18	13:58:11	118015169	0115	HUDSON RD	SPEEDING 70/50
5/06/18	16:47:50	118015184	0090	ST CROIX RIVER	BOATER COMPLAINT
5/06/18	19:49:02	118015204	1267	44TH ST	MEDICAL LEVEL 1 3RD PARTY
5/07/18	8:09:47	118015243	0151	HUDSON RD	2 CAR ACCIDENT
5/07/18	9:33:13	118015260	0094	SAINT CROIX TR	ABANDONED VEHICLE
5/07/18	14:46:09	118015323		15TH ST	RECEIPT# 180002052
5/07/18	17:01:49	118015335	1267	MANNING AV	TRAFFIC - SPEED 68 MPH IN CONS
5/07/18	17:31:26	118015340	0091	40TH ST	VEHICLE LOCKOUT
5/08/18	10:07:30	118015426	0067	50TH ST	911 OPEN LINE
5/08/18	20:58:21	118015517	1267	NEAL AV	EXTRA PATROL REQ - DRIVEWAY TO
5/09/18	10:22:56	118015563	0100	59TH ST	OFFICERS INFO
5/09/18	14:43:44	118015600		EAST OAKGREEN C	RECEIPT# 180002072
5/09/18	20:14:40	118015651	0091	MANNING AV	DRIVING COMPLAINT
5/09/18	21:29:46	118015667	0091	AFTON HILLS DR	PUBLIC ASSIST **RSTK CALL
5/10/18	14:11:48	118015730	0063	AFTON BLVD	ALARM
5/11/18	1:25:58	118015796	1253	HUDSON RD	COMMERCIAL BURG ALARM
5/11/18	14:30:30	118015880	0093	TOMAHAWK DR	PARKING COMPLAINT
5/11/18	14:42:44	118015883	0100	MANNING AV	2 VEHICLE ACCIDENT

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5/11/18 16:56:41 118015908 0097 VALLEY CREEK TR TRESSPASSING **RSTK 170 PLS
5/11/18 20:16:58 118015933 0117 I94 DRIVING COMPLAINT
5/12/18 6:16:13 118015961 0077 TRADING POST ANIMAL CONCERN
5/12/18 18:17:42 118016006 1280 TOMAHAWK DR CUSTODY ISSUE
5/13/18 9:08:51 118016044 0115 SAINT CROIX RIV POSSIBLE CAPSIZED BOAT
5/13/18 10:22:49 118016049 0115 41ST ST MEDICAL LEVEL 1
5/13/18 10:47:20 118016051 0115 AFTON BLVD SPEEDING 74/45
5/13/18 14:06:34 118016063 0093 WEST OAKGREEN C IDENTITY THEFT REPORT
5/13/18 16:05:59 118016075 0084 PIKE AV ABANDONED VEHICLE
5/13/18 18:41:12 118016098 1414 ST CROIX RIVER WATERCRAFT VIOLATION
5/13/18 20:04:34 118016114 1280 STAGECOACH TR NEIGHBOR COMPLAINT
5/13/18 21:01:45 118016121 0065 2ND ST POSSIBLE DOMESTIC *COM
PRT CONTRACT ICR REPORT MTMANDT Page 2

6/01/18 5:00:01

Washington County Sheriff's Office
CONTRACT ICR's
Contract Report for AFTON
For the Period 5/01/18 To 5/31/18

Date Time ICR # ID# Street Name Complaint

5/14/18 1:38:40 118016135 1252 CROIXVIEW DR DEATH NOTIFICATION
5/14/18 16:07:48 118016255 0091 AFTON HILLS DR 911 OPEN LINE
5/15/18 10:15:42 118016337 0151 SAINT CROIX TR PUBLIC WORKS
5/15/18 13:16:17 118016358 0151 30TH ST LOOSE HORSES
5/15/18 15:13:05 118016378 0076 10TH ST TRESPASSING COMPLAINT
5/15/18 17:01:30 118016399 0076 NEAL AV HELICOPTER COMPLAINT
5/15/18 19:55:56 118016428 0076 15TH ST MISSING HORSE
5/15/18 20:44:07 118016431 0094 36TH ST MISSING DOG **RESTACK INFO
5/16/18 10:59:09 118016479 0130 HUDSON RD TRAFFIC SPEED
5/16/18 11:25:55 118016484 0151 AFTON HILLS DR ALARM
5/16/18 11:28:43 118016485 0067 STAGECOACH TR 911 OPEN LINE/DISCONNECT
5/16/18 13:00:44 118016496 0095 57TH ST GUN SHOTS HEARD
5/16/18 16:32:27 118016529 0086 I94 DRIVING COMPLAINT
5/16/18 16:54:34 118016534 0170 STAGECOACH TR FRAUD REPORT
5/17/18 6:13:56 118016594 0092 HUDSON RD CHECK THE WELFARE
5/17/18 13:20:23 118016644 0130 STAGECOACH TR COMMERCIAL FIRE ALARM
5/17/18 16:25:34 118016684 0076 SAINT CROIX TR DRIVING COMPLAINT
5/17/18 19:05:34 118016707 0076 MEADOW BLUFF TR SUSPICIOUS VEHICLE
5/17/18 21:13:38 118016727 0086 I94 DRIVING COMPLAINT
5/17/18 23:08:58 118016734 1208 HUDSON RD COMMERCIAL BURG ALARM
5/18/18 12:16:27 118016794 0100 I94 MC CRASH
5/18/18 19:36:32 118016867 0086 NEAL AV ALARM
5/18/18 20:21:08 118016870 0084 INDIAN TR ACCIDENT
5/18/18 20:50:55 118016873 0086 STAGECOACH TR AUDIBLE ALARM
5/19/18 0:10:57 118016887 1253 MANNING AV TRAFFIC - SPEED 70MPH/55MPH
5/19/18 15:34:30 118016930 0084 SAND HILL RD NOISE COMPLAINT
5/19/18 17:11:50 118016938 0091 40TH ST ACCIDENT **RSTK CALL DIANE
5/20/18 3:11:41 118016972 0145 NEAL AV WELFARE CHECK

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5/20/18 8:13:14 118016979 0138 MANNING AV THEFT
5/20/18 15:29:26 118017009 0065 8TH ST CT MULTIPLE REPORTS
5/20/18 17:06:27 118017017 1280 SAINT CROIX TR MEDICAL LEVEL 1
5/20/18 18:16:57 118017027 1280 MAJESTIC PINES CIVIL ISSUE
5/20/18 20:11:42 118017036 1280 AFTON BLVD COMMERCIAL BURG ALARM
5/20/18 20:19:11 118017037 1217 I94 WELFARE CHECK
5/20/18 20:23:05 118017039 0065 STAGECOACH TR BURNING COMPLAINT
5/20/18 21:54:29 118017047 1411 ST CROIX RIVER BOAT STOP NO WAKE WW
5/20/18 22:54:31 118017051 1280 HUDSON RD TRAFFIC - SMALL AMOUNT MJ IN M
5/21/18 8:20:54 118017077 0151 SAINT CROIX TR PUBLIC ASSIST
5/21/18 11:36:10 118017112 0094 INDIAN TR ALARM
5/21/18 18:16:09 118017186 1280 31ST ST SUSPICIOUS ACTIVITY **RSTK
5/22/18 9:28:55 118917209 0100 SAINT CROIX TR OFFICERS INFO
5/22/18 9:30:25 118917210 0100 SAINT CROIX TR OFFICERS INFO

Total ICRs Processed: 94

** END OF REPORT **

City of Afton – Financial Reports May, 2018

Ref	Description	Pages
A.	Balance Sheet + Cash Position Schedules	A1 to A4
B.	Statement of Changes in Fund Balance: Current Month	B1
C.	Statement of Changes in Fund Balance: Year to Date	C1
D.	Statement of Revenue and Expenditures: General Fund Summary plus Detail for All Other Funds	D1 to D8
E.	Detail Statement of Revenue and Expenditures: General Fund Only	E1 to E6
F.	Summary and Detail of Special Activities Fund - YTD	F1 to F3
G.	Street Improvement Fund: YTD Detail by Account	G1
H.	Building and Land Fund: YTD Detail by Account	H1 to H2
I.	City Dock Fund: YTD Detail by Account	I1
J.	General Fund Streets, Rehab and Public Works: YTD Detail by Account	J1 to J2
K.	Customer Receipts and Other Deposits – MTD Sorted by Account	K1 to K4
L.	Claims Paid during May: \$161,997.44	L1 to L15
M.	Permit Escrow and Fee Detail	M1 to M17
N.	Building Insp Fees by Acct: YTD Detail for Afton	N1 to N3
O.	Park Reserve Fund – YTD Detail by Account	O1
P.	Road Debt Service Fund – YTD Detail by Account	P1
Q.	City Infra-Structure Improvement Fund – LTD Summary + YTD 2018 Detail	Q1 to Q4

Significant Revenue:

- \$15,360 Acct#4437 Xcel & CPEnergy Utility Franchise Fees 1st Qtr.

Street Improvement Fund Cash Flow:

The Claims include the final two pay vouchers to Park Construction totaling \$316,212. This puts the remaining funds from the 2017B Road Bond at \$51,556. There is no remaining retainage for Park Const. I suspect we may yet see a final engineering bill, though.

Downtown Projects Cash Flow:

In May we received \$66,699 in PFA Grants and Loans- and \$37,058 in Special Assessments. Expenses totaled \$162,459 so we needed an additional cash flow transfer of \$59,000 from the Street Improvement Fund, putting the total transfer at \$383,000.

Significant Expense:

- Snow & Ice thru 5/31/18 is now at \$93,632, 85.1% of the Annual Budget. We have \$30,000 in the Special Activities Fund for Snow & Ice Reserve which we may need later this year.
- \$20,836 Acct#5525 LMCIT Annual Premium for Genl Prop & Liab Ins. This compares favorably to budget of \$21,000.
- \$3,399 Acct#6342 LMCIT deductible and legal services for claim.
- \$7,924 Acct #5561 Communications (funded by Cable Dist) for the MS Surface Pros.


 Prepared by Thomas H. Niedzwiecki, Accountant

**City of Afton
Balance Sheet
May 31, 2018**

Account #	Account Description	#100 General Fund	#115 Buildings & Land Capital Fund	#120 Street Imp Capital Fund	#200 Park Reserve Fund	#250 Special Reserve Fund	#400 201 Project Fund	#500 Fire Station: Debt Serv Fund	#550 Spec Act Fd + #600 MN Investment Fd	#800 & 805 City Infrastructure Improvement Fund	#725 Road Debt Serv Fd	#810 City Dock Fund	Total All Funds
Assets													
100	4M Fund: General Fund	629,580											629,580
100.8	Petty Cash	399											399
115	4M Fund: Bldg & Land Capital Fund		(34,937)										(34,937)
120	4M Fund: Street Imp Fd - Regular			792,598									792,598
120	4M Fund: Street Imp Fd - Downtown			121,569									121,569
120/725	4M Fund: 2017 Pavement Project										51,556		51,556
200	4M Fund: Park Reserve Fund				63,071								63,071
250	4M Fund: Special Reserve Fund					362,649							362,649
400	4M Fund: 201 Project Fund						1,707						1,707
500	4M Fund: Fire Station Debt Serv Fund							2,289					2,289
550	4M Fund: Special Activities Fund								392,229				392,229
600	4M Fund: MN Investment Fund								105,980				105,980
700	4M Fund: Road Construction Fund												0
725	4M Fund: Road Debt Service Fund										207,700		207,700
800/805	4M Fund: City Infrastructure Fund									729			729
810	4M Fund: City Dock Fund											68,737	68,737
	Total Cash and Investments	629,979	(34,937)	914,167	63,071	362,649	1,707	2,289	498,209	729	259,255	68,737	2,765,855
11xx	Fees & Other Receivables	(936)											(936)
2001	Permit Escrow & Fees (net receivable)	0											0
1407/2407	Due (Owed): Street Imp Fd & City Infrastr Fd	(100,000)	0	383,000	0	100,000	0	0	0	(383,000)	0	0	0
	Total Assets and Other Debits	529,043	(34,937)	1,297,167	63,071	462,649	1,707	2,289	498,209	(382,271)	259,255	68,737	2,764,919

Liabilities and Fund Balances													
2001	Permit Escrow & Fees (net payable)	31,159											31,159
2002	Accounts Payable	557,272											557,272
2022	Accrued Expenses	0											0
2120	Building Surcharges Payable	900											900
2200	Payroll Tax Liabilities/Withholding	0											0
	Total Accounts and Other Payables	589,330	0	0	0	0	0	0	0.00	0	0	0	589,330
2701	2014A Refunding Road Bonds										2,465,000		2,465,000
2704	2017B Road Tax Abate Bonds										3,500,000		3,500,000
2703	2017A Downtown GO Temp Imp Bonds									1,980,000			1,980,000
Various	Fund Balance - Beginning of Year	332,805	40,586	1,296,227	55,820	460,286	1,752	2,276	509,050.31	(2,279,774)	(5,290,989)	64,519	(4,807,443)
Various	Current Year Net Increase (Decrease)	(393,092)	(75,522)	940	7,251	2,363	(45)	13	(10,841.51)	(82,497)	(414,756)	4,218	(961,968)
Various	Fund Balance - End of Period	(60,287)	(34,937)	1,297,167	63,071	462,649	1,707	2,289	498,208.80	(2,362,271)	(5,705,745)	68,737	(5,769,411)
	Total Liabilities and Fund Balances	529,043	(34,937)	1,297,167	63,071	462,649	1,707	2,289	498,208.80	(382,270.99)	259,255	68,737	2,764,919


Prepared by Thomas H. Niedzwiecki, Accountant

A1

City of Afton
805 City Infrastructure Fund Balance
May 31, 2018

Date	Memo	Revenue	Expense	Balance
	805 City Infrastructure Fund Balance 12/31/17	25,447,929.67	27,567,475.25	225.93
JanFeb18	Interest Income	674.60		900.53
01/01/2018	Reverse City Infrastructure Fd: Due to Street Imp Fd re. Downtown Project		300,000.00	(299,099.47)
JanFeb18	MPFA PSIG and CWRP Loan/Grant Proceeds	376,839.22		77,739.75
JanFeb18	DNR Grant - Other	499.81		78,239.56
JanFeb18	Downtown Improvement Projects Expense		212,867.24	(134,627.68)
JanFeb18	Expense: 2017A Dwtown Temp Imp Bds		16,061.00	(150,688.68)
JanFeb18	Expense: PFA Loans		8,997.86	(159,686.54)
JanFeb18	City Infrastructure Fd: Due to Street Imp Fd re. Downtown Project	160,000.00		313.46
03/31/2018	Interest Income	324.65		638.11
03/31/2018	MPFA PSIG and CWRP Loan/Grant Proceeds	19,648.48		20,286.59
03/31/2018	DNR Grant - BWSR	84,710.07		104,996.66
03/31/2018	Downtown Improvement Projects Expense		389,389.78	(284,393.12)
03/31/2018	Expense: 2017A Dwtown Temp Imp Bds		450.00	(284,843.12)
03/31/2018	Downtown Special Assessments	12,728.45		(272,114.67)
03/31/2018	City Infrastructure Fd: Due to Street Imp Fd re. Downtown Project	273,000.00		885.33
04/30/2018	Interest Income	0.68		20,287.27
04/30/2018	MPFA PSIG and CWRP Loan/Grant Proceeds	165,872.25		186,159.52
04/30/2018	Downtown Improvement Projects Expense		56,610.17	129,549.35
04/30/2018	Expense: Downtown Debt Serv/Assessments		269.00	129,280.35
04/30/2018	City Infrastructure Fd: Due to/fr Street Imp Fd re. Downtown Project		109,000.00	20,280.35
05/31/2018	Interest Income	1.24		886.57
05/31/2018	MPFA PSIG and CWRP Loan/Grant Proceeds	66,698.99		67,585.56
05/31/2018	Downtown Special Assessments	37,058.19		104,643.75

A2.1

City of Afton
805 City Infrastructure Fund Balance
 May 31, 2018

Date	Memo	Revenue	Expense	Balance
05/31/2018	Downtown Improvement Projects Expense		162,458.50	(94,872.94)
05/31/2018	Expense: Downtown Debt Serv/Assessments		450.00	(95,322.94)
05/31/2018	City Infrastructure Fd: Due to/fr Street Imp Fd re. Downtown Project	59,000.00		(36,322.94)
		0.00		(36,322.94)
	805 City Infrastructure Fund Balance 5/31/18	1,257,056.63	1,256,553.55	729.01

A2.2

City of Afton
120 Street Improvement Fund Balance
May 31, 2018

Date	Memo	Street Improvements - Regular	Downtown Improvement Project	2017 Street Pavement Project	Total Balance 120 Street Improvement Fund
	120 Street Improvement Fund Balance 12/31/17	791,658.05	204,569.00	0.00	996,227.05
01/01/2018	Rev 12/31/17 Trf to Infrastructure Fd to cover Downtown Project Exp		300,000.00		1,296,227.05
JanFeb18	Interest Income	2,171.15			1,298,398.20
JanFeb18	Street Imp Expenses:	(2,940.00)			1,295,458.20
JanFeb18	Trf to Infrastructure Fund to cover Downtown Project Expenses		(160,000.00)		1,135,458.20
03/31/2018	Interest Income	1,287.10			1,136,745.30
03/31/2018	Street Imp Expenses:	(1,396.50)			1,135,348.80
03/31/2018	Trf to Infrastructure Fund to cover Downtown Project Expenses		(273,000.00)		862,348.80
04/30/2018	Interest Income	1,064.24			1,137,809.54
04/30/2018	Trf to/fr Infrastructure Fund to cover Downtown Project Expenses		109,000.00		1,246,809.54
05/31/2018	Interest Income	754.26			863,103.06
05/31/2018	Street Imp Expenses:	0.00			863,103.06
05/31/2018	Trf to/fr Infrastructure Fund to cover Downtown Project Expenses		(59,000.00)		804,103.06
	120 Street Improvement Fund Balance 5/31/18	792,598.30	121,569.00	0.00	914,167.30

City of Afton
725 Road Debt Service Fund Balance
 May 31, 2018

Date	Memo	2014A Refunding Road Bonds	2017B Road Bond	Due from City Infrastructure Fund (Temporary Cash Flow Transfers)	Total Balance 725 Road Debt Service Fund
	725 Road Debt Service Balance 12/31/17	433,178.34	420,832.72	0.00	854,011.06
JanFeb18	2/1/18 2014A Road Bond Payment	(225,975.00)			628,036.06
JanFeb18	2/1/18 2017B Road Bond Payment		(51,847.44)		576,188.62
JanFeb19	2014A & 2017B Road Bonds: Admin Exp	(1,166.00)	(718.00)		574,304.62
JanFeb18	Interest Income	96.72			574,401.34
03/31/2018	Interest Income	169.21			574,473.83
04/30/2018	Interest Income	661.46			574,966.08
05/31/2018	Trf to Street Imp Fund re. 2017 Street Pavement Project Expenses		(316,211.72)		258,754.36
05/31/2018	2014A & 2017B Road Bonds: Admin Exp		(500.00)		258,254.36
05/31/2018	Interest Income	734.87			575,136.21
	725 Road Debt Service Balance 5/31/18	207,699.60	51,555.56	0.00	259,255.16

**City of Afton - Statement of Changes in Fund Balances
for Month of May 2018**

#	Description	#100 General Fund	#115 Buildings & Land Capital Fund	#120 Street Imp Capital Fund	#200 Park Reserve Fund	#250 Special Reserve Fund	#400 201 Project Fund	#500 Fire Station: Debt Service Fund	#550 Spec Act Fd + #600 MN Investment Fd	#800 & 805 City Infrastructure Improvement Fund	#725 Road Debt Serv Fd	#810 City Dock Fund	Total All Funds
A	Beginning Fund Balances	(25,580)	(29,618)	1,296,413	66,868	462,077	1,783	2,286	508,860	(2,303,121)	(5,389,768)	64,797	(5,345,002.57)
Section I. Revenues													
1	Property Taxes	0	0	0	0	0	0	0	0	0	0	0	0
	Intergovernmental Revenues	0	0	0	0	0	0	0	0	0	0	0	0
19	Charges for Services	29	4,250	0	0	0	95	0	0	0	0	3,850	8,223
21	Fines and Forfeitures	1,027	0	0	0	0	0	0	0	0	0	0	1,027
	Licenses, Fees and Permits	47,159	0	0	0	0	0	0	0	0	0	0	47,159
25	Special Assessments	0	0	0	0	0	0	0	0	37,058	0	0	37,058
35	Misc Revenue/Gaming Tax	25	0	0	0	0	0	0	9	0	0	0	34
36	DNR Flood Improvement Project	0	0	0	0	0	0	0	0	66,699	0	0	66,699
36	Other Grants/State Fire Aid	0	0	0	0	0	0	0	0	0	0	0	0
	Interest Income	556	57	754	88	572	2	3	662	1	735	90	3,521
37	TIF District/MN Inv Fund Loan	0	0	0	0	0	0	0	0	0	0	0	0
	Park Fees	0	0	0	0	0	0	0	0	0	0	0	0
		0	0	0	0	0	0	0	0	0	0	0	0
B	Total Revenue	48,796	4,307	754	88	572	97	3	671	103,758	735	3,940	163,721
C	Other Financing Sources/Transfers	0	2,050	316,212	0	0	0	0	0	0	0	0	318,262
Section II. Expenditures													
	General and Administrative												
1	Wages and Benefits	26,199	0	0	0	0	0	0	0	0	0	0	26,199
2	Professional Services	19,260	0	0	0	0	0	0	3,399	0	0	0	22,659
3	Other Expenditures	23,083	0	0	0	0	0	0	7,924	0	0	0	31,007
	Total General and Administrative	68,542	0	0	0	0	0	0	11,323	0	0	0	79,865
5	Public Safety/State Fire Aid	281	0	0	0	0	0	0	0	0	0	0	281
9	Public Health/Cons of Natural Resources	370	0	0	0	0	0	0	0	0	0	0	370
11	Streets	12,881	0	0	0	0	0	0	0	0	0	0	12,881
13	Downtown Improvement Projects	0	0	0	0	0	0	0	0	162,459	0	0	162,459
13	Other Street Imp/Road Paving Project	0	0	316,212	0	0	173	0	0	0	0	0	316,385
14	Buildings and Land/City Dock	1,080	11,675	0	0	0	0	0	0	0	0	0	12,755
15	TIF District/MN Inv Fund Loan Disb	0	0	0	0	0	0	0	0	0	0	0	0
15	Parks and Recreation	351	0	0	3,885	0	0	0	0	0	0	0	4,235
16	Debt Service - Interest Expense	0	0	0	0	0	0	0	0	450	316,712	0	317,162
	Debt Service - Principal Retirement	0	0	0	0	0	0	0	0	0	0	0	0
D	Total Expenditures	83,503	11,675	316,212	3,885	0	173	0	11,323	162,909	316,712	0	906,391
E	Other Financing Uses/Transfers	0	0	0	0	0	0	0	0	0	0	0	0
E	Revenues Over (Under) Expenditures	(34,707)	(5,319)	754	(3,797)	572	(76)	3	(10,652)	(59,150)	(315,977)	3,940	(424,408)
F	Ending Fund Balances	(60,287)	(34,937)	1,297,167	63,071	462,649	1,707	2,289	498,209	(2,362,271)	(5,705,745)	68,737	(5,769,411)



Prepared by Thomas H. Niedzwiecki, Accountant

**City of Afton - Statement of Changes in Fund Balances
for Year to Date May 31, 2018**

#	Description	#100 General Fund	#115 Buildings & Land Capital Fund	#120 Street Imp Capital Fund	#200 Park Reserve Fund	#250 Special Reserve Fund	#400 201 Project Fund	#500 Fire Station: Debt Service Fund	#550 Spec Act Fd + #600 MN Investment Fd	#800 & 805 City Infrastructure Improvement Fund	#725 Road Debt Serv Fd	#810 City Dock Fund	Total All Funds
A	Beginning Fund Balances	332,805	40,586	1,296,227	55,820	460,286	1,752	2,276	509,050	(2,279,774)	(5,290,989)	64,519	(4,807,442.93)
Section I. Revenues													
1	Property Taxes	0	0	0	0	0	0	0	0	0	0	0	0
	Intergovernmental Revenues	(2,510)	0	0	0	0	0	0	0	0	0	0	(2,510)
19	Charges for Services	104	4,250	0	0	0	422	0	0	0	0	3,850	8,626
21	Fines and Forfeitures	3,284	0	0	0	0	0	0	0	0	0	0	3,284
	Licenses, Fees and Permits	73,142	0	0	0	0	0	0	0	0	0	0	73,142
25	Special Assessments	0	0	0	0	0	0	0	0	49,787	0	0	49,787
35	Misc Revenue/Gaming Tax	950	0	0	0	0	0	0	72	0	0	0	1,022
36	DNR Flood Improvement Project	0	0	0	0	0	0	0	0	714,269	0	0	714,269
36	Other Grants/State Fire Aid	8,410	0	0	1,200	0	0	0	14,391	0	0	0	24,001
	Interest Income	3,106	170	5,277	368	2,363	11	13	2,499	1,001	1,662	368	16,838
37	TIF District/MN Invest Fund Proceeds	0	0	0	0	0	0	0	0	0	0	0	0
	Park Fees	0	0	0	10,000	0	0	0	0	0	0	0	10,000
		0	0	0	0	0	0	0	0	0	0	0	0
B	Total Revenue	86,485	4,420	5,277	11,568	2,363	433	13	16,962	765,057	1,662	4,218	898,458
C	Other Financing Sources/Transfers	0	10,100	316,212	0	0	0	0	0	0	0	0	326,312
Section II. Expenditures													
General and Administrative													
1	Wages and Benefits	102,865	0	0	0	0	0	0	0	0	0	0	102,865
2	Professional Services	90,344	0	0	0	0	0	0	3,399	0	0	0	93,743
3	Other Expenditures	34,858	0	0	0	0	0	0	22,404	0	0	0	57,262
	Total General and Administrative	228,067	0	0	0	0	0	0	25,803	0	0	0	253,870
5	Public Safety/State Fire Aid	126,385	0	0	0	0	0	0	2,000	0	0	0	128,385
9	Public Health/Cons of Natural Resources	441	0	0	0	0	0	0	0	0	0	0	441
11	Streets	105,619	0	0	0	0	0	0	0	0	0	0	105,619
13	Downtown Improvement Projects	0	0	0	0	0	0	0	0	821,326	0	0	821,326
13	Other Street Imp/Road Paving Project	0	0	320,548	0	0	478	0	0	0	0	0	321,026
14	Buildings and Land/City Dock	5,382	90,042	0	0	0	0	0	0	0	0	0	95,424
15	TIF District/MN Inv Fund Loan Disb	0	0	0	0	0	0	0	0	0	0	0	0
15	Parks and Recreation	13,683	0	0	4,317	0	0	0	0	0	0	0	18,000
16	Debt Service - Interest Expense	0	0	0	0	0	0	0	0	26,228	416,418	0	442,646
	Debt Service - Principal Retirement	0	0	0	0	0	0	0	0	0	0	0	0
D	Total Expenditures	479,577	90,042	320,548	4,317	0	478	0	27,803	847,554	416,418	0	2,186,737
E	Other Financing Uses/Transfers	0	0	0	0	0	0	0	0	0	0	0	0
E	Revenues Over (Under) Expenditures	(393,092)	(75,522)	940	7,251	2,363	(45)	13	(10,842)	(82,497)	(414,756)	4,218	(961,968)
F	Ending Fund Balances	(60,287)	(34,937)	1,297,167	63,071	462,649	1,707	2,289	498,209	(2,362,271)	(5,705,745)	68,737	(5,769,410.73)


Prepared by Thomas H. Niedzwiedzki, Accountant

City of Afton
Statement of Revenue and Expenditures
General Fund Summary plus Detail for All Other Funds
Year to Date 5/31/18

	Audited 2015	Audited 2016	UnAudited 2017	Month of May-18	YTD Actual 5/31/18	Annual Budget 2018	Remaining Budget \$	YTD Act as % of Annual Budget
#100 GENERAL FUND								
A: REVENUES								
1-PROPERTY TAXES	1,676,572	1,861,437	2,020,162	0	0	2,133,786	2,133,786	0.0%
2-INTERGOVERNMENTAL REVENUES	8,998	9,076	9,854	0	(2,510)	2,734	5,244	-91.8%
3-CHARGES FOR SERVICES	137	114	68	29	104	135	31	76.9%
4-FINES AND FORFEITURES	15,861	15,086	11,061	1,027	3,284	14,250	10,966	23.0%
5-LICENSES, FEES, PERMITS	190,172	281,870	279,359	47,159	73,142	152,250	79,108	48.0%
7-MISCELLANEOUS REVENUE	4,700	4,357	1,832	25	950	2,500	1,550	38.0%
9-OTHER GRANTS	8,410	8,410	8,710	0	8,410	8,290	(120)	101.4%
10-INTEREST INCOME	144	955	12,772	556	3,106	1,000	(2,106)	310.6%
11-TIF DISTRICT	0	0	0	0	0	0	0	
TOTAL REVENUES	1,904,993	2,181,305	2,343,817	48,796	86,485	2,314,945	2,228,460	3.7%
B: EXPENDITURES								
GENERAL AND ADMINISTRATIVE								
1-WAGES & BENEFITS	234,446	241,650	242,814	26,199	102,865	273,524	170,659	37.6%
2-PROFESSIONAL SERVICES	153,655	193,329	210,229	19,260	90,344	163,250	72,906	55.3%
4-OTHER EXPENDITURES	58,017	47,538	46,974	23,083	34,858	67,900	33,042	51.3%
TOTAL GENERAL & ADMINISTRATIVE	446,119	482,517	500,017	68,542	228,067	504,674	276,607	45.2%
5-PUBLIC SAFETY	392,065	413,237	420,994	281	126,385	438,166	311,781	28.8%
6-PUBLIC HEALTH	1,087	1,784	1,270	370	441	2,000	1,559	22.0%
7-STREETS	218,410	162,992	241,863	12,881	105,619	267,000	161,381	39.6%
9-OTHER PUBLIC WORKS	1,914	1,910	1,864	0	0	5,050	5,050	0.0%
10-BUILDINGS & LAND	10,334	8,296	8,823	1,080	5,382	13,000	7,618	41.4%
11-TIF DISTRICT	0	0	0	0	0	0	0	
12-PARKS & RECREATION	3,921	13,181	15,459	351	13,683	14,000	317	97.7%
TOTAL EXPENDITURES	1,073,850	1,083,917	1,190,291	83,503	479,577	1,243,890	764,313	38.6%
C: OTHER FINANCING SOURCES (USES)								
	(805,133)	(1,096,493)	(1,148,933)	0	0	(1,071,055)	(1,071,055)	
Net GENERAL FUND	26,010	895	4,594	(34,707)	(393,092)	0	393,092	

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		Audited	Audited	UnAudited	Month of	YTD Actual	Annual Budget	Remaining	YTD Act as
		2015	2016	2017	May-18	5/31/18	2018	Budget \$	% of Annual
									Budget
#115 BUILDINGS AND LAND CAPITAL FUND									
A: Revenues									
4012	Current Tax Levy - Bldg & Land	6,000	6,000	6,000	0	0	6,000	6,000	0.0%
4022	Levy/Charges: Afton Septic System	15,000	15,000	15,000	2,050	10,100	15,000	4,900	67.3%
4600	Grant/Ins: City Hall	0	750	0	0	0	0	0	
4831	Trf in re. Park Structures	0	0	0	0	0	0	0	
4832	Wash Cty Share: City Garage/Deputy Office	0	0	0	4,250	4,250	0	(4,250)	
6910	Trf in fr General Fund (Non Budgeted)	20,000	25,000	25,000	0	0	0	0	
4906	Interest - Bldg & Land Fund	17	158	696	57	170	0	(170)	
TOTAL REVENUE		41,017	46,908	46,696	6,357	14,520	21,000	6,480	69.1%
B: Expenditures									
6003	City Hall Improvements	2,563	17,091	1,200	0	0	0	0	
6004	Bldg Repair & Maintenance	0	0	221	300	4,350	0	(4,350)	
6005	City Garage Improvements	0	0	0	0	0	0	0	
6007	City Garage/Sheriff Deputy Office Facility	0	0	113,980	7,162	68,571	0	(112,973)	
6022	Septic System Operations	0	0	2,254	1,624	14,531	0	(14,531)	
6023	Septic System Spec Assessments	0	0	0	2,590	2,590	0	(2,590)	
TOTAL EXPENDITURES		2,563	17,091	117,655	11,675	90,042	0	(90,042)	
Net BLDG & LAND CAPITAL FUND		38,454	29,817	(70,959)	(5,319)	(75,522)	21,000	96,522	-359.6%
#120 STREET IMP CAPITAL FUND									
A: Revenues									
4013	Current Tax Levy - Street Improvements	200,000	200,000	375,000	0	0	70,000	70,000	0.0%
4907	Interest - Street Imp Fund	130	1,078	4,437	754	5,277	0	(5,277)	
4016	MN Small City Assistance for Streets	60,510	0	38,913	0	0	0	0	
TOTAL REVENUE		260,640	201,078	418,350	754	5,277	70,000	64,723	7.5%
B: Expenditures									
7935	Pennington Av Improvements	0	0	0	0	0	0	0	
7937	Bridge Repair & Replacement	1,806	2,902	1,910	0	4,337	0	(4,337)	
7938	Culvert Repair & Replacement	0	0	0	0	0	0	0	
7936	General Street Projects (Various)	73	31,886	0	0	0	0	0	
7943	2017 Street Projects	0	0	3,075,139	316,212	316,212	0	(316,212)	
7981	Village Local Road Improvements	250,099	86,205	29,240	0	0	0	0	
7982	CR21 Improvement Project	23,383	3,527	1,191	0	0	0	0	
TOTAL EXPENDITURES		275,360	124,520	3,107,480	316,212	320,548	0	(320,548)	
C: Oth Fin Sources (Uses)/Transfers									
6910	Oper Trf fr General Fd (Non Budgeted)	43,500	230,000	100,000	0	0	0	0	
6848	Oper Trf from Road Debt/Construction Fund	0	0	3,075,139	316,212	316,212	0	(316,212)	
TOTAL OTH FIN SOURCES (USES)		43,500	230,000	3,175,139	316,212	316,212	0	(316,212)	
Net STREET IMP CAPITAL FUND		28,780	306,558	486,009	754	940	70,000	69,060	1.3%

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	Audited 2015	Audited 2016	UnAudited 2017	Month of May-18	YTD Actual 5/31/18	Annual Budget 2018	Remaining Budget \$	YTD Act as % of Annual Budget
#200 PARK RESERVE FUND								
A: Revenues								
4425 Park Dedication Fees	54,743	56,360	10,000	0	10,000	0	(10,000)	
4426 Afton Donation Program - Parks	0	0	2,400	0	1,200	0	(1,200)	
4903 Interest Income - 4M Fund	26	229	878	88	368	0	(368)	
	0	0	0	0	0	0	0	
TOTAL REVENUE	54,769	56,589	13,278	88	11,568	0	(11,568)	
B: Expenditures								
6115 Park & Open Space Public Works	280	1,450	118,328	3,885	4,317	0	(4,317)	
6117 Grant - Lucy Winton Bell Athletic Fields	0	0	0	0	0	0	0	
6125 Bike Trail Improvements	0	0	0	0	0	0	0	
TOTAL EXPENDITURES	280	1,450	118,328	3,885	4,317	0	(4,317)	
C: Oth Fin Sources (Uses)/Transfers								
Transfer to City Infrastructure Imp Fund	0	0	0	0	0	0	0	
TOTAL OTH FIN SOURCES (USES)	0	0	0	0	0	0	0	
Net PARK RESERVE FUND	54,489	55,139	(105,050)	(3,797)	7,251	0	(7,251)	
#250 SPECIAL RESERVE FUND								
A: Revenues								
6936 Levy/Trf from Genl Fd - Special Reserve	5,000	88,000	9,500	0	0	5,000	5,000	0.0%
4912 Interest - Spec Reserve 4M Fund	102	955	2,862	572	2,363	0	(2,363)	
TOTAL REVENUE	5,102	88,955	12,362	572	2,363	5,000	2,637	47.3%
B: Expenditures								
6918 Trf to General/Special Act Funds	0	0	75,000	0	0	0	0	
TOTAL EXPENDITURES	0	0	75,000	0	0	0	0	
Net SPECIAL RESERVE FUND	5,102	88,955	(62,638)	572	2,363	5,000	2,637	47.3%
#400 201 PROJECT FUND								
A: Revenues								
4625 201 Project Revenue	3,787	6,450	5,891	95	422	0	(422)	
4904 Interest - 201 Project	0	1	10	2	11	0	(11)	
TOTAL REVENUE	3,787	6,451	5,901	97	433	0	(433)	
B: Expenditures								
5915 201 Project maintenance	9,160	5,718	2,884	173	478	0	(478)	
5918 201 Project Mgmt	0	0	0	0	0	0	0	
TOTAL EXPENDITURES	9,160	5,718	2,884	173	478	0	(478)	
Net 201 PROJECT FUND	(5,373)	734	3,018	(76)	(45)	0	45	

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#500 FIRE STATION DEBT SERV FUND								
A: Revenues								
4050 Fire Station Curr Tax Levy	57,933	49,893	49,833	0	0	49,784	49,784	0.0%
4904 Interest - Fire Station 4M Fund	1	30	91	3	13	0	(13)	
TOTAL REVENUE	57,934	49,923	49,924	3	13	49,784	49,771	0.0%
B: Expenditures								
6850 Fire Station Debt Service Expense	57,933	49,898	49,833	0	0	49,784	49,784	0.0%
	0	0	0	0	0	0	0	
TOTAL EXPENDITURES	57,933	49,898	49,833	0	0	49,784	49,784	0.0%
Net FIRE STATION DEBT SERV FUND	1	25	91	3	13	0	(13)	
#550 SPECIAL ACTIVITIES FUND								
A. 4914 Interest - Spec Activity Fd (Unallocated)	59	464	1,706	515	1,896	0	(1,896)	
B. Cable Comm/4th of July Reserve/CC Contingency/Comm Garden								
4815 Cable Distributions Received	9,115	6,253	10,881	0	12,391	0	(12,391)	
4816 Community Garden	88	0	0	0	0	0	0	
4817 MN Historic Preservation Design Guidelines	8,000	(8,225)	0	0	0	0	0	
4818 City Share High Speed Internet	0	0	124,850	0	0	0	0	
4819 Afton Residents for Preservation & Conservation	0	0	1,500	0	0	0	0	
6910 Oper Trf fr Gen'l Fd/City Council Contingency	(1,200)	0	10,000	0	0	0	0	
6366 City Council Contingency Reserve	0	(5,006)	(4,539)	0	(1,500)	0	1,500	
5561 Communications Expenses	(2,605)	(17,594)	(12,346)	(7,924)	(9,634)	0	9,634	
Total B. Cable Comm/4th of July Reserve	13,399	(24,572)	130,346	(7,924)	1,257	0	(1,257)	
C. Codification/Comp Plan/Moratoria								
6934 Oper Trf fr Gen'l Fd - Codification + Oth Rev	100	100	100	0	0	100	100	0.0%
6935 Oper Trf fr Gen'l Fund - Comprehensive Plan	2,000	3,000	14,000	0	0	4,000	4,000	
6958 Comm Growth Options (1000 Friends Grant)	0	0	0	0	0	0	0	
6356 Comprehensive Plan Expenses	(8,208)	0	0	0	0	0	0	
6358 Community Growth Options: Expense	0	0	0	0	0	0	0	
Total C. Codification of Ordinances	(6,108)	3,100	14,100	0	0	4,100	4,100	0.0%

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	Audited 2015	Audited 2016	UnAudited 2017	Month of May-18	YTD Actual 5/31/18	Annual Budget 2018	Remaining Budget \$	YTD Act as % of Annual Budget
D. Flood & Storm Water Control and Mitigation								
6931 Oper Trf fr Gen'l Fund (Flood Control)	5,500	3,500	5,500	0	0	5,500	5,500	0.0%
6932 Oper Trf fr Gen'l Fund (Storm Water Run-off)	3,500	5,500	3,500	0	0	3,500	3,500	0.0%
6942 LSCV Water Mgmt Org Revenue	0	0	0	0	0	0	0	
7833 TAG re. Wastewater Community Assessment	15,982	0	0	0	0	0	0	
7836 Flood & Storm Water Exp - General	6,440	(200)	0	0	0	0	0	
7842 Engineering Exp re. Old Village Public Process	0	0	0	0	0	0	0	
7843 Snow & Ice Reserve	15,000	0	15,000	0	0	0	0	
Total D. Flood Control & Mitigation	46,423	8,800	24,000	0	0	9,000	9,000	0.0%
E. Charitable Gaming Fund								
4950 10% Charitable Gaming Tax	0	84	411	9	72	0	(72)	
5450 Charitable Gaming Expenditures	0	0	0	0	0	0	0	
Total E. Charitable Gaming Fund	0	84	411	9	72	0	(72)	
F. Developer/Applicant Pass-Thru Expenses								
4341 Engineering Services Reimbursed	18,177	0	0	0	0	0	0	
4342 Legal Services Reimbursed	700	0	0	0	0	0	0	
4343 Planner Services Reimbursed	2,400	0	0	0	0	0	0	
4344 Other Dev Fees Reimbursed	0	0	0	0	0	0	0	
5341 Engineering Services Pass-Thru	(18,177)	0	0	0	0	0	0	
5342 Legal Services Pass-Thru	(700)	0	0	0	0	0	0	
5343 Planner Services Pass-Thru	(2,400)	0	0	0	0	0	0	
5344 Other Dev Fees Pass-Thru	0	0	0	0	0	0	0	
Total F. Developer/Applicant Pass-Thru Expenses	0	0	0	0	0	0	0	
G. TIF District No. 1 (Afton Market Square)								
4924 TIF District #1 Taxes	0	0	0	0	0	0	0	
5424 TIF District #1 Distributions/Expenses	(849)	0	0	0	0	0	0	
Total G. TIF District No. 1 (Afton Market Square)	(849)	0	0	0	0	0	0	
H. State Fire Aid								
4940 State Fire Aid Received	47,348	49,011	43,475	0	2,000	45,000	43,000	4.4%
5440 State Fire Aid Distributed	(47,348)	(49,011)	(43,475)	0	(2,000)	(45,000)	(43,000)	
Total H. State Fire Aid	0	0	0	0	0	0	0	
I. City Vehicles/Equipment								
69xx Oper Trf fr Gen'l - City Vehicles	2,500	2,500	2,500	0	0	2,500	2,500	0.0%
5508 City Equipment	0	0	(2,435)	0	0	0	0	
5977 John Deere Tractor	0	0	0	0	(1,319)	0	1,319	
Total I. City Vehicles	2,500	2,500	65	0	(1,319)	2,500	3,819	-52.8%

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	Audited 2015	Audited 2016	UnAudited 2017	Month of May-18	YTD Actual 5/31/18	Annual Budget 2018	Remaining Budget \$	YTD Act as % of Annual Budget
K. Audit/Legal Reserve								
4842 Oper Trf fr Gen'l - Audit/Legal	100	1,000	1,000	0	0	1,000	1,000	0.0%
6342 Legal Exp - Deductible/CoPays	0	0	0	(3,399)	(3,399)	0	3,399	
Total K. Audit/Legal Reserve	100	1,000	1,000	(3,399)	(3,399)	1,000	4,399	-339.9%
L. MN Unemployment Claims								
4843 Oper Trf fr Gen'l - MN Unemployment	3,000	1,000	1,000	0	0	1,000	1,000	0.0%
4844 Oper Trf fr Gen'l - Severance & Oth PTO	0	0	0	0	0	0	0	
6343 MN Unemployment Claim Expense	0	0	0	0	0	0	0	
6344 Severance Pay	0	0	0	0	0	0	0	
6345 Vacation, Sick & Other PTO	0	0	0	0	0	0	0	
Total L. MN Unemployment Claims	3,000	1,000	1,000	0	0	1,000	1,000	0.0%
M. Parks Capital Repairs/Trail & Ped Bridge & Sidewalk								
4844 Oper Trf fr Gen'l - Parks Capital Repairs/Trail & Ped Brid	5,500	5,500	5,500	0	0	5,500	5,500	0.0%
4846 Oper Trf fr Gen'l - Sidewalk	2,000	2,000	2,000	0	0	2,000	2,000	0.0%
6348 Parks Capital Repairs/Trail & Ped Bridge Expense	0	0	(5,000)	0	0	0	0	
Total M. Parks Capital Repairs/Trail & Ped Bridge & Sidewalk	7,500	7,500	2,500	0	0	7,500	7,500	0.0%
N. Election Expense Reserve								
4847 Oper Trf fr Gen'l - Election Levy	5,500	5,500	5,500	0	0	5,500	5,500	0.0%
6347 Election Expenses	(121)	(7,207)	(1,550)	0	(9,951)	0	9,951	
Total N. Election Expense Reserve	5,379	(1,707)	3,950	0	(9,951)	5,500	15,451	-180.9%
Net SPECIAL ACTIVITIES FUND	71,403	(1,831)	179,078	(10,799)	(11,444)	24,100	21,194	-47.5%
#600 MN INVESTMENT FUND								
A: Revenues								
4886 Chandler Exhibits Loan Repayment	0	0	0	0	0	0	0	
4904 Interest - MN Invest 4M Fund	48	226	743	147	602	0	(602)	
TOTAL REVENUE	48	226	743	147	602	0	(602)	
B: Expenditures								
8986 Chandler Exhibits Repay MN Invest Fd	0	0	0	0	0	0	0	
TOTAL EXPENDITURES	0	0	0	0	0	0	0	
Net MN INVESTMENT FUND	48	226	743	147	602	0	(602)	

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#725 ROAD PAVING DEBT SERVICE FUND								
A: Revenues								
4725 Road Paving Debt Levy Proceeds	310,000	260,000	260,000	0	0	650,000	650,000	0.0%
4916 Interest - Road Debt Service 4M Fund	99	513	2,489	735	1,662	0	(1,662)	
TOTAL REVENUE	310,099	260,513	262,489	735	1,662	650,000	648,338	0.3%
B: Expenditures								
6948 Oper Trf to Street Imp Fd re. 2017 Pavement Project	10,853	0	3,075,139	316,212	316,212	0	(316,212)	
7726 2005A Bond Admin Expense	0	0	0	0	0	0	0	
7735 Interest Expense - 2014A Refunding Bonds	104,751	97,250	54,050	0	45,975	105,000	59,025	43.8%
7736 2014A Refunding Bonds Admin Expense	(234,040)	1,900	0	0	1,166	0	(1,166)	
7741/47 2017B Road Tax Abate Bds Issue/Admin Expense	0	0	4,029	500	1,218	0	(1,218)	
7742 Interest Expense - 2017B Road Tax Abate Bds	0	0	0	0	51,847	120,000	68,153	43.2%
TOTAL EXPENDITURES	(118,437)	99,150	3,133,217	316,712	416,418	225,000	(191,418)	185.1%
Net ROAD PAVING DEBT SERV FUND	428,536	161,363	(2,870,728)	(315,977)	(414,756)	425,000	839,756	-97.6%

City of Afton
Statement of Revenue and Expenditures
General Fund Summary plus Detail for All Other Funds
Year to Date 5/31/18

		Audited	Audited	UnAudited	Month of	YTD Actual	Annual Budget	Remaining	YTD Act as
		2015	2016	2017	May-18	5/31/18	2018	Budget \$	% of Annual
									Budget
#800/805 CITY INFRASTRUCTURE IMP FD									
A: Revenues									
4917	Interest Income	395	4,602	3,306	1	1,001	0	(1,001)	
4849	DNR BWSR Grant	0	0	0	0	84,710	0	(84,710)	
4852	VBWD Grant \$50M/Yr for 10 Yrs	0	50,000	50,000	0	0	0	0	
4853	Wash Cty Share Downtown/Village Road Project	0	0	4,092,589	0	0	0	0	
486x	CWRF and PSIG Proceeds	0	0	6,788,796	66,699	629,059	0	(629,059)	
4879	Downtown Special Assessments	0	0	102,054	37,058	49,787	0	(49,787)	
4894	DNR Flood Imp Grant	0	0	1,611,106	0	500	0	(500)	
4895	PFA/Imp Bd Levy	48,937	98,000	98,000	0	0	100,000	100,000	0.0%
4896	DNR Flood Imp Grant Match - Tax Levy	95,000	95,000	95,000	0	0	95,000	95,000	0.0%
TOTAL REVENUE		144,332	247,602	12,840,851	103,758	765,057	195,000	(570,057)	392.3%
B: Expenditures									
8870	Downtown - Special Assessment Exp	0	0	105,179	5,440	34,636	0	(34,636)	
8871	Wetland Credits	0	0	51,748	0	0	0	0	
8891	Downtown Property Purchase/Expense	0	1,727	541	23	113	0	(113)	
8892	Dwntown Imp - Easements & Damages	0	9,200	33,121	0	0	0	0	
8894	Septic Permits, Fees, Admin	0	85,087	116,239	1,415	1,689	0	(1,689)	
8895	DNR Flood Imp Proj - Engineering	0	67,891	14,066	0	0	0	0	
8896	Sanitary Sewer Improvements	0	152,851	73,817	1,081	703	0	(703)	
8897	Septic Construction Engineering	0	8,545	151,858	388	3,897	0	(3,897)	
8898	Flood Mitigation/ROW Services	1,240,442	18,935	14,086	0	0	0	0	
8899	Village Improvements	0	22,670	1,305,268	100,426	231,205	0	(8,545)	
8901	Septic Construction	0	0	11,541,511	53,685	549,084	0	(8,545)	
TOTAL EXPENDITURES		1,240,442	366,905	13,407,433	162,459	821,326	0	(58,128)	
C: Oth Fin Sources (Uses)/Trfs incl Debt Service									
7737/39	Interest Exp - Downtown Temp Imp Bond	0	(28,163)	(23,068)	0	(15,345)	0	15,345	
7744/46	Interest Exp - PFA Loans	0	0	0	0	(8,998)	0	8,998	
7738/40	Bond Issue/Admin Expense	0	(1,608)	(47,856)	(450)	(1,885)	0	1,885	
TOTAL OTH FIN SOURCES (USES)		0	(29,771)	(70,923)	(450)	(26,228)	0	26,228	
Net 800 CITY INFRASTRUCTURE IMPROVEMEN		(1,096,109)	(149,074)	(637,505)	(59,150)	(82,497)	195,000	(485,701)	-42.3%
#810 CITY DOCK FUND									
A: Revenues									
4812	Lease of City Docks	3,850	3,850	3,850	3,850	3,850	3,850	0	100.0%
4909	Interest Income - 4M Fund	25	125	435	90	368	0	(368)	
TOTAL REVENUE		3,875	3,975	4,285	3,940	4,218	3,850	(368)	109.6%
B: Expenditures									
8930	Dock Improvements	0	0	0	0	0	0	0	
TOTAL EXPENDITURES		0	0	0	0	0	0	0	
Net 810 CITY DOCK FUND		3,875	3,975	4,285	3,940	4,218	3,850	(368)	109.6%

City of Afton
Detail Statement of Revenue and Expenditures - General Fund Only
Year to Date 5/31/18

	Audited 2014	Audited 2015	Audited 2016	UnAudited 2017	Month of May-18	YTD Actual 5/31/18	Annual Budget 2018	Remaining Budget \$	YTD Act as % of Annual Budget	Annual Budget 2017	Annual Budget 2016
#100 GENERAL FUND											
1-PROPERTY TAXES:											
4000 Current Tax Levy	860,094	899,578	961,378	974,335	0	0	1,007,067	1,007,067	0.0%	1,003,443	974,804
4005 Fiscal Disparity	47,649	44,904	44,674	46,265	0	0	55,664	55,664	0.0%	49,525	43,820
4015 Delinq Taxes, Penalties, Int & Adj	17,950	5,456	23,892	10,629	0	0	0	0	0.0%	0	0
4013 Street Improvement Capital Fund	200,000	200,000	200,000	375,000	0	0	70,000	70,000	0.0%	375,000	200,000
6928 Special Reserve Fund	294	5,000	3,000	9,500	0	0	5,000	5,000	0.0%	9,500	78,000
6932 Stormwater Fund	3,500	3,500	3,500	3,500	0	0	3,500	3,500	0.0%	3,500	3,500
6933 Vehicle/Equipment Replacement Fund	2,500	2,500	2,500	2,500	0	0	2,500	2,500	0.0%	2,500	2,500
6935 Comprehensive Plan	2,000	2,000	3,000	4,000	0	0	4,000	4,000	0.0%	4,000	3,000
6936 Flood Fund	5,500	5,500	5,500	5,500	0	0	5,500	5,500	0.0%	5,500	5,500
6937 DNR Grant Match	95,000	95,000	95,000	95,000	0	0	95,000	95,000	0.0%	95,000	95,000
6934 Codification	100	100	100	100	0	0	100	100	0.0%	100	100
4843 MN Unemployment Claims	3,000	3,000	1,000	1,000	0	0	1,000	1,000	0.0%	1,000	1,000
4847 Election Fund	5,500	5,500	5,500	5,500	0	0	5,500	5,500	0.0%	5,500	5,500
6910 City Council Contingency Fund	0	0	0	0	0	0	0	0	0.0%	0	0
4842 Audit and Legal Reserve	100	100	1,000	1,000	0	0	1,000	1,000	0.0%	1,000	1,000
4844 Parks Capital Repairs/Trail & Ped Bridge	5,500	5,500	5,500	5,500	0	0	5,500	5,500	0.0%	5,500	5,500
4022 Afton Septic System - City Bldgs	15,000	15,000	15,000	15,000	0	0	15,000	15,000	0.0%	15,000	15,000
xxxx Bridge Replacement Fund	0	0	0	0	0	0	49,671	49,671	0.0%	0	0
4846 Sidewalk	2,000	2,000	2,000	2,000	0	0	2,000	2,000	0.0%	2,000	2,000
4012 Bldg & Land Capital Fund	6,000	6,000	6,000	6,000	0	0	6,000	6,000	0.0%	6,000	6,000
4818 City Share High Speed Internet	0	0	75,000	50,000	0	0	0	0	0.0%	50,000	0
4050 Debt Service Levy, Fire Hall Remodel	57,356	57,933	49,893	49,833	0	0	49,784	49,784	0.0%	49,833	58,468
4898 Debt Serv Levy - Downtown Imp Tmp Bond	0	0	28,000	28,000	0	0	30,000	30,000	0.0%	28,000	28,000
4899 Debt Serv Levy - Downtown Imp PFA Loans	0	8,000	70,000	70,000	0	0	70,000	70,000	0.0%	70,000	70,000
4898 Debt Serv Levy - 2017B Road Bond	0	0	0	0	0	0	390,000	390,000	0.0%	0	0
4725 Debt Serv Levy - 2014A Road Bond	305,000	310,000	260,000	260,000	0	0	260,000	260,000	0.0%	260,000	260,000
TOTAL PROPERTY TAXES	1,634,042	1,676,572	1,861,437	2,020,162	0	0	2,133,786	2,133,786	0.0%	2,041,901	1,858,692
2-INTERGOVERNMENTAL REVENUE:											
4100 Gravel Tax/West Lakeland Cent College	(2,374)	(2,333)	(2,160)	(2,267)	0	(2,510)	(2,400)	110	0.0%	(2,400)	(2,400)
4108 Market Value Credit - Ag	5,797	10,033	9,596	10,423	0	0	4,000	4,000	0.0%	4,000	4,000
4112 PERA Rate Increase Aid	634	634	634	634	0	0	634	634	0.0%	634	634
4175 Agricultural perserve credit	659	663	1,005	1,064	0	0	500	500	0.0%	500	500
TOTAL INTERGOVT REVENUES	4,715	8,998	9,076	9,854	0	(2,510)	2,734	5,244	-91.8%	2,734	2,734
3-CHARGES FOR SERVICES:											
4205 Assessment Search	50	20	80	60	20	40	35	(5)	114.3%	35	35
4210 Sale of City Data (Various Media)	20	117	34	8	9	64	100	36	63.8%	100	100
TOTAL CHARGES FOR SERVICES	70	137	114	68	29	104	135	31	76.9%	135	135

City of Afton
Detail Statement of Revenue and Expenditures - General Fund Only
Year to Date 5/31/18

	Audited 2014	Audited 2015	Audited 2016	UnAudited 2017	Month of May-18	YTD Actual 5/31/18	Annual Budget 2018	Remaining Budget \$	YTD Act as % of Annual Budget	Annual Budget 2017	Annual Budget 2016
4-FINES & FORFEITURES:											
4300 County Fines & Fees	10,359	15,861	14,422	11,061	1,027	3,284	14,000	10,716	23.5%	14,000	14,000
4305 Other Fines & Forfeitures	0	0	664	0	0	0	250	250	0.0%	250	250
TOTAL FINES & FORFEITURES	10,359	15,861	15,086	11,061	1,027	3,284	14,250	10,966	23.0%	14,250	14,250
5-LICENSES, FEES, PERMITS:											
4400 Building Permit Fees - Afton	86,885	117,818	206,416	193,823	31,110	56,309	86,000	29,691	65.5%	86,000	80,000
4401 Building & Eng'g Inspection Fees	800	1,050	1,550	2,390	500	750	250	(500)	300.0%	250	250
4404 4th of July permits	250	0	0	0	0	0	0	0	0.0%	0	0
4405 Pet License & Impound Fees	335	1,025	325	1,055	0	5	300	295	1.7%	300	300
4410 Liquor Licenses	3,000	3,000	5,023	3,500	0	0	2,600	2,600	0.0%	2,600	2,600
4415 Other Licenses	413	260	589	1,119	50	478	350	(128)	136.6%	350	350
4435 Street Opening & Utility Permit Fees	750	500	2,250	3,500	0	250	1,750	1,500	14.3%	1,750	1,750
4437 Utility Franchise Fees	59,438	59,554	57,833	62,497	15,360	13,859	58,000	44,141	23.9%	58,000	58,000
4440 Zoning Fees & Permits	10,248	6,965	7,886	11,475	140	1,490	3,000	1,510	49.7%	3,000	3,000
TOTAL LICENSES, FEES, PERMITS	162,119	190,172	281,870	279,359	47,159	73,142	152,250	79,108	48.0%	152,250	146,250
7-MISCELLANEOUS REVENUE:											
4601 Insurance dividend	3,208	3,271	3,972	998	0	0	2,000	2,000	0.0%	2,000	2,000
4604 Park rental & cleaning fees	825	560	225	225	25	125	500	375	25.0%	500	500
4615 Settlements/Other Income/Transfer	10	869	160	609	0	825	0	(825)	0.0%	0	0
TOTAL MISCELLANEOUS REVENUE	4,043	4,700	4,357	1,832	25	950	2,500	1,550	38.0%	2,500	2,500
9-OTHER GRANTS:											
4810 County Grant-recycling grant	7,178	7,210	7,210	7,210	0	7,210	7,090	(120)	101.7%	7,090	7,090
4815 Cable Commission Grant	1,200	1,200	1,200	1,500	0	1,200	1,200	0	100.0%	1,200	1,200
TOTAL OTHER GRANTS	8,378	8,410	8,410	8,710	0	8,410	8,290	(120)	101.4%	8,290	8,290
10-INTEREST REVENUES:											
4901 Interest - 4M Fund General	54	144	955	12,772	556	3,106	1,000	(2,106)	310.6%	50	50
TOTAL INTEREST REVENUES	54	144	955	12,772	556	3,106	1,000	(2,106)	310.6%	50	50
TOTAL REVENUES	1,823,780	1,904,993	2,181,305	2,343,817	48,796	86,485	2,314,945	2,228,460	3.7%	# 2,222,110	2,032,901

City of Afton
Detail Statement of Revenue and Expenditures - General Fund Only
Year to Date 5/31/18

		Audited	Audited	Audited	UnAudited	Month of	YTD Actual	Annual	Remaining	YTD Act as	Annual	Annual
		2014	2015	2016	2017	May-18	5/31/18	Budget 2018	Budget \$	% of Annual	Budget 2017	Budget 2016
										% of Annual		
										% of Annual		
B: EXPENDITURES												
I-WAGES & BENEFITS:												
5002	Mayor & Council	13,200	13,400	13,200	13,200	1,100	5,500	13,200	7,700	41.7%	13,200	13,200
5004	Administrator	81,575	88,150	91,483	92,150	7,679	38,396	99,700	61,304	38.5%	97,759	94,912
5005	Intern (s)	0	0	0	0	0	0	500	500	0.0%	4,500	4,500
5007	Office Assistant	17,717	16,059	18,272	21,793	2,147	8,527	20,500	11,973	41.6%	16,556	16,074
5008	Office Manager/Clerk	38,593	38,922	38,798	28,930	4,132	15,762	51,535	35,773	30.6%	44,150	42,864
5115	Contract Office - Administration	0	0	0	5,221	0	0	0	0			
5020	Maintenance Personnel incl Vehicle Allowance	17,849	17,300	18,816	24,076	3,328	8,439	25,400	16,961	33.2%	24,669	23,951
5014	FICA & Medicare	13,425	17,702	17,854	18,047	1,507	6,802	16,129	9,327	42.2%	15,364	14,956
5018	Insurance Benefits (Disability)	642	646	648	227	28	142	720	578	19.7%	720	720
5037	Other Financial Benefits	16,200	26,400	26,400	26,400	2,200	11,000	26,400	15,400	41.7%	26,400	26,400
5053	PERA	11,416	12,178	13,008	12,771	1,287	5,507	16,340	10,833	33.7%	15,063	14,663
5024	Workers Comp Insurance	2,530	3,689	3,171	0	2,790	2,790	3,100	310	90.0%	3,100	2,600
TOTAL WAGES & BENEFITS		213,147	234,446	241,650	242,814	26,199	102,865	273,524	170,659	37.6%	261,481	254,840
2-PROFESSIONAL SERVICES:												
5120	Contract - Videographer	606	710	1,807	2,475	381	1,906	2,800	894	68.1%	2,000	1,000
5302	Assessor Fees	20,191	20,716	21,269	22,215	0	23,592	22,700	(892)	103.9%	21,850	21,200
5304	Accounting fees	13,365	14,375	15,247	17,130	1,326	6,855	16,850	9,995	40.7%	16,500	15,350
5305	Auditing fees	5,350	5,450	5,350	6,600	200	5,600	8,900	3,300	62.9%	8,700	5,700
5310	Engineering Fees	12,722	17,707	23,561	24,410	5,805	9,459	20,000	10,541	47.3%	20,000	20,000
5315	Recording fees	151	46	0	0	0	(92)	300	392	-30.7%	300	300
5320	Legal fees - Prosecution	29,698	25,140	23,160	27,943	0	8,615	28,000	19,385	30.8%	28,000	28,000
5321	Legal fees - General/Civil	13,772	20,447	21,951	19,082	0	7,411	22,000	14,589	33.7%	22,000	22,000
5330	Planning Fees	0	0	0	6,200	323	2,677	4,000	1,323	66.9%	4,000	0
5335	Other Fees for Service	0	0	(433)	1,150	0	0	1,500	1,500	0.0%	1,500	1,500
5350	Building Inspection Fees - Stensland	36,910	48,921	80,054	82,429	11,224	22,649	34,400	11,751	65.8%	34,400	32,000
5360	Misc Dev Fees	(200)	(345)	0	0	0	0	0	0		0	0
5370	Well Monitoring Program	144	0	768	0	0	1,075	1,200	125	89.6%	1,000	1,000
5380	Watershed Management	488	488	595	596	0	596	600	4	99.4%	500	500
TOTAL PROFESSIONAL SERVICES		133,198	153,655	193,329	210,229	19,260	90,344	163,250	72,906	55.3%	160,750	148,550

City of Afton
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Year to Date 5/31/18

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4-OTHER EXPENDITURES:											
5500 Office Equipment	176	1,612	576	0	0	0	700	700	0.0%	700	600
5505 Bank/IRS Fees/Penalties/Sales Tax	135	347	262	314	18	159	400	241	39.8%	400	400
5510 Comp Svc (All Hard/Software, GIS, Web, Email)	4,825	5,396	5,610	6,900	913	4,002	9,500	5,498	42.1%	9,500	9,500
5516 Copier Lease	6,424	6,796	3,243	2,760	230	920	7,000	6,080	13.1%	7,000	7,500
5520 Equipment Maintenance	62	0	0	0	0	0	1,000	1,000	0.0%	1,000	1,000
5525 Insurance-General Liability	18,377	17,886	17,250	15,962	20,836	20,836	21,000	1,662	99.2%	21,000	21,000
5535 Misc. Expense	230	956	21	574	0	506	2,000	1,494	25.3%	2,000	2,000
5540 Office Supplies	2,673	2,953	2,631	3,563	200	1,261	4,000	2,739	31.5%	4,000	4,000
5545 Other Administration	475	713	400	320	120	120	500	380	24.0%	500	500
5550 Postage	4,816	3,439	3,281	3,847	0	1,722	3,500	1,778	49.2%	3,500	3,500
5555 Publishing & Printing	2,336	3,656	2,201	407	124	554	2,800	2,246	19.8%	2,800	2,800
5560 Newsletter	5,281	6,058	5,339	4,804	290	1,740	6,000	4,260	29.0%	6,000	6,000
5565 Telephone	2,759	2,682	2,703	3,051	300	1,498	3,500	2,002	42.8%	3,500	3,500
5575 Travel & Mileage	180	0	132	186	0	81	500	419	16.2%	500	500
5580 Membership & Dues	2,987	3,158	3,207	3,229	113	113	3,000	2,887	3.8%	3,000	3,000
5585 Seminars & Education	1,932	2,364	682	1,059	(60)	1,345	2,500	1,155	53.8%	2,500	2,500
TOTAL OTHER EXPENDITURES	53,668	58,017	47,538	46,974	23,083	34,858	67,900	33,042	51.3%	67,900	68,300
SUBTOTAL GENERAL & ADMINISTRATIVE	400,012	446,119	482,517	500,017	68,542	228,067	504,674	276,607	45.2%	490,131	471,690
5-PUBLIC SAFETY:											
5605 Animal Control	1,899	2,823	1,959	1,280	281	1,575	4,000	2,425	39.4%	4,000	4,000
5625 Fire & Ambulance Service	213,705	219,953	232,893	243,296	0	124,583	249,166	124,583	50.0%	243,296	232,893
xxxx Police Service - Additional Patrols	0	0	0	0	0	0	5,000	5,000	0.0%	0	0
5635 Police Service - County	168,494	169,289	178,385	176,419	0	227	180,000	179,773	0.1%	175,000	171,250
TOTAL PUBLIC SAFETY	384,098	392,065	413,237	420,994	281	126,385	438,166	311,781	28.8%	422,296	408,143
6-PUBLIC HEALTH:											
5705 Recycling - Afton	150	268	1,076	525	0	12	500	488	2.3%	500	500
5720 Refuse Hauling - City Hall	1,630	819	708	745	370	429	1,500	1,071	28.6%	1,500	1,500
TOTAL PUBLIC HEALTH	1,780	1,087	1,784	1,270	370	441	2,000	1,559	22.0%	2,000	2,000

City of Afton
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7-STREETS:											
5820 Gravel Road Maintenance	1,755	3,530	7,944	13,721	3,780	3,780	4,000	220	94.5%	4,000	4,000
5825 Crackseal/Seal Coat/Gravel Shouldering	90,685	51,829	11,701	33,098	0	0	75,000	75,000	0.0%	75,000	75,000
5830 Snow & Ice Control	115,692	62,431	78,910	76,152	4,459	93,632	110,000	16,368	85.1%	110,000	110,000
5835 Surf maint/Sweeping/Pothole Repair	29,844	49,873	33,139	28,672	1,275	1,275	10,000	8,725	12.8%	46,000	46,000
5845 Brush,Tree,Mow,Bridge,Culvert,Guardrail	25,502	40,117	21,136	80,978	2,520	2,520	50,000	47,480	5.0%	39,000	39,000
5850 Street Lighting	3,982	4,286	3,164	4,494	403	2,129	12,000	9,871	17.7%	5,000	5,000
5855 Gas Lamps - Operating Costs	2,851	2,491	1,889	1,236	162	1,263	0	(1,263)		2,700	2,700
5856 Gas Lamps - Capital	0	0	0	0	0	0	0	0		0	0
5860 Signs & Signals	2,977	3,247	3,413	2,624	261	950	4,000	3,050	23.7%	4,000	4,000
5870 Other - Road Maint.	758	605	1,696	888	20	70	2,000	1,930	3.5%	2,000	2,000
TOTAL STREETS	274,047	218,410	162,992	241,863	12,881	105,619	267,000	161,381	39.6%	287,700	287,700
9-OTHER PUBLIC WORKS EXPENDITURES:											
5910 Flood Control (Operate Pump/Dike)	803	0	0	0	0	0	1,600	1,600	0.0%	1,600	1,600
5920 Repair & Maint - Equipment	1,312	1,080	1,324	1,506	0	0	1,500	1,500	0.0%	1,500	1,500
5925 Fuel & Lubricants	478	558	311	263	0	0	1,000	1,000	0.0%	1,000	1,000
5930 Tools & Minor Equipment	243	277	275	95	0	0	950	950	0.0%	950	950
TOTAL OTHER PUBLIC WORKS	2,836	1,914	1,910	1,864	0	0	5,050	5,050	0.0%	5,050	5,050
SUBTOTAL STREETS, REHAB & PUBLIC WORKS	276,883	220,324	164,902	243,727	12,881	105,619	272,050	166,431	38.8%	292,750	292,750
9-BUILDINGS & LAND:											
6010 Gas Heat	2,060	1,937	1,071	533	0	0	2,200	2,200	0.0%	2,200	2,500
6020 Electricity	1,822	1,731	1,635	2,039	151	1,179	2,000	821	59.0%	2,000	1,750
6030 Miscellaneous Expense	777	1,036	944	910	40	160	800	640	20.0%	800	500
6035 Cleaning	1,031	874	273	13	0	7	2,000	1,993	0.3%	2,000	1,000
6040 Repair & Maintenance	898	1,910	902	2,644	269	980	2,000	1,020	49.0%	2,000	2,000
6045 City Garage Expense	3,264	2,557	3,182	2,147	421	2,428	2,500	72		2,500	2,500
xxxx Deputy Facility/PW Garage	0	0	0	0	0	0	1,000	1,000	0.0%	0	0
6050 Supplies	594	288	289	536	198	628	500	(128)	125.6%	500	500
TOTAL BUILDINGS & LAND	10,446	10,334	8,296	8,823	1,080	5,382	13,000	7,618	41.4%	12,000	10,750

City of Afton
Detail Statement of Revenue and Expenditures - General Fund Only
Year to Date 5/31/18

	Audited 2014	Audited 2015	Audited 2016	UnAudited 2017	Month of May-18	YTD Actual 5/31/18	Annual Budget 2018	Remaining Budget \$	YTD Act as % of Annual Budget	Annual Budget 2017	Annual Budget 2016
12-PARKS & RECREATION:											
6105 4th of July Celebration	3,691	3,500	3,500	3,500	0	3,500	3,500	0	100.0%	3,500	3,500
6135 Park Maintenance	1,275	359	569	2,587	139	971	1,200	229	80.9%	1,200	1,200
6140 Miscellaneous expense	52	62	112	18	212	212	300	88	70.8%	300	300
6205 Cemetery maintenance	0	0	9,000	9,354	0	9,000	9,000	0	100.0%	9,000	2,500
TOTAL PARKS & RECREATION	5,018	3,921	13,181	15,459	351	13,683	14,000	317	97.7%	14,000	7,500
OVERALL TOTAL EXPENDITURES	1,078,237	1,073,850	1,083,917	1,190,291	83,503	479,577	1,243,890	764,313	38.6%	1,233,177	1,192,833
C: OTHER FINANCING SOURCES (USES)											
4725 Tax Levy to 2014A Road Debt Service	(305,000)	(310,000)	(260,000)	(260,000)	0	0	(260,000)	(260,000)		(260,000)	(260,000)
xxxx Tax Levy to 2017B Road Debt Service	0	0	0	0	0	0	(390,000)	(390,000)		0	0
4898 Tax Levy to Dwtwn Imp Tmp Bonds	0	0	(28,000)	(28,000)	0	0	(30,000)	(30,000)		(28,000)	(28,000)
4899 Tax Levy to Dwtwn Imp PFA Loans	0	0	(70,000)	(70,000)	0	0	(70,000)	(70,000)		(70,000)	(70,000)
4050 Tax Levy to Fire Hall Debt Service Fund	(57,356)	(57,933)	(49,893)	(49,833)	0	0	(49,784)	(49,784)		(49,833)	(58,468)
6920 Oper trf to Bldg & Land Fund - Budgeted	(6,000)	(6,000)	(6,000)	(6,000)	0	0	(6,000)	(6,000)		(6,000)	(6,000)
6920 Oper trf to Bldg & Land Fund - UnBudgeted	0	(20,000)	(25,000)	(25,000)	0	0	0	0		0	0
6921 Oper trf to Street Imp -UnBudgeted	0	(43,500)	(230,000)	(100,000)	0	0	0	0		0	0
6925 Oper trf to Street Imp -Budgeted	(200,000)	(200,000)	(200,000)	(375,000)	0	0	(70,000)	(70,000)		(375,000)	(200,000)
6928 Oper Trf from(to) Special Reserve Fund	(294)	(5,000)	(3,000)	(9,500)	0	0	(5,000)	(5,000)		(9,500)	(78,000)
6932 Oper Trf to Stormwater Fund	(3,500)	(3,500)	(3,500)	(3,500)	0	0	(3,500)	(3,500)		(3,500)	(3,500)
6933 Oper Trf to Vehicle Fund	(2,500)	(2,500)	(2,500)	(2,500)	0	0	(2,500)	(2,500)		(2,500)	(2,500)
6935 Oper Trf to Comprehensive Plan	(2,000)	(2,000)	(3,000)	(4,000)	0	0	(4,000)	(4,000)		(4,000)	(3,000)
6936 Oper Trf to Flood Mitigation & Control	(5,500)	(5,500)	(5,500)	(5,500)	0	0	(5,500)	(5,500)		(5,500)	(5,500)
6937 Oper Trf to DNR Grant Match	(95,000)	(95,000)	(95,000)	(95,000)	0	0	(95,000)	(95,000)		(95,000)	(95,000)
6934 Oper trf to Codification (Spec Act Fd)	(100)	(100)	(100)	(100)	0	0	(100)	(100)		(100)	(100)
4843 Oper Trf to MN Unemployment Claims	(3,000)	(3,000)	(1,000)	(1,000)	0	0	(1,000)	(1,000)		(1,000)	(1,000)
4847 Oper Trf to Election Expense Fund	(5,500)	(5,500)	(5,500)	(5,500)	0	0	(5,500)	(5,500)		(5,500)	(5,500)
6910 City Council Contingency Fund	0	0	0	(10,000)	0	0	0	0		0	0
4842 Oper Trf to Audit and Legal Reserve	(100)	(100)	(1,000)	(1,000)	0	0	(1,000)	(1,000)		(1,000)	(1,000)
4844 Oper Trf to Parks Capital Repairs/Trail & Ped Bridge	(5,500)	(5,500)	(5,500)	(5,500)	0	0	(5,500)	(5,500)		(5,500)	(5,500)
4022 Oper Trf to Afton Septic System - City Bldgs	(15,000)	(15,000)	(15,000)	(15,000)	0	0	(15,000)	(15,000)		(15,000)	(15,000)
4818 Oper Trf to Spec Act Fd re High Speed Internet	0	(8,000)	(75,000)	(50,000)	0	0	0	0		(50,000)	0
4846 Oper Trf to Sidewalk	(2,000)	(2,000)	(2,000)	(2,000)	0	0	(2,000)	(2,000)		(2,000)	(2,000)
xxxx Oper Trf to Bridge Replacement Fund	0	0	0	0	0	0	(49,671)	(49,671)		0	0
6929 Trf (to)/from Special Activities Fund (Various)	0	(15,000)	(10,000)	(25,000)	0	0	0	0		0	0
TOTAL OTH FINANCING/TRANSFERS	(708,350)	(805,133)	(1,096,493)	(1,148,933)	0	0	(1,071,055)	(1,071,055)		(988,933)	(840,068)
REVENUES OVER (UNDER) EXPENDITURES	37,193	26,010	895	4,594	(34,707)	(393,092)	\$0	393,092		\$0	\$0
Fund Balance - Beginning of Period	264,114	301,307	327,317	328,212		\$332,805					
Fund Balance - End of Period	301,307	327,317	328,212	332,805		(\$60,287)					

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City of Afton
Summary of Special Activities and MN Investment Funds
YTD 5/31/18

	Balance 12/31/2014	Balance 12/31/2015	Balance 12/31/2016	Balance 12/31/2017	Receipts	Disbursements	Transfers	Balance 5/31/2018
#550 Special Activities Fund								
A. Interest (unallocated)	3,871.67	3,930.92	4,394.61	6,100.51	1,896.31			7,996.82
B1. Cable Commission (Communications)	18,378.87	24,889.73	13,549.11	12,083.74	12,390.88	9,634.31		14,840.31
B3. City Council Contingency Reserve	10,975.00	9,775.00	4,768.56	10,229.76		1,500.00		8,729.76
B4. Community Garden	(87.88)	(0.00)	(0.00)	(0.00)				(0.00)
B4. MN Historic Preservation Design Guidelines	0.00	8,000.00	(225.00)	(225.00)				(225.00)
B5. Afton Residents for Preservation & Conservation	0.00	0.00	0.00	1,500.00				1,500.00
C1. Codification	3,750.20	3,850.20	3,950.20	4,050.20				4,050.20
C2. Comprehensive Plan	8,155.36	1,947.36	4,947.36	18,947.36				18,947.36
D1. Flood Control (Acct 7836)	5,063.99	17,004.27	22,304.27	27,804.27				27,804.27
D2. Storm Water Control	21,433.70	24,933.70	28,433.70	31,933.70				31,933.70
D3. Snow & Ice Reserve	0.00	15,000.00	15,000.00	30,000.00				30,000.00
D6. TAG Wastewater Comm Assessmnt (Acct 7833)	(15,982.34)	0.00	0.00	0.00				0.00
E. Charitable Gaming Fund	0.00	0.00	84.47	495.80	72.07			567.87
G. TIF Dist No. 1 (Afton Market Square)	849.01	0.00	0.00	0.00				0.00
H. State Fire Aid (Pass-Thru)	0.00	0.00	0.00	0.00	2,000.00	2,000.00		0.00
I. City Vehicles	4,148.96	6,648.96	9,148.96	9,214.39		1,319.00		7,895.39
K. Audit/Legal Reserve	38,436.57	38,536.57	39,536.57	40,536.57		3,399.10		37,137.47
L. MN UI Claims, Severance & Oth PTO	23,788.53	26,788.53	27,788.53	28,788.53				28,788.53
M. Parks Capital, Pedestrian Bike Trail & Bridge	16,459.94	21,959.94	27,459.94	27,959.94				27,959.94
N. Election Expense	5,780.27	11,159.33	9,452.67	13,402.67		9,950.75		3,451.92
O. Sidewalk	10,000.00	12,000.00	14,000.00	16,000.00				16,000.00
P. High Speed Internet	0.00	0.00	0.00	124,850.00				124,850.00
Total #550 Special Activities Fund	155,021.85	226,424.51	224,593.95	403,672.44	16,359.26	27,803.16	0.00	392,228.54
#600 MN Investment Fund								
4886/8986 Chandler Exhibits	104,361.13	104,409.10	104,635.25	105,377.87	602.39		0.00	105,980.26
Total #600 MN Investment Fund	104,361.13	104,409.10	104,635.25	105,377.87	602.39	0.00	0.00	105,980.26

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City of Afton
Special Activities Fund - Detail by Account
 January through May 2018

Type	Date	Num	Source Name	Memo	Debit	Credit	Balance
4815 · Cable Comm Dist - Year End							
Depo...	02/26/2018	2023		Cable Commission: 2017 year end distribution		12,390.88	12,390.88
Total 4815 · Cable Comm Dist - Year End					0.00	12,390.88	12,390.88
4914 · Special Activity - Interest							
Gene...	01/31/2018	interest		Interest Income		286.07	286.07
Gene...	02/28/2018	interest		Interest Income		273.80	559.87
Gene...	03/31/2018	interest		Interest Income		356.51	916.38
Gene...	04/30/2018	interest		Interest Income		464.74	1,381.12
Gene...	05/31/2018	interest		Interest Income		515.19	1,896.31
Total 4914 · Special Activity - Interest					0.00	1,896.31	1,896.31
4940 · State Fire Aid Received							
Depo...	03/14/2018	5927980		St of MN: Firefighters Relief Assoc 2018 Supplemental		2,000.00	2,000.00
Total 4940 · State Fire Aid Received					0.00	2,000.00	2,000.00
4950 · 10% Charitable Gaming Tax							
Depo...	03/12/2018	11810		Merrick: Lumberyard Pub Jan 2018		43.38	43.38
Depo...	04/30/2018	11937		Merrick Charitable Gaming Lumberyard Pub March 2018		19.54	62.92
Depo...	05/31/2018	12010		Merrick April 2018: Lumberyard Pub		9.15	72.07
Total 4950 · 10% Charitable Gaming Tax					0.00	72.07	72.07
5020 · Maintenance Person							
Payc...	02/15/2018	22393	Johnson, Kenneth L		0.00		0.00
Total 5020 · Maintenance Person					0.00	0.00	0.00
5051 · Social Security Tax - Employer							
Payc...	02/15/2018	22393	Johnson, Kenneth L		3.70		(3.70)
Payc...	02/15/2018	201802024	Yoho, Julie D	Direct Deposit	115.93		(119.63)
Payc...	02/28/2018	201803002	Yoho, Julie D	Direct Deposit	71.06		(190.69)
Total 5051 · Social Security Tax - Employer					190.69	0.00	(190.69)
5052 · Medicare Tax - Employer							
Payc...	02/15/2018	22393	Johnson, Kenneth L		0.87		(0.87)
Payc...	02/15/2018	201802024	Yoho, Julie D	Direct Deposit	27.11		(27.98)
Payc...	02/28/2018	201803002	Yoho, Julie D	Direct Deposit	16.62		(44.60)
Total 5052 · Medicare Tax - Employer					44.60	0.00	(44.60)
5053 · PERA Contribution - Employer							
Payc...	02/15/2018	22393	Johnson, Kenneth L		4.48		(4.48)
Payc...	02/15/2018	201802024	Yoho, Julie D	Direct Deposit	140.25		(144.73)
Payc...	02/28/2018	201803002	Yoho, Julie D	Direct Deposit	85.95		(230.68)
Total 5053 · PERA Contribution - Employer					230.68	0.00	(230.68)
5440 · State Fire Aid Paid							
Bill	03/14/2018	FireAid18Supplemntal	LSCV Fire Relief Assn (State Aid)	2018 State Fire Aid \$2,000 Supplemental	2,000.00		(2,000.00)
Total 5440 · State Fire Aid Paid					2,000.00	0.00	(2,000.00)
5561 · Communications							
Bill	01/31/2018	46157	StarTech Computing, Inc	MS Server 2016 Std Licenss	210.00		(210.00)
Bill	02/28/2018	46316	StarTech Computing, Inc	winx dvd ripper	48.90		(258.90)
Bill	03/31/2018	1038646	Metro Sales Inc.	2 Canon DR-C225 scanners	670.00		(928.90)
Bill	03/31/2018	45989	StarTech Computing, Inc	Foxit Phantom PDF Standard 9.0	129.00		(1,057.90)
Bill	03/31/2018	46133	StarTech Computing, Inc	1 HP Chromebook	295.51		(1,353.41)
Bill	04/30/2018	13261	Audio Logic Systems	installed Euro connector	85.00		(1,438.41)
Bill	04/30/2018	46445	StarTech Computing, Inc	Godaddy.com UCC SSL Cert	271.98		(1,710.39)
Bill	05/30/2018	MS Surface Pros	Best Buy	6 MS Surface Pros w MS Office 365	7,923.92		(9,634.31)
Total 5561 · Communications					9,634.31	0.00	(9,634.31)

City of Afton
Special Activities Fund - Detail by Account
 January through May 2018

Type	Date	Num	Source Name	Memo	Debit	Credit	Balance
5977 · City Vehicles - JD Tractor X749							
Bill	02/28/2018	TractorCabCover	AHW	Tractor Cab Cover for JD Tractor	1,319.00		(1,319.00)
Total 5977 · City Vehicles - JD Tractor X749					1,319.00	0.00	(1,319.00)
6342 · Legal Exp - Deductible/CoPays							
Bill	05/31/2018	PC33054	LMCIT (Deductible)	Shari & Randall Morgan, File PC33054: \$250 Deductible + 15% of 1st \$250,000 litigation costs	3,399.10		(3,399.10)
Total 6342 · Legal Exp - Deductible/CoPays					3,399.10	0.00	(3,399.10)
6347 · Elections Expense							
Bill	01/31/2018	012918	Hudson Bagel & Coffee Co.	Food for Election Judges	210.66		(210.66)
Bill	01/31/2018	0118415245	Pioneer Press	Legals: Notice of public accuracy test (election)	120.73		(331.39)
Bill	01/31/2018	134390	Wash Cty (Elections)	2018 Automark Ext Maint Fees	1,550.00		(1,881.39)
Payc...	02/15/2018	22393	Johnson, Kenneth L		59.75		(1,941.14)
Payc...	02/15/2018	201802024	Yoho, Julie D	Direct Deposit	1,869.92		(3,811.06)
Payc...	02/15/2018	22398	Arco, Laurie		350.00		(4,161.06)
Payc...	02/15/2018	22398	Arco, Laurie		116.49		(4,277.55)
Payc...	02/15/2018	22399	Grodahl, Donnelle		238.00		(4,515.55)
Payc...	02/15/2018	22400	Jahn, Roxane		80.00		(4,595.55)
Payc...	02/15/2018	22401	Jensen, Mary S		160.00		(4,755.55)
Payc...	02/15/2018	22402	Kiefner, Janice A		80.00		(4,835.55)
Payc...	02/15/2018	22403	Kopitzke, Karen		80.00		(4,915.55)
Payc...	02/15/2018	22404	Loving, Denise		80.00		(4,995.55)
Payc...	02/15/2018	22405	McDonald, Lee Ann		80.00		(5,075.55)
Payc...	02/15/2018	22406	Nalipinski, Daniel A		252.00		(5,327.55)
Payc...	02/15/2018	22407	Peterson, Cynthia		80.00		(5,407.55)
Payc...	02/15/2018	22408	Reyers, Bonnie		80.00		(5,487.55)
Payc...	02/15/2018	22409	Schmitz, Ted		65.00		(5,552.55)
Payc...	02/15/2018	22410	Shouman, Kristen		160.00		(5,712.55)
Payc...	02/15/2018	22411	Showalter, John J		252.00		(5,964.55)
Payc...	02/28/2018	201803002	Yoho, Julie D	Direct Deposit	1,146.08		(7,110.63)
Payc...	02/28/2018	201803002	Yoho, Julie D	Direct Deposit	45.35		(7,155.98)
Payc...	02/28/2018	22421	Grodahl, Donnelle		140.00		(7,295.98)
Payc...	02/28/2018	22422	Jahn, Roxane		70.00		(7,365.98)
Payc...	02/28/2018	22423	Jensen, Mary S		150.00		(7,515.98)
Payc...	02/28/2018	22424	Kasowan, Susan		80.00		(7,595.98)
Payc...	02/28/2018	22425	Kiefner, Janice A		80.00		(7,675.98)
Payc...	02/28/2018	22426	Kopitzke, Karen		80.00		(7,755.98)
Payc...	02/28/2018	22427	Loving, Denise		80.00		(7,835.98)
Payc...	02/28/2018	22428	McDonald, Lee Ann		70.00		(7,905.98)
Payc...	02/28/2018	22429	Nalipinski, Daniel A		238.00		(8,143.98)
Payc...	02/28/2018	22430	Peterson, Cynthia		80.00		(8,223.98)
Payc...	02/28/2018	22431	Reyers, Bonnie		115.00		(8,338.98)
Payc...	02/28/2018	22432	Shouman, Kristen		150.00		(8,488.98)
Payc...	02/28/2018	22433	Showalter, John J		252.00		(8,740.98)
Payc...	02/28/2018	22434	Wasmundt, Gary M		224.00		(8,964.98)
Payc...	02/28/2018	22450	Eklund, Marilyn	Replacement for Ck#22435 presumed lost	150.00		(9,114.98)
Payc...	02/28/2018	22436	Scott, Elsie		150.00		(9,264.98)
Bill	02/28/2018	Election2018	Hudson Bagel & Coffee Co.	Food for Election Judges	219.80		(9,484.78)
Total 6347 · Elections Expense					9,484.78	0.00	(9,484.78)
6366 · City Council Contingency Exp							
Bill	02/28/2018	Feb2018	Youth Service Bureau	YSB Services - 2018	1,500.00		(1,500.00)
Total 6366 · City Council Contingency Exp					1,500.00	0.00	(1,500.00)
TOTAL					27,803.16	16,359.26	(11,443.90)

City of Afton
Street Improvement Fund - Detail by Account
January through May 2018

Type	Date	Num	Source Name	Memo	Amount
4907 · Pub Wks 4M Fd Interest Earnings					
General Jo...	01/31/2018	Interest		Interest Income	1,113.27
General Jo...	02/28/2018	Interest		Interest Income	1,057.88
General Jo...	03/31/2018	Interest		Interest Income	1,287.10
General Jo...	04/30/2018	Interest		Interest Income	1,064.24
General Jo...	05/31/2018	Interest		Interest Income	754.26
Total 4907 · Pub Wks 4M Fd Interest Earnings					5,276.75
7900 · Street Imp Capital Projects					
7937 · Bridge Repair & Replacement					
Bill	02/28/2018	2	WSB (Bridge Inspections)	Bridge Safety Inspections	(2,940.00)
Bill	03/31/2018	3	WSB (Bridge Inspections)	Bridge Safety Inspections	(1,396.50)
Total 7937 · Bridge Repair & Replacement					(4,336.50)
7943 · 2017 Street Projects					
Bill	05/31/2018	PayVoucherNo. 6	Park Construction Company	2017 Pavement Mgmt Project: WSB Proj No 1856-54 Pay Voucher No. 6	(50,512.78)
Bill	05/31/2018	Final Pay Voucher ...	Park Construction Company	2017 Pavement Mgmt Project: WSB Proj No 1856-54, Final Pay Voucher #7	(265,698.94)
Total 7943 · 2017 Street Projects					(316,211.72)
Total 7900 · Street Imp Capital Projects					(320,548.22)
6848 · Trf fr Road Debt Service Fd					
General Jo...	05/31/2018	2017StrtImp		Trf fr Road Debt Service re. 2017 Street Pavement Project	316,211.72
Total 6848 · Trf fr Road Debt Service Fd					316,211.72
TOTAL					940.25

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City of Afton
Bldg & Land Fund - Detail by Account
 January through May 2018

Type	Date	Num	Source Name	Memo	Amount
4022 · Afton Septic System - City Bldg					
Depo...	01/31/2018	10352		George Weed: Dec 2017	50.00
Depo...	01/31/2018	1295		Lone Star on St Croix Dec 2017	200.00
Depo...	01/31/2018	10352		George Weed: Sanitary Sewer Fee 2018	550.00
Depo...	02/26/2018	43447		Afton St Croix: Dec17 sanitary sewer fee	1,750.00
Depo...	03/12/2018	1301		Lone Star on St Croix, LLC	200.00
Depo...	03/12/2018	3489		Selma's	900.00
Depo...	03/12/2018	1010		Richard Balsimo	100.00
Depo...	03/12/2018	995110		John Thompson	50.00
Depo...	03/27/2018	5421		Calli Lili, Kathleen Feehan Schmidt	250.00
Depo...	03/27/2018	1308		Lone Star on St Croix	200.00
Depo...	03/31/2018	1013		Richard Balsimo	50.00
Depo...	03/31/2018	43525		Afton St Croix Co	1,750.00
Depo...	04/30/2018	43560		Afton St Croix Co	1,750.00
Depo...	04/30/2018	995111		John Thompson	50.00
Depo...	04/30/2018	1315		Lone Star on St Croix	200.00
Depo...	05/21/2018	1017		Richard Balsimo Estate	50.00
Depo...	05/21/2018	43590		Afton St Croix Co	1,750.00
Depo...	05/21/2018	995112		John Thompson	50.00
Depo...	05/21/2018	1321		Lone Star on St Croix	200.00
Total 4022 · Afton Septic System - City Bldg					10,100.00
4832 · Wash Cty - Dep Garage, Office					
Depo...	05/15/2018	463147		Wash Cty: 1/2 Down on WC Sheriff Substation Bathroom	4,250.00
Total 4832 · Wash Cty - Dep Garage, Office					4,250.00
4906 · Bldg & Land Interest Earnings					
Gene...	01/31/2018	interest		Interest Income	21.92
Gene...	02/28/2018	interest		Interest Income	15.87
Gene...	03/31/2018	interest		Interest Income	24.91
Gene...	04/30/2018	interest		Interest Income	49.96
Gene...	05/31/2018	interest		Interest Income	56.89
Total 4906 · Bldg & Land Interest Earnings					169.55
6004 · Bldg Repair & Maintenance					
Bill	01/31/2018	12630	Freeway Electric, Inc	City Hall: 2 outside LED building fixtures - entrance and flagpole	(550.00)
Bill	04/30/2018	347	Tri-County Services (Streets, Other)	Removal of old garage	(3,500.00)
Bill	05/31/2018	2866	Ray Anderson & Sons	Dumpster 1675 Stage Coach Trl (old garage)	(150.00)
Bill	05/31/2018	2867	Ray Anderson & Sons	Dumpster 1675 Stage Coach Trl (old garage)	(150.00)
Total 6004 · Bldg Repair & Maintenance					(4,350.00)
6007 · Garage, Deputy Office Facility					
Bill	01/20/2018	1549	Douglas Kropelnicki Construction Inc.	Final invoice less 10% retainer of total contract price \$159,727.44	(40,354.70)
Gene...	01/31/2018	PRExpReimb		Ken Johnson: garage supplies	(37.48)
Bill	01/31/2018	64670	Menards - Hudson	supplies	(14.48)
Bill	01/31/2018	Add'l Carpet ...	Seestedt's	Carpet Deputy office	(243.54)
Bill	01/31/2018	1549a	Douglas Kropelnicki Construction Inc.	Final invoice less \$2,500 for Spring Painting: Total contract price \$159,727.44	(15,972.74)
Bill	01/31/2018	10-942503	Econo Signs	Barricade Light for City Garage	(116.30)
Bill	01/31/2018	Carpet 2/6/18	Knutson, Kim	Carpet Squares - Sheriff's Office	(420.00)
Bill	04/30/2018	Sheriff Restr...	Home & Business Handyworks (Bill Baglio)	Install restroom at Sheriff Garage/Office. 1/2 down of \$8,500	(4,250.00)
Bill	05/31/2018	352	Tri-County Services (Streets, Other)	water and sewer lines to City Garage	(2,912.00)
Bill	05/31/2018	092750	Home & Business Handyworks (Bill Baglio)	Install restroom at Sheriff Garage/Office. 2nd & Final pymt of \$8,500	(4,250.00)

City of Afton
Bldg & Land Fund - Detail by Account
January through May 2018

Type	Date	Num	Source Name	Memo	Amount
Total 6007 · Garage, Deputy Office Facility					(68,571.24)
6022 · Septic System Operations					
Bill	01/31/2018	094913	Petersen Management Co. LLC	Operation and Management Fees Jan 2018	(1,508.33)
Bill	01/31/2018	095241	Petersen Management Co. LLC	Operation and Management Fees Feb 2018	(1,508.33)
Bill	01/31/2018	013118	Xcel Energy {EFT} (51-11983 9027)	Acct No. 51-0011983902-7 Pumphouse for Water Treatment: 2318 St Croix Trl S. Meter 15491212 Pre...	(745.19)
Bill	01/31/2018	095318	Petersen Management Co. LLC	Operation and Management Fees Lab Fees 1/24/18	(184.25)
Bill	01/31/2018	095376	Petersen Management Co. LLC	Operation and Management Fees Lab Fees 1/26/18	(155.65)
Bill	02/28/2018	095412	Petersen Management Co. LLC	Operation and Management Fees Lab Fees 1/29/18	(339.90)
Bill	02/28/2018	022818	Xcel Energy {EFT} (51-11957 8190)	Acct No. 51-00119578190 : Lift Station 15995 UPPER 34TH ST S. Meter 21647908 Premises 304699630	(290.86)
Bill	02/28/2018	022818	Xcel Energy {EFT} (51-11957 7713)	Acct No. 51-0011957771-3 : 3293 SAINT CROIX TRL S. Meter 7626901 Premises 304699626	(294.70)
Bill	02/28/2018	095754	Petersen Management Co. LLC	Outside Services Lab Fees 2/20, 2/26	(662.20)
Bill	02/28/2018	095758	Petersen Management Co. LLC	Operation and Management Fees: Mar2018	(1,508.33)
Bill	03/31/2018	033118	Xcel Energy {EFT} (51-11983 9027)	Acct No. 51-0011983902-7 Pumphouse for Water Treatment: 2318 St Croix Trl S. Meter 15491212 Pre...	(373.40)
Bill	03/31/2018	095997	Petersen Management Co. LLC	Afton MN Outside Services Lab Fees 3/7/18	(339.90)
Bill	03/31/2018	96148	Petersen Management Co. LLC	Oper and Mgmt fees April 2018	(1,508.33)
Gene...	04/01/2018	Utility Adj		Adjust Utility Auto Pays:Xcel Energy {EFT} (51-11983 9027) 201801036	745.19
Bill	04/30/2018	096200	Petersen Management Co. LLC	Lab fees 3/22/18	(339.90)
Bill	04/30/2018	096347	Petersen Management Co. LLC	Lab fees 4/4/18	(339.90)
Bill	04/30/2018	096347	Petersen Management Co. LLC	Lab fees 3/29/18	(184.25)
Bill	04/30/2018	043018	Xcel Energy {EFT} (51-11983 9027)	Acct No. 51-0011983902-7 Pumphouse for Water Treatment: 2318 St Croix Trl S. Meter 15491212 Pre...	(647.84)
Bill	04/30/2018	043018	Xcel Energy {EFT} (51-11957 7713)	Acct No. 51-0011957771-3 : 3293 SAINT CROIX TRL S. Meter 7626901 Premises 304699626	(113.64)
Bill	04/30/2018	043018	Xcel Energy {EFT} (51-11957 8190)	Acct No. 51-00119578190 : Lift Station 15995 UPPER 34TH ST S. Meter 21647908 Premises 304699630	(309.55)
Bill	04/30/2018	043018	Xcel Energy {EFT} (51-11983 9027)	Acct No. 51-0011983902-7 Pumphouse for Water Treatment: 2318 St Croix Trl S. Meter 15491212 Pre...	(789.64)
Bill	04/30/2018	096551	Petersen Management Co. LLC	Oper and Mgmt Fees	(1,508.33)
Bill	05/31/2018	096653	Petersen Management Co. LLC	outside services lab fees 4/20/18	(339.90)
Bill	05/31/2018	053118	Xcel Energy {EFT} (51-11957 8190)	Acct No. 51-00119578190 : Lift Station 15995 UPPER 34TH ST S. Meter 21647908 Premises 304699630	(304.20)
Bill	05/31/2018	053118	Xcel Energy {EFT} (51-11957 7713)	Acct No. 51-0011957771-3 : 3293 SAINT CROIX TRL S. Meter 7626901 Premises 304699626	(100.98)
Bill	05/31/2018	053118	Xcel Energy {EFT} (51-11983 9027)	Acct No. 51-0011983902-7 Pumphouse for Water Treatment: 2318 St Croix Trl S. Meter 15491212 Pre...	(538.74)
Bill	05/31/2018	096655	Petersen Management Co. LLC	outside services lab fees 5/17/18	(339.90)
Total 6022 · Septic System Operations					(14,530.95)
TOTAL					(72,932.64)

City of Afton
City Dock Fund - Detail by Account
 January through May 2018

Type	Date	Num	Source Name	Memo	Amount
4812 · Dock Lease Revenue					
Depo...	05/31/2018	43627		Afton St Croix Company: 2018 annual dock lease pymt	3,850.00
Total 4812 · Dock Lease Revenue					3,850.00
4909 · Dock 4M Fd - Interest Earnings					
Gene...	01/31/2018	Interest		Interest Income	61.96
Gene...	02/28/2018	Interest		Interest Income	60.38
Gene...	03/31/2018	Interest		Interest Income	74.48
Gene...	04/30/2018	Interest		Interest Income	81.35
Gene...	05/31/2018	Interest		Interest Income	90.04
Total 4909 · Dock 4M Fd - Interest Earnings					368.21
TOTAL					4,218.21

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City of Afton
General Fd Streets, Rehab & Public Works - Detail by Account
 January through May 2018

Type	Date	Num	Source Name	Memo	Amount
5820 · Gravel Road Maintenance					
Bill	05/31/2018	356	Tri-County Services (Streets, Other)	60th St limerock	(1,200.00)
Bill	05/31/2018	354	Tri-County Services (Streets, Other)	60th St grader	(680.00)
Bill	05/31/2018	13790	Rumpca Excavating Inc	lime rock	(1,900.30)
Total 5820 · Gravel Road Maintenance					(3,780.30)
5830 · Snow & Ice Control					
Bill	01/31/2018	317	Tri-County Services (Snow Ice)	Snow & Ice Control Jan 2018	(22,801.25)
Bill	02/28/2018	SnowIceDwntwnCityHal	Handyman Services of MN	Snow plow: Downtown sidewalks and City Hall	(450.00)
Bill	02/28/2018	135694	Wash Cty (Rd & Bridge)(Trans & Phys Dev)	Sand and Salt Dec 2017	(819.81)
Bill	02/28/2018	135694	Wash Cty (Rd & Bridge)(Trans & Phys Dev)	Sand and Salt Jan 2018	(4,360.19)
Bill	02/28/2018	321	Tri-County Services (Snow Ice)	Snow & Ice Control Feb 2018	(19,082.50)
Bill	02/28/2018	136315	Wash Cty (Rd & Bridge)(Trans & Phys Dev)	snow & ice control Feb 14 2018	(15,129.24)
Gene...	03/29/2018	Void22452		Void Check No. 22452 Handyman Services 3/15/18	450.00
Bill	03/29/2018	SnowRemovalMar2018	Baglio Bill (1099 Vendor)	Snow removal/filling of ice rink	(450.00)
Bill	03/31/2018	329	Tri-County Services (Snow Ice)	Snow & Ice Control 3/6/18 to 4/4/18: 153 hours	(13,005.00)
Bill	03/31/2018	137936	Wash Cty (Rd & Bridge)(Trans & Phys Dev)	snow & ice control March 3/13, 3/14/ 2018 sand and salt	(7,235.01)
Bill	04/30/2018	340	Tri-County Services (Snow Ice)	Snow & Ice Control 4/14/18 to 4/17/18; 74 hours	(6,290.00)
Bill	05/31/2018	140270	Wash Cty (Rd & Bridge)(Trans & Phys Dev)	snow & ice control April / 2018 sand and salt	(4,459.08)
Total 5830 · Snow & Ice Control					(93,632.08)
5835 · Surf Maint/Bit Patch/Sweeping					
Bill	05/31/2018	357	Tri-County Services (Streets, Other)	pot holes	(1,275.00)
Total 5835 · Surf Maint/Bit Patch/Sweeping					(1,275.00)
5845 · Brush/Tree/Sod/Seed					
Bill	05/31/2018	358	Tri-County Services (Streets, Other)	remove tree, grade parking lot	(2,020.00)
Bill	05/31/2018	353	Tri-County Services (Streets, Other)	sheffiff call out trees down	(500.00)
Total 5845 · Brush/Tree/Sod/Seed					(2,520.00)
5850 · Street Lighting					
Bill	01/31/2018	013118	Xcel Energy {EFT} (51-6223 9212)	Street Lighting Service	(211.33)
Bill	01/31/2018	013118	Xcel Energy {EFT} (51-5700 4296)	3033 St. Croix Trail S Meter #0077765464	(198.79)
Bill	02/28/2018	022818	Xcel Energy {EFT} (51-6223 9212)	Street Lighting Service	(212.43)
Bill	02/28/2018	022818	Xcel Energy {EFT} (51-5700 4296)	3033 St. Croix Trail S Meter #77765464 Premises #303084797	(592.90)
Gene...	03/01/2018	VoidCheck		Void Check #201709029 Xcel 8/31/17	404.64
Bill	03/31/2018	033118	Xcel Energy {EFT} (51-6223 9212)	Street Lighting Service	(212.95)
Bill	03/31/2018	033118	Xcel Energy {EFT} (51-5700 4296)	3033 St. Croix Trail S Meter #77765464 Premises #303084797	(278.46)
Bill	04/30/2018	043018	Xcel Energy {EFT} (51-6223 9212)	Street Lighting Service	(210.69)
Bill	04/30/2018	043018	Xcel Energy {EFT} (51-5700 4296)	3033 St. Croix Trail S Meter #77765464 Premises #303084797	(213.55)
Bill	05/31/2018	053118	Xcel Energy {EFT} (51-6223 9212)	Street Lighting Service	(209.35)
Bill	05/31/2018	053118	Xcel Energy {EFT} (51-5700 4296)	3033 St. Croix Trail S Meter #77765464 Premises #303084797	(193.50)
Total 5850 · Street Lighting					(2,129.31)
5855 · Gas Lamps - Operating Costs					
Bill	01/31/2018	013118	CP Energy {EFT} 8000015314	5280051 & 5297140 Meter M19810528546 & M19981171295	(213.48)
Bill	02/28/2018	022818	CP Energy {EFT} 8000015314	5280051 & 5297140 Meter M19810528546 & M19981171295	(243.39)
Bill	03/31/2018	033118	CP Energy {EFT} 8000015314	5280051 & 5297140 Meter M19810528546 & M19981171295	(406.38)
Bill	04/30/2018	043018	CP Energy {EFT} 8000015314	5280051 & 5297140 Meter M19810528546 & M19981171295	(237.53)
Bill	05/31/2018	053118	CP Energy {EFT} 8000015314	5280051 & 5297140 Meter M19810528546 & M19981171295	(161.98)

06/13/18

City of Afton
General Fd Streets, Rehab & Public Works - Detail by Account
 January through May 2018

Type	Date	Num	Source Name	Memo	Amount
Total 5855 · Gas Lamps - Operating Costs					(1,262.76)
5860 · Signs & Signals					
Bill	01/31/2018	10-942592	Econo Signs	12 x 18 prismatic signs no parking	(90.97)
Bill	01/31/2018	TI-0317819	Newman Traffic Signs	No Snowmobile	(124.50)
Bill	03/29/2018	33806	Advantage Signs & Graphics, Inc.	signage	(169.00)
Bill	03/29/2018	10-943463	Econo Signs	Weight limit signs	(44.27)
Bill	03/31/2018	9658	City of Maplewood	street ID signage	(259.45)
Bill	05/31/2018	10-944658	Econo Signs	Park closes after sundown	(261.48)
Total 5860 · Signs & Signals					(949.67)
5870 · Other Road Maintenance					
Bill	01/31/2018	80000151	Gopher State One Call	Cafton01 FTP Tickets	(50.00)
Bill	05/31/2018	8050152	Gopher State One Call	Cafton01 FTP Tickets	(20.25)
Total 5870 · Other Road Maintenance					(70.25)
TOTAL					(105,619.37)

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City of Afton
Customer Receipts and Other Deposits - Sorted by Account

April through May 2018

Type	Date	Num	Name	Memo	Class	Debit	Credit
100 · 4M Fund/US Bank - General Fund							
Deposit	04/12/2018			Fines&Fees		542.12	
Deposit	04/24/2018			Pub Facilities Authority		165,872.25	
Deposit	04/30/2018			Deposit		7,210.00	
Deposit	04/30/2018			Deposit		7,317.85	
Deposit	05/14/2018			Fines&Fees		1,027.10	
Deposit	05/15/2018			Deposit		4,250.00	
Deposit	05/21/2018			Deposit		73,210.00	
Deposit	05/30/2018			Pub Facilities Authority		66,698.99	
Deposit	05/31/2018			Deposit		22,515.37	
Total 100 · 4M Fund/US Bank - General Fund						348,643.68	0.00
2001 · Permit Escrow & Fees							
Payment	04/30/2018	6390	Belwin Z18-09 Vegetative Cutting	Escrow Belwin Z18-09 Vegetative Cutting			200.00
Payment	04/30/2018	6300	Mann, Nancy Z18-08 9684 Min Subdiv Amaris	Escrow Mann, Nancy Z18-08 9684 Wellington Minor Subdiv Amaris			1,500.00
Payment	04/30/2018	6300	Mann, Nancy Z18-08 9684 Min Subdiv Amaris	Pymt of Fee: Mann, Nancy Z18-08 9684 Wellington Minor Subdiv A...			250.00
Payment	04/30/2018	5115	Hinz, Thomas & Louise Z18-07 4787 Manning	Variance Escrow Hinz, Thomas & Louise Z18-07 Variance 4787 Man...			600.00
Payment	04/30/2018	5115	Hinz, Thomas & Louise Z18-07 4787 Manning	Pymt of Var Fee Hinz, Thomas & Louise Z18-07 Variance 4787 Mann...			250.00
Payment	04/30/2018	2378	Have, Mark Z18-06 12745 32nd St S	Admin Escrow: Have, Mark Z18-06 12745 32nd St S			150.00
Payment	04/30/2018	2378	Have, Mark Z18-06 12745 32nd St S	Pymt of Ag Admin Fee: Have, Mark Z18-06 Ag & Farm Site 12745 3...			150.00
Payment	04/30/2018	2378	Have, Mark Z18-06 12745 32nd St S	Pymt of Farmsite Fee: Have, Mark Z18-06 Ag & Farm Site 12745 32n...			50.00
Payment	05/21/2018	45798	Sherco Const Z18-11 12070 22nd St	Driveway Escrow Sherco Const Z18-11 12070 22nd S			1,500.00
Payment	05/21/2018	45798	Sherco Const Z18-11 12070 22nd St	Pymt of Bldg Insp Fee Sherco Const Z18-11 12070 22nd S			250.00
Payment	05/21/2018	45799	Sherco Const Z18-10 12124 22nd S	Driveway Escrow Sherco Const Z18-10 12124 22nd S			1,500.00
Payment	05/21/2018	45799	Sherco Const Z18-10 12124 22nd S	Pymt of Bldg Insp Fee Sherco Const Z18-10 12124 22nd S			250.00
Payment	05/31/2018	2815	Lenander, Duane & Jenn Z18-12 12468 Meadw	Escrow Pool Enclosure Duane & Jenn Z18-12 12468 Meadw			1,000.00
Payment	05/31/2018	2815 1790	Lenander, Duane & Jenn Z18-12 12468 Meadw	Pymt Pool Fee Duane & Jenn Z18-12 12468 Meadw			140.00
Total 2001 · Permit Escrow & Fees						0.00	7,790.00
1100 · Taxes and Other Receivables							
1185 · Park Deposits							
Deposit	04/30/2018	1046	Park Deposits	Jessie Diggins "Bringing Home the Gold" Committee Town Square Pa...			200.00
Deposit	05/21/2018	19006	Park Deposits	Memorial Lutheran Church: Worship in the Park July 29 & Aug 26			400.00
Deposit	05/21/2018	1028	Park Deposits	Jeni-Lyn Starr: School Celebration Concert 5/31			100.00
Total 1185 · Park Deposits						0.00	700.00
Total 1100 · Taxes and Other Receivables						0.00	700.00
2042 · Permit Escrow & Fee Clearing							
Sales Rece...	05/31/2018	B18-66	100 Gen'l Fd:A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Bldg & Eng'g Inspection Fee (Tony Madden overpayment - refunded)	Afton Bldg Insp Fees:Madden, Tonny 15396 Aft Hills C		55.00
Total 2042 · Permit Escrow & Fee Clearing						0.00	55.00
4022 · Afton Septic System - City Bldg							
Deposit	04/30/2018	43560	115 Bldg & Land Capital Fund:A. Rev:4022 Levy Afton Septic ...	Afton St Croix Co			1,750.00
Deposit	04/30/2018	995111	115 Bldg & Land Capital Fund:A. Rev:4022 Levy Afton Septic ...	John Thompson			50.00
Deposit	04/30/2018	1315	115 Bldg & Land Capital Fund:A. Rev:4022 Levy Afton Septic ...	Lone Star on St Croix			200.00
Deposit	05/21/2018	1017	115 Bldg & Land Capital Fund:A. Rev:4022 Levy Afton Septic ...	Richard Balsimo Estate			50.00
Deposit	05/21/2018	43590	115 Bldg & Land Capital Fund:A. Rev:4022 Levy Afton Septic ...	Afton St Croix Co			1,750.00
Deposit	05/21/2018	995112	115 Bldg & Land Capital Fund:A. Rev:4022 Levy Afton Septic ...	John Thompson			50.00
Deposit	05/21/2018	1321	115 Bldg & Land Capital Fund:A. Rev:4022 Levy Afton Septic ...	Lone Star on St Croix			200.00
Total 4022 · Afton Septic System - City Bldg						0.00	4,050.00
4205 · Assessment Search Fees							
Deposit	05/21/2018	52382	100 Gen'l Fd:A. Rev:A03 Chrges for Svcs:4205 Assess Search ...	Galowitz - Olson: 1602820140002 2447 Trading Post Trl			10.00
Deposit	05/31/2018	52483	100 Gen'l Fd:A. Rev:A03 Chrges for Svcs:4205 Assess Search ...	Galowitz Olson: 0602820140009 376 Neal Av S			10.00
Total 4205 · Assessment Search Fees						0.00	20.00
4210 · Photocopy Sales							
Deposit	04/30/2018	289122	100 Gen'l Fd:A. Rev:A03 Chrges for Svcs:4210 Photocopy Sales	Andrew Gibbons: Stinson Leonard Street			55.25
Deposit	05/21/2018	6986885569	100 Gen'l Fd:A. Rev:A03 Chrges for Svcs:4210 Photocopy Sales	Christy James			8.59

City of Afton
Customer Receipts and Other Deposits - Sorted by Account

April through May 2018

06/13/18

Type	Date	Num	Name	Memo	Class	Debit	Credit
Total 4210 · Photocopy Sales						0.00	63.84
4300 · County Fines & Fees							
Deposit	04/12/2018	8200762440	100 Gen'l Fd.A. Rev:A04 Fines & Forfeitures:4300 Cty Fines &...	MN Dept of Finance: Wash Cty Fines and Fees Mar18			542.12
Deposit	05/14/2018	8200772742	100 Gen'l Fd.A. Rev:A04 Fines & Forfeitures:4300 Cty Fines &...	MN Dept of Finance: Wash Cty Fines and Fees Apr18			1,027.10
Total 4300 · County Fines & Fees						0.00	1,569.22
4400 · Afton Bldg Inspection Fees							
Sales Rece...	04/30/2018	B18-40	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:Petterson, Kristin 3988 River R		109.00
Sales Rece...	04/30/2018	B18-39	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:McDowell, Erin 15601 36th St S		109.00
Sales Rece...	04/30/2018	B18-37	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:Staples, Thomas 14040 30th St S		109.00
Sales Rece...	04/30/2018	B18-36	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:Meyers, Jeffrey 4969 Neal Av S		109.00
Sales Rece...	05/21/2018	B18-59	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:Anderson, Curtis 1164 Neal Av S		109.00
Sales Rece...	05/21/2018	B18-46	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:Turcotte Lmt Part 12720 Hudson		2,739.00
Sales Rece...	05/21/2018	B18-38	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:Larson, Roger 15882 35th St S		313.50
Sales Rece...	05/21/2018	B18-57	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:Jordan, Jim 15120 42nd St		109.00
Sales Rece...	05/21/2018	B18-54	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:Strub, Bill 12916 15th St S		109.00
Sales Rece...	05/21/2018	B18-58	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:Meacock, Richard 3390 St Croix		109.00
Sales Rece...	05/21/2018	B18-50	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:Sherco Const 12124 22nd St		10,560.00
Sales Rece...	05/21/2018	B18-51	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:Sherco 12070 22nd St S		10,230.00
Sales Rece...	05/21/2018	B18-52	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:Martinson, Al 13910 Tomahawk Ln		109.00
Sales Rece...	05/21/2018	B18-45	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:Doerr, Beth 14720 42th St S		109.00
Sales Rece...	05/21/2018	B18-48	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:Hagstrom, Jim 3637 Trading Post		109.00
Sales Rece...	05/21/2018	B18-43	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:Peterson, Liz 220 Indian Trl		109.00
Sales Rece...	05/21/2018	B18-41	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:Gillman, Kathleen 3396 Neal Av		594.00
Sales Rece...	05/21/2018	B18-60	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:Kardia, Wendy 5323 St Croix Trl		109.00
Sales Rece...	05/21/2018	B18-53	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:Rundall, Jim 16199 50th St S		109.00
Sales Rece...	05/21/2018	B18-56	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:Weatherby, Carolle 13823 Tomaha		54.00
Sales Rece...	05/21/2018	B18-47	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:Reidt, Eric 5290 O'Dell Av S		54.00
Sales Rece...	05/21/2018	B18-44	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:Carpenter, Amy 583 Neal Av S		109.00
Sales Rece...	05/21/2018	B18-55	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:Maxey, Robert 1050 Neal Av		50.00
Sales Rece...	05/21/2018	B18-42	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:Graham, Randy 5912 Trading Post		109.00
Sales Rece...	05/31/2018	B18-49	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:Ryan, Paula 12338 Meadow Bluff		528.00
Sales Rece...	05/31/2018	B18-61	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:Schultz, John 4334 Penfield Av		330.00
Sales Rece...	05/31/2018	B18-64	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:Sheridan, Troy 4456 Trading Pst		109.00
Sales Rece...	05/31/2018	B18-65	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:Fleming, Mark & Kim 2755 Neal A		1,650.00
Sales Rece...	05/31/2018	B18-67	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:Zeidel, Julie & Bob 3055 St Crx		109.00
Sales Rece...	05/31/2018	B18-68	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:Johnson, Ken 3752 River Rd S		217.50
Sales Rece...	05/31/2018	B18-70	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:Kronsteadt, M&N 343 Croixview D		109.00
Sales Rece...	05/31/2018	B18-71	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:Seftick, Dan 12903 3rd St		109.00
Sales Rece...	05/31/2018	B18-73	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:Wade, James & Marj 13506 Vly Cr		132.00
Sales Rece...	05/31/2018	B18-76	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:Evans, Jo 376 Neal Av A		330.00
Sales Rece...	05/31/2018	B18-74	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:Lenander, Duane & Jennifer 1246		109.00
Sales Rece...	05/31/2018	B18-77	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:Amaral, Jim 5380 O'Dell Av		54.00
Sales Rece...	05/31/2018	B18-63	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:Knight Const Design 2770 Tradin		109.00
Sales Rece...	05/31/2018	B18-79	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:Lenander, Duane & Jennifer 1246		330.00
Sales Rece...	05/31/2018	B18-72	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:Sherco Const 12124 22nd St		297.00
Sales Rece...	05/31/2018	B18-75	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:Lenander, Duane & Jennifer 1246		412.50
Sales Rece...	05/31/2018	B18-66	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:Madden, Tonny 15396 Aft Hills C		54.00
Sales Rece...	05/31/2018	B18-69	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:Johnson, Ken 3752 River Rd S		109.00
Sales Rece...	05/31/2018	B18-78	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Building Permit Fees	Afton Bldg Insp Fees:Larson, Roger 15882 35th St S		109.00
Total 4400 · Afton Bldg Inspection Fees						0.00	31,545.50
4415 · Other License Fees							
Deposit	05/21/2018	2967	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4415 Other Lice...	James and Marjorie Wade dba Spiritworks Pottery: Temp sign permit			25.00
Deposit	05/31/2018	2058	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4415 Other Lice...	Ragnar Relay permit 8/18/18			25.00
Total 4415 · Other License Fees						0.00	50.00
4420 · Afton Surcharges							
Sales Rece...	04/30/2018	B18-40	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:Petterson, Kristin 3988 River R		1.00
Sales Rece...	04/30/2018	B18-39	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:McDowell, Erin 15601 36th St S		1.00
Sales Rece...	04/30/2018	B18-37	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:Staples, Thomas 14040 30th St S		1.00
Sales Rece...	04/30/2018	B18-36	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:Meyers, Jeffrey 4969 Neal Av S		1.00
Sales Rece...	05/21/2018	B18-59	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:Anderson, Curtis 1164 Neal Av S		1.00

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City of Afton
Customer Receipts and Other Deposits - Sorted by Account

April through May 2018

Type	Date	Num	Name	Memo	Class	Debit	Credit
Sales Rece...	05/21/2018	B18-46	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:Turcotte Lmt Part 12720 Hudson		83.00
Sales Rece...	05/21/2018	B18-38	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:Larson, Roger 15882 35th St S		9.50
Sales Rece...	05/21/2018	B18-57	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:Jordan, Jim 15120 42nd St		1.00
Sales Rece...	05/21/2018	B18-54	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:Strub, Bill 12916 15th St S		1.00
Sales Rece...	05/21/2018	B18-58	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:Meacock, Richard 3390 St Croix		1.00
Sales Rece...	05/21/2018	B18-50	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:Sherco Const 12124 22nd St		320.00
Sales Rece...	05/21/2018	B18-51	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:Sherco 12070 22nd St S		310.00
Sales Rece...	05/21/2018	B18-52	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:Martinson, Al 13910 Tomahawk Ln		1.00
Sales Rece...	05/21/2018	B18-45	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:Doerr, Beth 14720 42th St S		1.00
Sales Rece...	05/21/2018	B18-48	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:Hagstrom, Jim 3637 Trading Post		1.00
Sales Rece...	05/21/2018	B18-43	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:Peterson, Liz 220 Indian Trl		1.00
Sales Rece...	05/21/2018	B18-41	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:Gillman, Kathleen 3396 Neal Av		18.00
Sales Rece...	05/21/2018	B18-60	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:Kardia, Wendy 5323 St Croix Trl		1.00
Sales Rece...	05/21/2018	B18-53	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:Rundall, Jim 16199 50th St S		1.00
Sales Rece...	05/21/2018	B18-56	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:Weatherby, Carolee 13823 Tomaha		1.00
Sales Rece...	05/21/2018	B18-47	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:Reidt, Eric 5290 O'Dell Av S		1.00
Sales Rece...	05/21/2018	B18-44	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:Carpenter, Amy 583 Neal Av S		1.00
Sales Rece...	05/21/2018	B18-55	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:Maxey, Robert 1050 Neal Av		1.00
Sales Rece...	05/21/2018	B18-42	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:Graham, Randy 5912 Trading Post		1.00
Sales Rece...	05/31/2018	B18-49	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:Ryan, Paula 12338 Meadow Bluff		16.00
Sales Rece...	05/31/2018	B18-61	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:Schultz, John 4334 Penfield Av		10.00
Sales Rece...	05/31/2018	B18-64	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:Sheridan, Troy 4456 Trading Pst		1.00
Sales Rece...	05/31/2018	B18-65	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:Fleming, Mark & Kim 2755 Neal A		50.00
Sales Rece...	05/31/2018	B18-67	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:Zeidel, Julie & Bob 3055 St Crx		1.00
Sales Rece...	05/31/2018	B18-68	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:Johnson, Ken 3752 River Rd S		7.50
Sales Rece...	05/31/2018	B18-70	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:Kronsteadt, M&N 343 Croixview D		1.00
Sales Rece...	05/31/2018	B18-71	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:Seftick, Dan 12903 3rd St		1.00
Sales Rece...	05/31/2018	B18-73	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:Wade, James & Marj 13506 Vly Cr		5.00
Sales Rece...	05/31/2018	B18-76	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:Evans, Jo 376 Neal Av A		10.00
Sales Rece...	05/31/2018	B18-74	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:Lenander, Duane & Jennifer 1246		1.00
Sales Rece...	05/31/2018	B18-77	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:Amaral, Jim 5380 O'Dell Av		1.00
Sales Rece...	05/31/2018	B18-63	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:Knight Const Design 2770 Tradin		1.00
Sales Rece...	05/31/2018	B18-79	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:Lenander, Duane & Jennifer 1246		10.00
Sales Rece...	05/31/2018	B18-72	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:Sherco Const 12124 22nd St		9.00
Sales Rece...	05/31/2018	B18-75	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:Lenander, Duane & Jennifer 1246		12.50
Sales Rece...	05/31/2018	B18-66	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:Madden, Tonny 15396 Aft Hills C		1.00
Sales Rece...	05/31/2018	B18-69	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:Johnson, Ken 3752 River Rd S		1.00
Sales Rece...	05/31/2018	B18-78	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4400 Afton Bldg ...	Afton Surcharges	Afton Bldg Insp Fees:Larson, Roger 15882 35th St S		1.00
Total 4420 · Afton Surcharges						0.00	899.50
4426 · Afton Donation Program - Parks							
Deposit	04/30/2018	10075	200 Park Reserve Fd.A. Rev:4426 Afton Donation Program - P...	Sandi Alexander-Whalen Picnic Table at Beach			1,200.00
Total 4426 · Afton Donation Program - Parks						0.00	1,200.00
4437 · Utility Franchise Fees							
Deposit	05/21/2018	1101004193	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4437 Utility Fran...	Xcel Energy 2018 Q1 Franchise Fee			8,522.80
Deposit	05/21/2018	1501051	100 Gen'l Fd.A. Rev:A05 Lic, Fees & Permits:4437 Utility Fran...	Centerpoint 2018 Q1 Franchise Fee			6,836.80
Total 4437 · Utility Franchise Fees						0.00	15,359.60
4604 · Park Rental Fees							
Deposit	05/21/2018	1028	100 Gen'l Fd.A. Rev:A07 Miscellaneous Revenue:4604 Park Re...	Jeni-Lyn Starr: School Celebration Concert 5/31			25.00
Total 4604 · Park Rental Fees						0.00	25.00
4625 · 201 Project Revenue							
Deposit	04/30/2018	12040	400 201 Project Fund:A. Rev:4625 201 Project Revenue	Hubert and Helen Schneider			36.48
Deposit	04/30/2018	1017	400 201 Project Fund:A. Rev:4625 201 Project Revenue	Kevin and Kirsten Langstraat			47.42
Deposit	04/30/2018	11803	400 201 Project Fund:A. Rev:4625 201 Project Revenue	Louis and Linda Tilton			21.89
Deposit	04/30/2018	6510	400 201 Project Fund:A. Rev:4625 201 Project Revenue	Thomas and Kathryn Gasser			55.44
Deposit	04/30/2018	15642591	400 201 Project Fund:A. Rev:4625 201 Project Revenue	John and Kathleen Orner			21.89
Deposit	04/30/2018	13244	400 201 Project Fund:A. Rev:4625 201 Project Revenue	Donald Bulger			47.42
Deposit	05/21/2018	5077	400 201 Project Fund:A. Rev:4625 201 Project Revenue	Brad and Shelly Holz			47.42
Deposit	05/31/2018	5068	400 201 Project Fund:A. Rev:4625 201 Project Revenue	Warren and Mary Langtsraat			47.42

**City of Afton
Customer Receipts and Other Deposits - Sorted by Account**

April through May 2018

Type	Date	Num	Name	Memo	Class	Debit	Credit
Total 4625 · 201 Project Revenue						0.00	325.38
4810 · County Recycling Grant							
Deposit	04/30/2018	462533	100 Gen'l Fd:A. Rev:A09 Other Grants:4810 County Recycling ...	Wash Cty Recycling Grant 2018			7,210.00
Total 4810 · County Recycling Grant						0.00	7,210.00
4812 · Dock Lease Revenue							
Deposit	05/31/2018	43627	810 City Dock Fund:A. Rev:4812 Dock Lease Revenue	Afton St Croix Company: 2018 annual dock lease pymt			3,850.00
Total 4812 · Dock Lease Revenue						0.00	3,850.00
4832 · Wash Cty - Dep Garage, Office							
Deposit	05/15/2018	463147	115 Bldg & Land Capital Fund:A. Rev:4832 Wash Cty Deputy ...	Wash Cty: 1/2 Down on WC Sheriff Substation Bathroom			4,250.00
Total 4832 · Wash Cty - Dep Garage, Office						0.00	4,250.00
4862 · CWRFL 054							
Deposit	04/24/2018	1500005507	800 City InfraStructure Imp Fd:A. Rev:4862 CWRFL 054	MPFA CWRFL 054 FY 2017			40,601.57
Deposit	05/30/2018	1500005595	800 City InfraStructure Imp Fd:A. Rev:4862 CWRFL 054	MPFA CWRFL 054 FY 2017			3,407.17
Total 4862 · CWRFL 054						0.00	44,008.74
4864 · CWRFL 055							
Deposit	05/30/2018	1500005596	800 City InfraStructure Imp Fd:A. Rev:4864 CWRFL 055	MPFA CWRFL 055 FY 2017			23,291.82
Total 4864 · CWRFL 055						0.00	23,291.82
4865 · PSIG G 056							
Deposit	04/24/2018	1500005508	800 City InfraStructure Imp Fd:A. Rev:4865 PSIG G 056	MPFA PSIG G 056 FY 2017			125,270.68
Deposit	05/30/2018	1500005597	800 City InfraStructure Imp Fd:A. Rev:4865 PSIG G 056	MPFA PSIG G 056 FY 2017			40,000.00
Total 4865 · PSIG G 056						0.00	165,270.68
4879 · Downtown Special Assessments							
Deposit	05/21/2018	10369	805 Downtown Imp Debt Service:4879 Dwtwn Spec Assessm...	Katherine and George Weed 22.028.20.41.0021 15895 35th St S			12,031.80
Deposit	05/21/2018	12037	805 Downtown Imp Debt Service:4879 Dwtwn Spec Assessm...	Hubert and Helen Schneider 3968 River Rd S 2302820330005			12,994.59
Deposit	05/31/2018	4577	805 Downtown Imp Debt Service:4879 Dwtwn Spec Assessm...	Richard S Pung: 15880 36th St S 2202820410024			12,031.80
Total 4879 · Downtown Special Assessments						0.00	37,058.19
4950 · 10% Charitable Gaming Tax							
Deposit	04/30/2018	11937	550 Special Activities Fund:E. Charitable Gaming Tax:4950 10...	Merrick Charitable Gaming Lumberyard Pub March 2018			19.54
Deposit	05/31/2018	12010	550 Special Activities Fund:E. Charitable Gaming Tax:4950 10...	Merrick April 2018: Lumberyard Pub			9.15
Total 4950 · 10% Charitable Gaming Tax						0.00	28.69
5510 · Computer Service/Software							
Deposit	04/30/2018	37968	100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5510 Computer...	Press Enter Refund			22.52
Total 5510 · Computer Service/Software						0.00	22.52
TOTAL						348,643.68	348,643.68

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City of Afton
Claims Paid
 May 2018

Type	Date	Num	Name	Memo	Account	Original Amount
Bill Pmt -C...	05/30/2018	21986	Best Buy	multipurpose XGA DLP projector	100 · 4M Fund/US Bank - Gene...	(7,923.92)
Bill	05/30/2018	MS Surfa...	550 Special Activities Fund:B. Cable Comm/July 4th/Comm Garden:5561 Co...	6 MS Surface Pros w MS Office 365	5561 · Communications	7,923.92
TOTAL						7,923.92
Bill Pmt -C...	05/15/2018	22549	Audio Logic Systems		100 · 4M Fund/US Bank - Gene...	(85.00)
Bill	04/30/2018	13261	550 Special Activities Fund:B. Cable Comm/July 4th/Comm Garden:5561 Co...	installed Euro connector	5561 · Communications	85.00
TOTAL						85.00
Bill Pmt -C...	05/15/2018	22550	Menards - Hudson	Account No. 30890280	100 · 4M Fund/US Bank - Gene...	(19.88)
Bill	04/30/2018	72667	100 Gen'l Fd:B. Exp:B05 Parks & Recreation:6135 Park Maintenance	supplies	6135 · Park Maintenance	19.88
TOTAL						19.88
Bill Pmt -C...	05/15/2018	22551	River Valley Printing	Cust No. 1483	100 · 4M Fund/US Bank - Gene...	(290.00)
Bill	04/30/2018	6211	100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5560 Newsletter	1250 4-pg newsletters	5560 · Newsletter Expenses	290.00
TOTAL						290.00
Bill Pmt -C...	05/15/2018	22552	StarTech Computing, Inc		100 · 4M Fund/US Bank - Gene...	(320.29)
Bill	04/30/2018	46415	100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5510 Computer Serv/Software	switch	5510 · Computer Service/Software	48.31
Bill	04/30/2018	46445	550 Special Activities Fund:B. Cable Comm/July 4th/Comm Garden:5561 Co...	Godaddy.com UCC SSL Cert	5561 · Communications	271.98
TOTAL						320.29
Bill Pmt -C...	05/15/2018	22553	Felhaber Larson	File No. 0299687.00001	100 · 4M Fund/US Bank - Gene...	(5,024.00)
Bill	04/30/2018	627424	800 City InfraStructure Imp Fd:B. Exp:8870 Dwtm Imp - Special Assess Exp	Special Assessment Appeals: Village Wastewater Treatment Fa...	8870 · Dwtm Imp - Special Assess...	5,024.00
TOTAL						5,024.00
Bill Pmt -C...	05/15/2018	22554	Holstad & Knaak, PLC	Legal Services	100 · 4M Fund/US Bank - Gene...	(4,000.00)
Bill	04/30/2018	043018	100 Gen'l Fd:B. Exp:B01 G & A:B1.2 Prof Serv:5321 General - Legal Fees	Civil / General	5321 · Legal Fees - General	1,934.00
			100 Gen'l Fd:B. Exp:B01 G & A:B1.2 Prof Serv:5320 Prosecution - Legal Fees	Prosecution	5320 · Legal Fees - Prosecution	2,066.00
TOTAL						4,000.00
Bill Pmt -C...	05/15/2018	22555	Home & Business Handyworks (Bill Baglio)	1099 Vendor	100 · 4M Fund/US Bank - Gene...	(4,250.00)
Bill	04/30/2018	Sheriff R...	115 Bldg & Land Capital Fund:B. Exp:6007 Garage, Deputy Office Facility	Install restroom at Sheriff Garage/Office. 1/2 down of \$8,500	6007 · Garage, Deputy Office Fac...	4,250.00
TOTAL						4,250.00

City of Afton
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Type	Date	Num	Name	Memo	Account	Original Amount
Bill Pmt -C...	05/15/2018	22556	Michael W. Pofahl (CPA)		100 · 4M Fund/US Bank - Gene...	(2,300.00)
Bill	04/30/2018	050218	100 Gen'l Fd.B. Exp:B01 G & A:B1.2 Prof Serv:5305 Auditing Fees	2017 Audit: Final billing \$2,300 of \$5,950	5305 · Auditing Fees	2,300.00
TOTAL						2,300.00
Bill Pmt -C...	05/15/2018	22557	Niedzwiecki, Thomas H.	Accounting Services	100 · 4M Fund/US Bank - Gene...	(400.00)
Bill	04/29/2018	2017Audit	100 Gen'l Fd.B. Exp:B01 G & A:B1.2 Prof Serv:5305 Auditing Fees	assistance over and above contract services re 2017 Audit	5305 · Auditing Fees	400.00
TOTAL						400.00
Bill Pmt -C...	05/15/2018	22558	Niedzwiecki, Thomas H.	Accounting Services	100 · 4M Fund/US Bank - Gene...	(1,396.00)
Bill	04/30/2018	043018	100 Gen'l Fd.B. Exp:B01 G & A:B1.2 Prof Serv:5304 Accounting Fees 100 Gen'l Fd.B. Exp:B01 G & A:B1.4 Oth Exp:5540 Office Supplies 100 Gen'l Fd.B. Exp:B01 G & A:B1.4 Oth Exp:5540 Office Supplies 100 Gen'l Fd.B. Exp:B01 G & A:B1.2 Prof Serv:5304 Accounting Fees	Monthly charge for Accounting Services per Contract Monthly charge for QB Pro software including Payroll Service ... Mailing envelopes, copies of invoices, misc postage Attendance at CC Meeting	5304 · Accounting Fees 5540 · Office Supplies 5540 · Office Supplies 5304 · Accounting Fees	1,226.00 30.00 40.00 100.00
TOTAL						1,396.00
Bill Pmt -C...	05/15/2018	22559	Northwest Assoc (City Projects)	Technical Assistance - City Projects	100 · 4M Fund/US Bank - Gene...	(761.05)
Bill	04/30/2018	23485	100 Gen'l Fd.B. Exp:B01 G & A:B1.2 Prof Serv:5330 Planning Fees	City Projects	5330 · Planning Fees	761.05
TOTAL						761.05
Bill Pmt -C...	05/15/2018	22560	Northwest Assoc (Private Projects)	Technical Assistance - Private Projects	100 · 4M Fund/US Bank - Gene...	(2,888.00)
Bill	04/30/2018	23486	100 Gen'l Fd.B. Exp:B01 G & A:B1.2 Prof Serv:5330 Planning Fees	Afton Creek Preserve	5330 · Planning Fees	2,888.00
TOTAL						2,888.00
Bill Pmt -C...	05/15/2018	22561	Wash Cty (Prop Records & Taxpayer Serv)	PROP ID 04.028.20.43.0005	100 · 4M Fund/US Bank - Gene...	(23,271.71)
Bill	04/30/2018	138838	100 Gen'l Fd.B. Exp:B01 G & A:B1.2 Prof Serv:5302 Assessor Fees	2018 Assessing Fee	5302 · Assessor Fees	23,271.71
TOTAL						23,271.71
Bill Pmt -C...	05/15/2018	22562	WSB (Applicants)	Customer No. 01856	100 · 4M Fund/US Bank - Gene...	(8,216.00)
Bill	04/30/2018	8/042418	100 Gen'l Fd.B. Exp:B01 G & A:B1.2 Prof Serv:5310 Engineering Fees	Afton Creek Preserve Plan Review	5310 · Engineering Fees	8,216.00
TOTAL						8,216.00
Bill Pmt -C...	05/15/2018	22563	WSB (City Engineer)	R-011166-000	100 · 4M Fund/US Bank - Gene...	(1,548.00)
Bill	04/30/2018	3/042418	100 Gen'l Fd.B. Exp:B01 G & A:B1.2 Prof Serv:5310 Engineering Fees	2018 City Engineering	5310 · Engineering Fees	1,548.00
TOTAL						1,548.00

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**City of Afton
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Type	Date	Num	Name	Memo	Account	Original Amount
Bill	05/15/2018	22564	WSB (Downtown Village Imp Proj)	Downtown Village Imp Proj No. 01856-520	100 · 4M Fund/US Bank - Gene...	(37,521.75)
Bill	04/30/2018	16/042418	800 City InfraStructure Imp Fd:B. Exp:8899 Village Improvements	Downtown Village Improvement Project No. 01856-520	8899 · Village Improvements	37,521.75
TOTAL						37,521.75
Paycheck	05/15/2018	22565	Johnson, Kenneth L		100 · 4M Fund/US Bank - Gene...	(846.44)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Maint W...		5020 · Maintenance Person	1,170.00
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Maint W...		2302 · PERA Payable - Staff	(76.05)
					5053 · PERA Contribution - Empl...	87.75
					2302 · PERA Payable - Staff	(87.75)
					2210 · Federal Withholding	(105.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Maint W...		5051 · Social Security Tax - Empl...	72.54
					2205 · Soc Sec Payable - Employer	(72.54)
					2204 · Social Security W/H - Em...	(72.54)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Maint W...		5052 · Medicare Tax - Employer	16.97
					2213 · Medicare Payable - Empl...	(16.97)
					2212 · Medicare W/H - Employee	(16.97)
					2208 · MN State Withholding	(53.00)
TOTAL						846.44
Paycheck	05/15/2018	22566	Nelson, Randall P		100 · 4M Fund/US Bank - Gene...	(187.10)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor & Cou...		5002 · Mayor & Council Wages	200.00
					2303 · PERA Payable - Council	(10.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor & Cou...		5053 · PERA Contribution - Empl...	10.00
					2303 · PERA Payable - Council	(10.00)
					5052 · Medicare Tax - Employer	2.90
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor & Cou...		2213 · Medicare Payable - Empl...	(2.90)
					2212 · Medicare W/H - Employee	(2.90)
TOTAL						187.10
Paycheck	05/15/2018	22567	Palmquist, William B		100 · 4M Fund/US Bank - Gene...	(187.10)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor & Cou...		5002 · Mayor & Council Wages	200.00
					2303 · PERA Payable - Council	(10.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor & Cou...		5053 · PERA Contribution - Empl...	10.00
					2303 · PERA Payable - Council	(10.00)
					5052 · Medicare Tax - Employer	2.90
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor & Cou...		2213 · Medicare Payable - Empl...	(2.90)
					2212 · Medicare W/H - Employee	(2.90)
TOTAL						187.10
Paycheck	05/15/2018	22568	Richter, Joseph J		100 · 4M Fund/US Bank - Gene...	(187.10)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor & Cou...		5002 · Mayor & Council Wages	200.00
					2303 · PERA Payable - Council	(10.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor & Cou...		5053 · PERA Contribution - Empl...	10.00
					2303 · PERA Payable - Council	(10.00)

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**City of Afton
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Type	Date	Num	Name	Memo	Account	Original Amount
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor & Cou...		5052 · Medicare Tax - Employer 2213 · Medicare Payable - Emplo... 2212 · Medicare W/H - Employee	2.90 (2.90) (2.90)
TOTAL						187.10
Paycheck	05/15/2018	22569	Neitzel, Donald R		100 · 4M Fund/US Bank - Gene...	(52.54)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Maint W...		5020 · Maintenance Person	56.90
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Maint W...		5051 · Social Security Tax - Empl...	3.53
					2205 · Soc Sec Payable - Employer	(3.53)
					2204 · Social Security W/H - Em...	(3.53)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Maint W...		5052 · Medicare Tax - Employer	0.83
					2213 · Medicare Payable - Emplo...	(0.83)
					2212 · Medicare W/H - Employee	(0.83)
TOTAL						52.54
Bill Pmt -C...	05/15/2018	22570	Thomas W Pahl (Reimb Exp)		100 · 4M Fund/US Bank - Gene...	(109.43)
Bill	04/30/2018	Park Exp ...	100 Gen'l Fd:B. Exp:B05 Parks & Recreation:6135 Park Maintenance	Park supplies and equipment	6135 · Park Maintenance	109.43
TOTAL						109.43
Bill Pmt -C...	05/15/2018	22571	Croix Crystal Water Treatment	cooler lease and water	100 · 4M Fund/US Bank - Gene...	(33.25)
Bill	04/30/2018	56797	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6030 Misc Expense	rent on hot & cold cooler, bottled water	6030 · Misc Exp - Bldg & Land	33.25
TOTAL						33.25
Bill Pmt -C...	05/15/2018	22572	Innovative Office Solutions LLC		100 · 4M Fund/US Bank - Gene...	(298.47)
Bill	04/30/2018	2032247	100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5540 Office Supplies	supplies	5540 · Office Supplies	178.09
Bill	04/30/2018	2038092	100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5540 Office Supplies	supplies	5540 · Office Supplies	120.38
TOTAL						298.47
Bill Pmt -C...	05/15/2018	22573	Menards - Hudson	Account No. 30890280	100 · 4M Fund/US Bank - Gene...	(54.51)
Bill	04/30/2018	73330	100 Gen'l Fd:B. Exp:B05 Parks & Recreation:6135 Park Maintenance	supplies	6135 · Park Maintenance	54.51
TOTAL						54.51
Bill Pmt -C...	05/15/2018	22574	Northwest Assoc (Meetings)	Meetings: Job No. 280.03	100 · 4M Fund/US Bank - Gene...	(200.00)
Bill	04/30/2018	23549	100 Gen'l Fd:B. Exp:B01 G & A:B1.2 Prof Serv:5330 Planning Fees	CC meeting 4/17/18	5330 · Planning Fees	200.00
TOTAL						200.00
Bill Pmt -C...	05/15/2018	22575	Pioneer Press	Acct # 415245	100 · 4M Fund/US Bank - Gene...	(49.44)

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City of Afton
Claims Paid
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Type	Date	Num	Name	Memo	Account	Original Amount
Bill	04/30/2018	0418415...	100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5555 Publishing & Printing	Legals:	5555 · Publishing & Printing	49.44
TOTAL						49.44
Bill Pmt -C...	05/15/2018	22576	Wash Cty (Taxation Division)		100 · 4M Fund/US Bank - Gene...	(269.00)
Bill	04/30/2018	140080	805 Downtown Imp Debt Service:7748 Dwtwn Debt Serv/Assessmnt Exp	Downtown 2018 Special Assessment Billing	7748 · Dwtwn Debt Serv/Assess...	269.00
TOTAL						269.00
Bill Pmt -C...	05/15/2018	22577	Felhaber Larson	File No. 0299687.00001	100 · 4M Fund/US Bank - Gene...	(1,024.00)
Bill	04/30/2018	628449	800 City InfraStructure Imp Fd:B. Exp:8870 Dwtwn Imp - Special Assess Exp	Special Assessment Appeals: Village Wastewater Treatment Fa...	8870 · Dwtwn Imp - Special Assess...	1,024.00
TOTAL						1,024.00
Bill Pmt -C...	05/15/2018	22578	Northwest Assoc (City Projects)	Technical Assistance - City Projects	100 · 4M Fund/US Bank - Gene...	(704.80)
Bill	04/30/2018	23547	100 Gen'l Fd:B. Exp:B01 G & A:B1.2 Prof Serv:5330 Planning Fees	City Projects	5330 · Planning Fees	704.80
TOTAL						704.80
Bill Pmt -C...	05/15/2018	22579	Northwest Assoc (Private Projects)	Technical Assistance - Private Projects	100 · 4M Fund/US Bank - Gene...	(1,557.00)
Bill	04/30/2018	23548	100 Gen'l Fd:B. Exp:B01 G & A:B1.2 Prof Serv:5330 Planning Fees	Afton Creek Preserve	5330 · Planning Fees	1,557.00
TOTAL						1,557.00
Bill Pmt -C...	05/15/2018	22580	Petersen Management Co. LLC	Cust No. 3477	100 · 4M Fund/US Bank - Gene...	(1,508.33)
Bill	04/30/2018	096551	115 Bldg & Land Capital Fund:B. Exp:6022 Septic System Operations	Oper and Mgmt Fees	6022 · Septic System Operations	1,508.33
TOTAL						1,508.33
Bill Pmt -C...	05/15/2018	22581	Stensland Inspection Services	Building Inspection Services	100 · 4M Fund/US Bank - Gene...	(2,080.00)
Bill	04/30/2018	April 2018	100 Gen'l Fd:B. Exp:B01 G & A:B1.2 Prof Serv:5350 Bldg Insp Fees - Stensl...	Bldg Permits	5350 · Building Insp Fees - Stensl...	2,080.00
TOTAL						2,080.00
Bill Pmt -C...	05/15/2018	22582	Tri-County Services (Snow Ice)		100 · 4M Fund/US Bank - Gene...	(6,290.00)
Bill	04/30/2018	340	100 Gen'l Fd:B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:5830 Snow &...	Snow & Ice Control 4/14/18 to 4/17/18: 74 hours	5830 · Snow & Ice Control	6,290.00
TOTAL						6,290.00
Bill Pmt -C...	05/15/2018	22583	Tri-County Services (Streets, Other)		100 · 4M Fund/US Bank - Gene...	(3,500.00)
Bill	04/30/2018	347	115 Bldg & Land Capital Fund:B. Exp:6004 Bldg Repair & Maint	Removal of old garage	6004 · Bldg Repair & Maintenance	3,500.00

**City of Afton
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Type	Date	Num	Name	Memo	Account	Original Amount
TOTAL						3,500.00
Bill Pmt -C...	05/15/2018	22584	Geislinger and Sons, Inc.	Project 01856-52 Afton	100 · 4M Fund/US Bank - Gene...	(12,995.43)
Bill	04/30/2018	Pay Vouc...	800 City InfraStructure Imp Fd:B. Exp:8901 Septic Construction	Proj 01856-52: Downtown Village Imp: Pay Voucher #12	8901 · Septic Construction	12,995.43
TOTAL						12,995.43
Bill Pmt -C...	05/16/2018	22585	Wash Cty (Public Health)		100 · 4M Fund/US Bank - Gene...	(122.00)
Bill	05/16/2018	Septic Pe...	200 Park Reserve Fd:B. Exp:6115 Pub Wks - Park & Open Space	Permit to abandon septic system at Town Square Park	6115 · Park & Open Space Public...	122.00
TOTAL						122.00
Paycheck	05/31/2018	22586	Pahl, Thomas W		100 · 4M Fund/US Bank - Gene...	(217.72)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Maint W...		5020 · Maintenance Person	235.75
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Maint W...		5051 · Social Security Tax - Empl...	14.61
					2205 · Soc Sec Payable - Employer	(14.61)
					2204 · Social Security W/H - Em...	(14.61)
					5052 · Medicare Tax - Employer	3.42
					2213 · Medicare Payable - Emplo...	(3.42)
					2212 · Medicare W/H - Employee	(3.42)
TOTAL						217.72
Paycheck	05/31/2018	22587	Johnson, Kenneth L		100 · 4M Fund/US Bank - Gene...	(937.05)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Maint W...		5020 · Maintenance Person	1,300.00
					2302 · PERA Payable - Staff	(84.50)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Maint W...		5053 · PERA Contribution - Empl...	97.50
					2302 · PERA Payable - Staff	(97.50)
					2210 · Federal Withholding	(119.00)
					5051 · Social Security Tax - Empl...	80.60
					2205 · Soc Sec Payable - Employer	(80.60)
					2204 · Social Security W/H - Em...	(80.60)
					5052 · Medicare Tax - Employer	18.85
					2213 · Medicare Payable - Emplo...	(18.85)
					2212 · Medicare W/H - Employee	(18.85)
					2208 · MN State Withholding	(60.00)
TOTAL						937.05
Paycheck	05/31/2018	22588	Neitzel, Donald R		100 · 4M Fund/US Bank - Gene...	(36.79)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Maint W...		5020 · Maintenance Person	39.83
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Maint W...		5051 · Social Security Tax - Empl...	2.47
					2205 · Soc Sec Payable - Employer	(2.47)
					2204 · Social Security W/H - Em...	(2.47)
					5052 · Medicare Tax - Employer	0.57
					2213 · Medicare Payable - Emplo...	(0.57)

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Type	Date	Num	Name	Memo	Account	Original Amount
					2212 · Medicare W/H - Employee	(0.57)
TOTAL						36.79
Paycheck	05/31/2018	22589	Pahl, Thomas W		100 · 4M Fund/US Bank - Gene...	(478.70)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Maint W...		5020 · Maintenance Person	525.94
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Maint W...		2210 · Federal Withholding	(3.00)
					5051 · Social Security Tax - Empl...	32.61
					2205 · Soc Sec Payable - Employer	(32.61)
					2204 · Social Security W/H - Em...	(32.61)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Maint W...		5052 · Medicare Tax - Employer	7.63
					2213 · Medicare Payable - Empl...	(7.63)
					2212 · Medicare W/H - Employee	(7.63)
					2208 · MN State Withholding	(4.00)
TOTAL						478.70
Liability Ch...	05/31/2018	22590	Madison National Life	103815000000000	100 · 4M Fund/US Bank - Gene...	(137.16)
				103815000000000	2325 · Madison Life ST & LT Di...	108.81
				103815000000000	2325 · Madison Life ST & LT Di...	28.35
TOTAL						137.16
Bill Pmt -C...	05/31/2018	22591	Water Heaters Now, Inc		100 · 4M Fund/US Bank - Gene...	(55.00)
Bill	05/31/2018	Refund A...	100 Gen'l Fd:A. Rev:A05 Lic, Fees & Permits:4401 Bldg & Eng'g Inspection ...	Refund Building Permit B18-16 Tony Madden 15296 Afton Hill...	4401 · Bldg & Eng'g Inspection Fee	55.00
TOTAL						55.00
Bill Pmt -C...	05/31/2018	22592	Afton Parade Committee		100 · 4M Fund/US Bank - Gene...	(200.00)
Bill	05/31/2018	Ref Park ...		Refund Park Deposit: Jessie Diggins 5/12/18	1185 · Park Deposits	200.00
TOTAL						200.00
Bill Pmt -C...	05/31/2018	22593	Cisneros, Dawn D		100 · 4M Fund/US Bank - Gene...	(100.00)
Bill	05/31/2018	Refund P...		Dawn D Cisneros Refund Park Deposit: Wedding 5/11/18	1185 · Park Deposits	100.00
TOTAL						100.00
Bill Pmt -C...	05/31/2018	22594	Econo Signs	Customer No, 55001	100 · 4M Fund/US Bank - Gene...	(261.48)
Bill	05/31/2018	10-944658	100 Gen'l Fd:B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:5860 Signs &...	Park closes after sundown	5860 · Signs & Signals	261.48
TOTAL						261.48
Bill Pmt -C...	05/31/2018	22595	LMC (conferences)		100 · 4M Fund/US Bank - Gene...	(400.00)

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City of Afton
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Type	Date	Num	Name	Memo	Account	Original Amount
Bill	05/31/2018	271710	100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5585 Seminars & Education	2018 Annual Conf: Joe Richter	5585 · Seminars & Education	400.00
TOTAL						400.00
Bill Pmt -C...	05/31/2018	22596	Menards - Hudson		100 · 4M Fund/US Bank - Gene...	(140.05)
Bill	05/31/2018	73925	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6050 Supplies	Materials for fire escape city hall	6050 · Supplies - Bldg & Land	100.59
Bill	05/31/2018	74136	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6040 Repairs & Maintenance	supplies	6040 · City Property Maintenance	39.46
TOTAL						140.05
Bill Pmt -C...	05/31/2018	22597	Petersen Management Co. LLC	Cust No. 3477	100 · 4M Fund/US Bank - Gene...	(339.90)
Bill	05/31/2018	096653	115 Bldg & Land Capital Fund:B. Exp:6022 Septic System Operations	outside services lab fees 4/20/18	6022 · Septic System Operations	339.90
TOTAL						339.90
Bill Pmt -C...	05/31/2018	22598	St Croix Recreation Fun Playgrounds Inc.		100 · 4M Fund/US Bank - Gene...	(902.92)
Bill	05/31/2018	19731	200 Park Reserve Fd:B. Exp:6115 Pub Wks - Park & Open Space	8 ft ADA table	6115 · Park & Open Space Public...	902.92
TOTAL						902.92
Bill Pmt -C...	05/31/2018	22599	StarTech Computing, Inc		100 · 4M Fund/US Bank - Gene...	(377.40)
Bill	05/31/2018	46743	100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5510 Computer Serv/Software	Flexnet maint	5510 · Computer Service/Software	377.40
TOTAL						377.40
Bill Pmt -C...	05/31/2018	22600	US Bank (Admin Fee) 2017B	Acct No. 0045524NS	100 · 4M Fund/US Bank - Gene...	(500.00)
Bill	05/31/2018	4979478	725 Road Paving Debt Service Fund:7747 2017B \$3.5MM Road Bd Admin E...	3.5MM Road GO Tax Abatement Bonds 2017B Admin Fee 5/1...	7747 · 2017B \$3.5MM Road Bd ...	500.00
TOTAL						500.00
Bill Pmt -C...	05/31/2018	22601	Highland Sanitation	Acct No. 7208	100 · 4M Fund/US Bank - Gene...	(369.69)
Bill	05/31/2018	480369	100 Gen'l Fd:B. Exp:B02 Public Safety & Health:B2.2 Public Health:5720 Cit...	Trash Pickup	5720 · Refuse Hauling - City Hall	369.69
TOTAL						369.69
Bill Pmt -C...	05/31/2018	22602	MCMA	MCMA Dues for Ron Moorse	100 · 4M Fund/US Bank - Gene...	(113.00)
Bill	05/31/2018	050118 t...	100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5580 Membership & Dues	Membership renewal for Ron Moorse, May 1 2018 to April 30 ...	5580 · Membership & Dues	113.00
TOTAL						113.00
Bill Pmt -C...	05/31/2018	22603	Menards - Hudson		100 · 4M Fund/US Bank - Gene...	(92.30)
Bill	05/31/2018	74264	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6040 Repairs & Maintenance	supplies	6040 · City Property Maintenance	29.99
Bill	05/31/2018	74418	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6050 Supplies	City hall emerg stairwell	6050 · Supplies - Bldg & Land	41.90

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Type	Date	Num	Name	Memo	Account	Original Amount
Bill	05/31/2018	74525	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6050 Supplies	Supplies	6050 · Supplies - Bldg & Land	20.41
TOTAL						92.30
Bill Pmt -C...	05/31/2018	22604	Metro Sales Inc.	Acct No 016181, Contract Number 28746-01	100 · 4M Fund/US Bank - Gene...	(536.06)
Bill	05/31/2018	1077726	100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5510 Computer Serv/Software	CONTRACT Ricoh/MPC4503 Color Copier Serial No. E175M...	5510 · Computer Service/Software	536.06
TOTAL						536.06
Bill Pmt -C...	05/31/2018	22605	MN Sec of State - Notary		100 · 4M Fund/US Bank - Gene...	(120.00)
Bill	05/31/2018	Julie Yoh...	100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5545 Other Administration	Notary Commission for Julie Yoho	5545 · Other Admin Expense	120.00
TOTAL						120.00
Bill Pmt -C...	05/02/2018	201805008	Spencer D Klover (DD)	Videographer \$25.00/hour	100 · 4M Fund/US Bank - Gene...	(206.25)
Bill	04/30/2018	Video Ap...	100 Gen'l Fd:B. Exp:B01 G & A:B1.2 Prof Serv:5120 Contract - Video Meeti...	8.25 hours @ \$25	5120 · Contract - Video Meetings	206.25
TOTAL						206.25
Check	05/01/2018	201805009	QuickBooks Payroll Service	Created by Direct Deposit Service on 04/30/2018	100 · 4M Fund/US Bank - Gene...	(1.75)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5505 Bank/IRS Fees/Sales Tax	Fee for 1 direct deposit(s) at \$1.75 each	5505 · Bank/IRS/Sales Tax	1.75
TOTAL						1.75
Bill Pmt -C...	05/01/2018	2018050...	CP Energy {EFT} 10805248	Acct#10805248-1	100 · 4M Fund/US Bank - Gene...	(151.25)
Bill	05/01/2018	040418	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6045 City Garage Expense	Acct#10805248-1 M20171727088 3033 St Croix Trl S Garage	6045 · City Garage Expense	151.25
TOTAL						151.25
Paycheck	05/15/2018	201805033	Meade, Debra J	Direct Deposit	100 · 4M Fund/US Bank - Gene...	0.00
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5007 Intern/Office ...	Direct Deposit	5007 · Intern/Office Assistant Wa...	1,065.75
				Direct Deposit	2302 · PERA Payable - Staff	(69.27)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5007 Intern/Office ...	Direct Deposit	5053 · PERA Contribution - Empl...	79.93
				Direct Deposit	2302 · PERA Payable - Staff	(79.93)
				Direct Deposit	2210 · Federal Withholding	(112.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5007 Intern/Office ...	Direct Deposit	5051 · Social Security Tax - Empl...	66.08
				Direct Deposit	2205 · Soc Sec Payable - Employer	(66.08)
				Direct Deposit	2204 · Social Security W/H - Em...	(66.08)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5007 Intern/Office ...	Direct Deposit	5052 · Medicare Tax - Employer	15.46
				Direct Deposit	2213 · Medicare Payable - Emplo...	(15.46)
				Direct Deposit	2212 · Medicare W/H - Employee	(15.46)
				Direct Deposit	2208 · MN State Withholding	(34.00)
				Direct Deposit	2110 · Direct Deposit Liabilities	(768.94)
TOTAL						0.00

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Type	Date	Num	Name	Memo	Account	Original Amount
Paycheck	05/15/2018	201805034	Yoho, Julie D	Direct Deposit	100 · 4M Fund/US Bank - Gene...	0.00
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5008 Office Manag...	Direct Deposit	5008 · Office Manager Wages	2,231.84
				Direct Deposit	2302 · PERA Payable - Staff	(145.07)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5008 Office Manag...	Direct Deposit	5053 · PERA Contribution - Empl...	167.39
				Direct Deposit	2302 · PERA Payable - Staff	(167.39)
				Direct Deposit	2210 · Federal Withholding	(156.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5008 Office Manag...	Direct Deposit	5051 · Social Security Tax - Empl...	138.37
				Direct Deposit	2205 · Soc Sec Payable - Employer	(138.37)
				Direct Deposit	2204 · Social Security W/H - Em...	(138.37)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5008 Office Manag...	Direct Deposit	5052 · Medicare Tax - Employer	32.37
				Direct Deposit	2213 · Medicare Payable - Empl...	(32.37)
				Direct Deposit	2212 · Medicare W/H - Employee	(32.37)
				Direct Deposit	2208 · MN State Withholding	(83.00)
				Direct Deposit	2110 · Direct Deposit Liabilities	(1,677.03)
TOTAL						0.00
Paycheck	05/15/2018	201805035	Moorse, Ronald J	Direct Deposit	100 · 4M Fund/US Bank - Gene...	0.00
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Administrator ...	Direct Deposit	5004 · Administrator Salary	3,839.58
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Administrator ...	Direct Deposit	5053 · PERA Contribution - Empl...	287.97
				Direct Deposit	2302 · PERA Payable - Staff	(287.97)
				Direct Deposit	2302 · PERA Payable - Staff	(249.57)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Administrator ...	Direct Deposit	5037 · Flexible Benefits	1,100.00
				Direct Deposit	2210 · Federal Withholding	(588.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Administrator ...	Direct Deposit	5051 · Social Security Tax - Empl...	306.26
				Direct Deposit	2205 · Soc Sec Payable - Employer	(306.26)
				Direct Deposit	2204 · Social Security W/H - Em...	(306.26)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Administrator ...	Direct Deposit	5052 · Medicare Tax - Employer	71.63
				Direct Deposit	2213 · Medicare Payable - Empl...	(71.63)
				Direct Deposit	2212 · Medicare W/H - Employee	(71.63)
				Direct Deposit	2208 · MN State Withholding	(278.00)
				Direct Deposit	2110 · Direct Deposit Liabilities	(3,446.12)
TOTAL						0.00
Paycheck	05/15/2018	201805036	Bend, Richard H	Direct Deposit	100 · 4M Fund/US Bank - Gene...	0.00
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor & Cou...	Direct Deposit	5002 · Mayor & Council Wages	300.00
				Direct Deposit	2303 · PERA Payable - Council	(15.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor & Cou...	Direct Deposit	5053 · PERA Contribution - Empl...	15.00
				Direct Deposit	2303 · PERA Payable - Council	(15.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor & Cou...	Direct Deposit	5052 · Medicare Tax - Employer	4.35
				Direct Deposit	2213 · Medicare Payable - Empl...	(4.35)
				Direct Deposit	2212 · Medicare W/H - Employee	(4.35)
				Direct Deposit	2110 · Direct Deposit Liabilities	(280.65)
TOTAL						0.00
Paycheck	05/15/2018	201805037	Ross, Stanley A	Direct Deposit	100 · 4M Fund/US Bank - Gene...	0.00
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor & Cou...	Direct Deposit	5002 · Mayor & Council Wages	200.00

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Type	Date	Num	Name	Memo	Account	Original Amount
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor & Cou...	Direct Deposit	2303 · PERA Payable - Council	(10.00)
				Direct Deposit	5053 · PERA Contribution - Empl...	10.00
				Direct Deposit	2303 · PERA Payable - Council	(10.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor & Cou...	Direct Deposit	5052 · Medicare Tax - Employer	2.90
				Direct Deposit	2213 · Medicare Payable - Empl...	(2.90)
				Direct Deposit	2212 · Medicare W/H - Employee	(2.90)
				Direct Deposit	2110 · Direct Deposit Liabilities	(187.10)
TOTAL						0.00
Liability Ch...	05/14/2018	201805038	QuickBooks Payroll Service	Created by Payroll Service on 05/08/2018	100 · 4M Fund/US Bank - Gene...	(6,368.59)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5505 Bank/IRS Fees/Sales Tax	Fee for 5 direct deposit(s) at \$1.75 each	5505 · Bank/IRS/Sales Tax	8.75
			QuickBooks Payroll Service	Created by Payroll Service on 05/08/2018	2110 · Direct Deposit Liabilities	6,359.84
TOTAL						6,368.59
Liability Ch...	05/15/2018	201805039	PERA (Council)	3030-51 207620	100 · 4M Fund/US Bank - Gene...	(110.00)
				3030-51 207620	2303 · PERA Payable - Council	55.00
				3030-51 207620	2303 · PERA Payable - Council	55.00
TOTAL						110.00
Liability Ch...	05/15/2018	201805040	PERA (Staff)	3030-01 210990	100 · 4M Fund/US Bank - Gene...	(1,163.00)
				3030-01 210990	2302 · PERA Payable - Staff	539.96
				3030-01 210990	2302 · PERA Payable - Staff	623.04
TOTAL						1,163.00
Liability Ch...	05/15/2018	201805041	IRS (US Treasury)	VOID: 41-1290668	100 · 4M Fund/US Bank - Gene...	0.00
TOTAL						0.00
Liability Ch...	05/15/2018	201805042	MN Dept of Revenue	5050730	100 · 4M Fund/US Bank - Gene...	(448.00)
				5050730	2208 · MN State Withholding	448.00
TOTAL						448.00
Liability Ch...	05/15/2018	201805043	IRS (US Treasury)	41-1290668	100 · 4M Fund/US Bank - Gene...	(2,440.98)
				41-1290668	2210 · Federal Withholding	961.00
				41-1290668	2213 · Medicare Payable - Empl...	153.21
				41-1290668	2212 · Medicare W/H - Employee	153.21
				41-1290668	2205 · Soc Sec Payable - Employer	586.78
				41-1290668	2204 · Social Security W/H - Em...	586.78
TOTAL						2,440.98

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Type	Date	Num	Name	Memo	Account	Original Amount
Paycheck	05/31/2018	201806001	Meade, Debra J	Direct Deposit	100 · 4M Fund/US Bank - Gene...	0.00
			100 Gen'l Fd.B. Exp:B01 G & A:B1.1 Wages & Benefits:5007 Intern/Office ...	Direct Deposit	5007 · Intern/Office Assistant Wa...	1,081.50
				Direct Deposit	2302 · PERA Payable - Staff	(70.30)
			100 Gen'l Fd.B. Exp:B01 G & A:B1.1 Wages & Benefits:5007 Intern/Office ...	Direct Deposit	5053 · PERA Contribution - Empl...	81.11
				Direct Deposit	2302 · PERA Payable - Staff	(81.11)
				Direct Deposit	2210 · Federal Withholding	(113.00)
			100 Gen'l Fd.B. Exp:B01 G & A:B1.1 Wages & Benefits:5007 Intern/Office ...	Direct Deposit	5051 · Social Security Tax - Empl...	67.05
				Direct Deposit	2205 · Soc Sec Payable - Employer	(67.05)
				Direct Deposit	2204 · Social Security W/H - Em...	(67.05)
			100 Gen'l Fd.B. Exp:B01 G & A:B1.1 Wages & Benefits:5007 Intern/Office ...	Direct Deposit	5052 · Medicare Tax - Employer	15.68
				Direct Deposit	2213 · Medicare Payable - Empl...	(15.68)
				Direct Deposit	2212 · Medicare W/H - Employee	(15.68)
				Direct Deposit	2208 · MN State Withholding	(34.00)
				Direct Deposit	2110 · Direct Deposit Liabilities	(781.47)
TOTAL						0.00
Paycheck	05/31/2018	201806002	Yoho, Julie D	Direct Deposit	100 · 4M Fund/US Bank - Gene...	0.00
			100 Gen'l Fd.B. Exp:B01 G & A:B1.1 Wages & Benefits:5008 Office Manag...	Direct Deposit	5008 · Office Manager Wages	1,900.08
				Direct Deposit	2302 · PERA Payable - Staff	(123.51)
			100 Gen'l Fd.B. Exp:B01 G & A:B1.1 Wages & Benefits:5008 Office Manag...	Direct Deposit	5053 · PERA Contribution - Empl...	142.51
				Direct Deposit	2302 · PERA Payable - Staff	(142.51)
				Direct Deposit	2210 · Federal Withholding	(119.00)
			100 Gen'l Fd.B. Exp:B01 G & A:B1.1 Wages & Benefits:5008 Office Manag...	Direct Deposit	5051 · Social Security Tax - Empl...	117.81
				Direct Deposit	2205 · Soc Sec Payable - Employer	(117.81)
				Direct Deposit	2204 · Social Security W/H - Em...	(117.81)
			100 Gen'l Fd.B. Exp:B01 G & A:B1.1 Wages & Benefits:5008 Office Manag...	Direct Deposit	5052 · Medicare Tax - Employer	27.55
				Direct Deposit	2213 · Medicare Payable - Empl...	(27.55)
				Direct Deposit	2212 · Medicare W/H - Employee	(27.55)
				Direct Deposit	2208 · MN State Withholding	(66.00)
				Direct Deposit	2110 · Direct Deposit Liabilities	(1,446.21)
TOTAL						0.00
Paycheck	05/31/2018	201806003	Moorse, Ronald J	Direct Deposit	100 · 4M Fund/US Bank - Gene...	0.00
			100 Gen'l Fd.B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Administrator ...	Direct Deposit	5004 · Administrator Salary	3,839.58
			100 Gen'l Fd.B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Administrator ...	Direct Deposit	5053 · PERA Contribution - Empl...	287.97
				Direct Deposit	2302 · PERA Payable - Staff	(287.97)
				Direct Deposit	2302 · PERA Payable - Staff	(249.57)
			100 Gen'l Fd.B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Administrator ...	Direct Deposit	5037 · Flexible Benefits	1,100.00
			100 Gen'l Fd.B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Administrator ...	Direct Deposit	5018 · Insurance Benefits	28.35
				Direct Deposit	2325 · Madison Life ST & LT Di...	(28.35)
			100 Gen'l Fd.B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Administrator ...	Direct Deposit	2325 · Madison Life ST & LT Di...	(108.81)
				Direct Deposit	2210 · Federal Withholding	(838.00)
			100 Gen'l Fd.B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Administrator ...	Direct Deposit	5051 · Social Security Tax - Empl...	306.25
				Direct Deposit	2205 · Soc Sec Payable - Employer	(306.25)
				Direct Deposit	2204 · Social Security W/H - Em...	(306.25)
			100 Gen'l Fd.B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Administrator ...	Direct Deposit	5052 · Medicare Tax - Employer	71.62
				Direct Deposit	2213 · Medicare Payable - Empl...	(71.62)
				Direct Deposit	2212 · Medicare W/H - Employee	(71.62)
				Direct Deposit	2208 · MN State Withholding	(278.00)

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Type	Date	Num	Name	Memo	Account	Original Amount
				Direct Deposit	2110 · Direct Deposit Liabilities	(3,087.33)
TOTAL						0.00
Liability Ch...	05/30/2018	201806004	QuickBooks Payroll Service	Created by Payroll Service on 05/28/2018	100 · 4M Fund/US Bank - Gene...	(5,320.26)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5505 Bank/IRS Fees/Sales Tax	Fee for 3 direct deposit(s) at \$1.75 each	5505 · Bank/IRS/Sales Tax	5.25
			QuickBooks Payroll Service	Created by Payroll Service on 05/28/2018	2110 · Direct Deposit Liabilities	5,315.01
TOTAL						5,320.26
Liability Ch...	05/31/2018	201806005	PERA (Staff)	3030-01 210990	100 · 4M Fund/US Bank - Gene...	(1,136.97)
				3030-01 210990	2302 · PERA Payable - Staff	527.88
				3030-01 210990	2302 · PERA Payable - Staff	609.09
TOTAL						1,136.97
Liability Ch...	05/31/2018	201806006	IRS (US Treasury)	41-1290668	100 · 4M Fund/US Bank - Gene...	(2,725.44)
				41-1290668	2210 · Federal Withholding	1,192.00
				41-1290668	2213 · Medicare Payable - Emplo...	145.32
				41-1290668	2212 · Medicare W/H - Employee	145.32
				41-1290668	2205 · Soc Sec Payable - Employer	621.40
				41-1290668	2204 · Social Security W/H - Em...	621.40
TOTAL						2,725.44
Liability Ch...	05/31/2018	201806007	MN Dept of Revenue	5050730	100 · 4M Fund/US Bank - Gene...	(442.00)
				5050730	2208 · MN State Withholding	442.00
TOTAL						442.00
Check	05/31/2018	201806009	QuickBooks Payroll Service	Created by Direct Deposit Service on 05/30/2018	100 · 4M Fund/US Bank - Gene...	(1.75)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5505 Bank/IRS Fees/Sales Tax	Fee for 1 direct deposit(s) at \$1.75 each	5505 · Bank/IRS/Sales Tax	1.75
TOTAL						1.75
Bill Pmt -C...	05/31/2018	201806010	US Bank [EFT] Equip Finance	Acct# 1473396 Contract # 500-0466085-000	100 · 4M Fund/US Bank - Gene...	(230.00)
Bill	05/31/2018	356453100	100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5516 Copier Lease	Ricoh C4503 copier lease S/N E175MC60291	5516 · Copier Lease	230.00
TOTAL						230.00
Bill Pmt -C...	05/31/2018	201806011	Comcast {EFT} (8772 10 572 0001508)	Account # 8772 10 572 0001508	100 · 4M Fund/US Bank - Gene...	(299.55)
Bill	05/31/2018	053118	100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5565 Telephone	Comcast Business Internet and Voice	5565 · Telephone	299.55
TOTAL						299.55

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Type	Date	Num	Name	Memo	Account	Original Amount
Bill Pmt -C...	05/31/2018	201806012	CP Energy {EFT} 6217601	Meter # M19702480474 Account No. 6217601-1	100 · 4M Fund/US Bank - Gene...	(157.14)
Bill	05/31/2018	053118	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6045 City Garage Expense	1675 Stagecoach Trl S: City Garage	6045 · City Garage Expense	157.14
TOTAL						157.14
Bill Pmt -C...	05/31/2018	201806013	CP Energy {EFT} 8000015314	Acct No. 8000015314-0	100 · 4M Fund/US Bank - Gene...	(161.98)
Bill	05/31/2018	053118	100 Gen'l Fd:B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:5855 Gas La...	5280051 & 5297140 Meter M19810528546 & M19981171295	5855 · Gas Lamps - Operating Co...	161.98
TOTAL						161.98
Bill Pmt -C...	05/31/2018	201806014	Xcel Energy {EFT} (51-0895 3451)	Acct: 51-0895345-1 Meter# 000071246886	100 · 4M Fund/US Bank - Gene...	(23.43)
Bill	05/31/2018	053118	800 City InfraStructure Imp Fd:B. Exp:8891 Dwtown Prop Purch/Exp	Eastwood - Septic Property 2318 St Croix Trl S Meter# 969876...	8891 · DNR Flood Imp - Prop Pu...	23.43
TOTAL						23.43
Bill Pmt -C...	05/31/2018	201806015	Xcel Energy {EFT} (51-11935 1802)		100 · 4M Fund/US Bank - Gene...	(138.60)
Bill	05/31/2018	053118	100 Gen'l Fd:B. Exp:B05 Parks & Recreation:6135 Park Maintenance	Acct No. 51-0011119351802 Park Restroom: 3418 St Croix Trl...	6135 · Park Maintenance	138.60
TOTAL						138.60
Bill Pmt -C...	05/31/2018	201806016	Xcel Energy {EFT} (51-11957 7713)		100 · 4M Fund/US Bank - Gene...	(100.98)
Bill	05/31/2018	053118	115 Bldg & Land Capital Fund:B. Exp:6022 Septic System Operations	Acct No. 51-0011957771-3 : 3293 SAINT CROIX TRL S. Me...	6022 · Septic System Operations	100.98
TOTAL						100.98
Bill Pmt -C...	05/31/2018	201806017	Xcel Energy {EFT} (51-11957 8190)		100 · 4M Fund/US Bank - Gene...	(304.20)
Bill	05/31/2018	053118	115 Bldg & Land Capital Fund:B. Exp:6022 Septic System Operations	Acct No. 51-00119578190 : Lift Station 15995 UPPER 34TH S...	6022 · Septic System Operations	304.20
TOTAL						304.20
Bill Pmt -C...	05/31/2018	201806018	Xcel Energy {EFT} (51-11983 9027)	Acct No. 51-0011983902-7	100 · 4M Fund/US Bank - Gene...	(538.74)
Bill	05/31/2018	053118	115 Bldg & Land Capital Fund:B. Exp:6022 Septic System Operations	Acct No. 51-0011983902-7 Pumphouse for Water Treatment: 2...	6022 · Septic System Operations	538.74
TOTAL						538.74
Bill Pmt -C...	05/31/2018	201806019	Xcel Energy {EFT} (51-5247 6229)	201 Project: 4105 River Rd Meter No. 0098359441	100 · 4M Fund/US Bank - Gene...	(72.86)
Bill	05/31/2018	053118	400 201 Project Fund:B. Exp:5915 201 Project Maintenance	201 Project: 4105 River Rd Meter No. 0098359441	5915 · 201 Project Maintenance	72.86
TOTAL						72.86
Bill Pmt -C...	05/31/2018	201806020	Xcel Energy {EFT} (51-5371 3569)	15891 34th St. S: Automatic Protective Lighting Service	100 · 4M Fund/US Bank - Gene...	(16.86)

**City of Afton
Claims Paid
May 2018**

Type	Date	Num	Name	Memo	Account	Original Amount
Bill	05/31/2018	053118	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6020 Electricity - Xcel Energy	15891 34th St. S: Automatic Protective Lighting Service	6020 · Electricity	16.86
TOTAL						16.86
Bill Pmt -C...	05/31/2018	201806021	Xcel Energy {EFT} (51-5700 4296)	Acct #51-5700429-6 Meter #0077765464	100 · 4M Fund/US Bank - Gene...	(193.50)
Bill	05/31/2018	053118	100 Gen'l Fd:B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:5850 Street L...	3033 St. Croix Trail S Meter #77765464 Premises #303084797	5850 · Street Lighting	193.50
TOTAL						193.50
Bill Pmt -C...	05/31/2018	201806022	Xcel Energy {EFT} (51-6223 9212)	Acct No. 51-6223921-2 Street Lighting	100 · 4M Fund/US Bank - Gene...	(209.35)
Bill	05/31/2018	053118	100 Gen'l Fd:B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:5850 Street L...	Street Lighting Service	5850 · Street Lighting	209.35
TOTAL						209.35
Bill Pmt -C...	05/31/2018	201806023	Xcel Energy {EFT} (51-6257 8029)	3420 St. Croix Trl S Meter #0096987678	100 · 4M Fund/US Bank - Gene...	(90.36)
Bill	05/31/2018	053118	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6020 Electricity - Xcel Energy	Town Square Park 3420 St. Croix Trl S Meter #96987678 Pre...	6020 · Electricity	90.36
TOTAL						90.36
Bill Pmt -C...	05/31/2018	201806024	Xcel Energy {EFT} (51-6852 6052)	Acct #51-6852605-2 Install No. 184509 & 184508	100 · 4M Fund/US Bank - Gene...	(43.85)
Bill	05/31/2018	053118	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6020 Electricity - Xcel Energy	Automatic Protective Light Service Install No. 184509 & 184508	6020 · Electricity	43.85
TOTAL						43.85
Bill Pmt -C...	05/31/2018	201806025	Xcel Energy {EFT} (51-7576 3714)	Acct#51-7576371-4 Meter #19818068	100 · 4M Fund/US Bank - Gene...	(113.04)
Bill	05/31/2018	053118	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6045 City Garage Expense	City Garage 1675 Stagecoach Trl S: Acct#51-7576371-4 Meter ...	6045 · City Garage Expense	113.04
TOTAL						113.04

*Total claims
paid in May
\$161,997.44*

City of Afton
Permit Escrow & Fee Detail
 As of May 31, 2018

Type	Date	Num	Memo	Class	Amount
30th St Subdiv Z31-13					
Invoice	12/31/2013	Z13-31	WSB Eng'g Services Dec13	Invoices(Dev Fees):4341 Engineering Fees	199.50
Total 30th St Subdiv Z31-13					199.50
4960 Pleasant Ct					
Invoice	08/31/2012	WSBJun12	WSB Engineering: June 2012	Invoices(Dev Fees):4341 Engineering Fees	60.50
Total 4960 Pleasant Ct					60.50
50th St Dr/34th Lot Review					
Invoice	10/31/2011	WSBSep11	WSB Engineering Expenses Sep11	Invoices(Dev Fees):4341 Engineering Fees	112.00
Invoice	08/31/2012	WSBJun12	WSB Engineering: June 2012	Invoices(Dev Fees):4341 Engineering Fees	60.50
Total 50th St Dr/34th Lot Review					172.50
Afton Marina Z18-03 Driveway					
Payment	03/12/2018	13738	Escrow Afton Marina Z18-03 Driveway		-1,500.00
Invoice	03/12/2018	Z18-03	Driveway Bldg Insp Fee Afton Marina Z18-03 Driveway	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	03/12/2018	13738	Pymt of Bldg Insp Fee Afton Marina Z18-03 Driveway		-250.00
Total Afton Marina Z18-03 Driveway					-1,500.00
Afton Marina Z18-04 CUP Restaurant					
Payment	03/12/2018	31886	CUP Escrow Afton Marina Z18-04 CUP Restaurant		-600.00
Invoice	03/12/2018	Z18-04	CUP Fee Afton Marina Z18-04 CUP Restaurant	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	03/12/2018	31886	Pymt of CUP Fee Afton Marina Z18-04 CUP Restaurant		-250.00
General Journal	04/30/2018	5330 Planng	Northwest Assoc 23485: Afton Marina Development		248.00
Total Afton Marina Z18-04 CUP Restaurant					-352.00
Anchor Bank Z16-24 13900 Hudson Rd					
Payment	07/31/2016	3554	Anchor Bank Z16-24 CUP Escrow 13900 Hudson Rd		-600.00
Invoice	07/31/2016	Z16-24	Anchor Bank Z16-24 CUP Fee 13900 Hudson Rd	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	07/31/2016	3554	Pymt of Anchor Bank Z16-24 CUP Fee 13900 Hudson Rd		-250.00
Total Anchor Bank Z16-24 13900 Hudson Rd					-600.00
Backes, Jennifer & Terrel Z17-09 Vly Crk					
Payment	05/25/2017	331	Driveway Escrow Backes, Jennifer & Terrel Z17-09 Vly Crk		-1,500.00
Invoice	05/25/2017	Z17-09	Driveway Insp Fee Backes, Jennifer & Terrel Z17-09 Vly Crk	Invoices(Dev Fees):4401 Building Inspection Fee	250.00
Payment	05/25/2017	331	Pymt of Driveway Insp fee Backes, Jennifer & Terrel Z17-09 Vly Crk		-250.00
Total Backes, Jennifer & Terrel Z17-09 Vly Crk					-1,500.00
Belwin Cons Z17-08 1553 Stagecoach Trl					
Payment	05/25/2017	6234	Escrow Belwin Cons Z17-08 1553 Stagecoach Trl		-600.00
General Journal	07/31/2017	5310 Eng'g	WSB Engineer May17 #5: Belwin Cons Z17-08		311.50
Total Belwin Cons Z17-08 1553 Stagecoach Trl					-288.50
Belwin Z011-11 Land Restoration					
Payment	09/20/2011	5283	Escrow Deposit Z011-11 Ecological Land Restoration		-600.00
Invoice	09/20/2011	Z011-11	Z011-11 CUP Fee	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	09/20/2011	5283	Pymt of CUP fee		-250.00
Total Belwin Z011-11 Land Restoration					-600.00
Belwin Z18-09 Vegetative Cutting					
Payment	04/30/2018	6390	Escrow Belwin Z18-09 Vegetative Cutting		-200.00
Total Belwin Z18-09 Vegetative Cutting					-200.00
Berggren, Mike Trudy Z239-08 Variance					
Payment	01/27/2009	4349	Z239-08 Variance 13645 Valley Crk Trl		-600.00
Invoice	01/27/2009	Z239-08	Z239-08 Variance Fee re. Garages	Invoices(Dev Fees):4440 Zoning Fees	150.00
Payment	01/27/2009	4349	Pymt of Z239-08 Variance Fee		-150.00
Payment	06/29/2009	4435	Z212-09 Demolition Deposit		-250.00
Invoice	06/29/2009	Z212-09	Z212-09 Demolition Fee 13645 Val Crk Trl	Invoices(Dev Fees):4440 Zoning Fees	100.00

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City of Afton
Permit Escrow & Fee Detail
 As of May 31, 2018

Type	Date	Num	Memo	Class	Amount
Payment	06/29/2009	4435	Pymt of Z212-09 Demolition Fee		-100.00
Invoice	06/30/2009	WashCty	Wash Cty Recording Fees	Invoices(Dev Fees):4344 Misc Dev Fees	46.00
Check	06/30/2009	14869	Refund 212-09 Demolition Deposit		250.00
Total Berggren, Mike Trudy Z239-08 Variance					-554.00
Berggren/DNR Grading Permit					
Invoice	11/30/2006	SEHOct06	SEH Engineering Oct06	Invoices(Dev Fees):4341 Engineering Fees	524.00
Invoice	02/28/2007	07-0208	Grading Permit Fee: Stream Restoration Valley Creek	Invoices(Dev Fees):4440 Zoning Fees	100.00
Payment	02/28/2007	EF2600917 DNR	Pymt of Fee & Expenses		-624.00
Invoice	02/28/2007	SEHJan07	SEH: Engineering services	Invoices(Dev Fees):4341 Engineering Fees	268.00
Invoice	06/30/2008	CGIJun08	Community Growth Institute: Jun08	Invoices(Dev Fees):4343 Planning Fees	178.00
Invoice	07/31/2008	CGIJul08	Community Growth: Planner Jul08	Invoices(Dev Fees):4343 Planning Fees	756.50
Invoice	08/31/2008	SEHJul08	SEH Engineering: Jul08	Invoices(Dev Fees):4341 Engineering Fees	218.00
Invoice	08/31/2008	CGIAug08	Community Growth Institute: Aug08	Invoices(Dev Fees):4343 Planning Fees	200.25
Invoice	09/30/2008	SEHAug08	SEH Engineering: Aug08	Invoices(Dev Fees):4341 Engineering Fees	208.00
Invoice	10/31/2008	SEHSep08	SEH Engineering Expenses Sep08	Invoices(Dev Fees):4341 Engineering Fees	268.00
Invoice	12/31/2008	CGIDec08	Community Growth Institute: Dec08	Invoices(Dev Fees):4343 Planning Fees	89.00
Invoice	02/28/2009	SEHJan09	SEH Engineering Services: Jan09	Invoices(Dev Fees):4341 Engineering Fees	268.00
Invoice	03/31/2009	CGIMar09	Community Growth: Mar09 Planning Fees	Invoices(Dev Fees):4343 Planning Fees	23.00
Invoice	04/30/2009	SEHMar09	SEH Engineering: Mar09	Invoices(Dev Fees):4341 Engineering Fees	61.50
Invoice	04/30/2009	CGIApr09	CGI Planning Services: Apr09	Invoices(Dev Fees):4343 Planning Fees	414.00
Invoice	05/31/2009	CGI52509	CGI Expenses: Inv#1718 052509	Invoices(Dev Fees):4343 Planning Fees	230.00
Invoice	05/31/2009	SEHApr09	SEH Engineering: 217414 Apr09	Invoices(Dev Fees):4341 Engineering Fees	301.00
Invoice	07/31/2009	WSBJun09	WSB #1 Jun09 Engineering	Invoices(Dev Fees):4341 Engineering Fees	84.00
General Journal	01/31/2013	Applicant	Reverse Expense previously charged to Applicant: Berggren - DNR		-178.00
General Journal	01/31/2013	Applicant	Reverse Expense previously charged to Applicant: Berggren - DNR		-84.00
Total Berggren/DNR Grading Permit					3,305.25
Boatyard Grill CUP					
General Journal	05/31/2018	5330 Planng	Northwest Assoc 23606: Boatyard Grill CUP		3,201.90
Total Boatyard Grill CUP					3,201.90
Boy Scout Troop 226					
Payment	05/08/2012	4392	Park Cleaning Deposit 5/6/12		-25.00
Total Boy Scout Troop 226					-25.00
Brockman Invest Z17-30 13380 Hudson Rd S					
Payment	09/30/2017	3561	Grading Escrow Brockman Invest Z17-30 13380 Hudson Rd S		-1,000.00
Invoice	09/30/2017	B17-30	Grading Permit Brockman Invest Z17-30 13380 Hudson Rd S	Invoices(Dev Fees):4440 Zoning Fees	100.00
Payment	09/30/2017	3561	Pymt of Grading Permit Brockman Invest Z17-30 13380 Hudson Rd S		-100.00
Total Brockman Invest Z17-30 13380 Hudson Rd S					-1,000.00
Brockman Trucking Z13-26					
Invoice	12/31/2013	Z13-26	WSB Eng'g Services Dec13	Invoices(Dev Fees):4341 Engineering Fees	970.50
Invoice	02/28/2014	WSB Feb14	WSB Engineering Services Feb14	Invoices(Dev Fees):4341 Engineering Fees	182.00
Total Brockman Trucking Z13-26					1,152.50
Brockman Trucking Z16-24					
General Journal	09/30/2016	5330 Planng	Northwest Assoc: Brockman Z16-24		80.50
General Journal	11/24/2016	5310 Eng'g	WSB Engineer Sep16 #10: Brockman Trucking Z16-24		403.00
General Journal	11/30/2016	5310 Eng'g	WSB Engineer Sep16 #9: Brockman Trucking Z16-24		315.50
General Journal	12/01/2016	5310 Eng'g	WSB Engineer Jul16: Brockman Trucking Z16-24		471.25
General Journal	12/01/2016	5310 Eng'g	WSB Engineer Aug16: Brockman Trucking Z16-24		160.00
Total Brockman Trucking Z16-24					1,430.25
Brown Trout Z16-40 15311 Putnam					
Payment	01/24/2017	1006	Minor Sub Escrow Brown Trout Z16-40 15311 Putnam & 2573 Stagecoach		-1,500.00
Invoice	01/24/2017	Z16-40	Minor Sub Fee: Brown Trout Z16-40 15311 Putnam & 2573 Stagecoach	Invoices(Dev Fees):4440 Minor Subdivision	250.00
Payment	01/24/2017	1008	Pymt of Minor Sub Fee: Brown Trout Z16-40 15311 Putnam & 2573 Stagecoach		-250.00

City of Afton
Permit Escrow & Fee Detail
 As of May 31, 2018

Type	Date	Num	Memo	Class	Amount
Total Brown Trout Z16-40 15311 Putnam					-1,500.00
Carlson Afton Creek Preserve Z17-19 2434					
Payment	08/22/2017	6221	Major Subdiv Escrow Carlson, Will Z17-19 2434 Stagecoach Trl		-10,000.00
Payment	08/22/2017	6221	Pymt of Major Subdiv Fee Carlson, Will Z17-19 2434 Stagecoach Trl		-6,900.00
Invoice	08/22/2017	Z17-19	Major Subdiv Fee Carlson, Will Z17-19 2434 Stagecoach Trl	Invoices(Dev Fees):4440 Major Subdivision	6,900.00
General Journal	10/31/2017	5330 Planng	Northwest Assoc 23219: Afton Creek Preserve		400.00
General Journal	10/31/2017	5330 Planng	Northwest Assoc 23218: Afton Creek Preserve		3,166.35
General Journal	10/31/2017	5310 Eng'g	WSB Engineer Sep17 #2: Afton Creek Preserve		7,551.25
General Journal	10/31/2017	5310 Eng'g	WSB Engineer Aug17 #1: Afton Creek Preserve		2,064.75
General Journal	11/30/2017	5330 Planng	Northwest Assoc 23273: Afton Creek Preserve		2,158.45
General Journal	11/30/2017	5310 Eng'g	WSB Engineer Oct17 #3: Afton Creek Preserve		8,597.50
General Journal	12/31/2017	5330 Planng	Northwest Assoc 23333: Afton Creek Preserve		2,177.35
General Journal	12/31/2017	5310 Eng'g	WSB Engineer Dec17 #4: Afton Creek Preserve		152.00
General Journal	12/31/2017	5310 Eng'g	WSB Engineer Dec17 #5: Afton Creek Preserve		1,299.00
General Journal	01/31/2018	5330 Planng	Northwest Assoc 23384: Afton Creek Preserve		2,726.15
General Journal	02/26/2018	Escrow Trf	Transfer Escrow: Carlson 17-21 to 17-19		-600.00
General Journal	02/26/2018	Escrow Trf	Transfer Escrow: Carlson 17-21 to 17-19		-1,500.00
General Journal	02/26/2018	5310 Eng'g	WSB Engineer 2017 #4: Carlson Z17-19 Afton Creek Preserve		1,076.65
Payment	02/26/2018		Pay Exp + Addl Escrow Carlson Afton Creek Preserve Z17-19 2434		-26,269.45
General Journal	02/28/2018	5330 Planng	Northwest Assoc 22342: Afton Creek Preserve		4,868.15
General Journal	02/28/2018	5310 Eng'g	WSB Engineer 2018 #6: Carlson Z17-19 Afton Creek Preserve		871.00
General Journal	03/31/2018	5310 Eng'g	WSB Engineer 2018 #7: Carlson Z17-19 Afton Creek Preserve		7,439.00
General Journal	04/30/2018	5330 Planng	Northwest Assoc 23486: Afton Creek Preserve		2,888.00
General Journal	04/30/2018	5310 Eng'g	WSB Engineer 2018 #8: Carlson Z17-19 Afton Creek Preserve		8,216.00
General Journal	04/30/2018	5330 Planng	Northwest Assoc 23548: Afton Creek Preserve		1,557.00
General Journal	05/31/2018	5330 Planng	Northwest Assoc 23608: Afton Creek Preserve		135.00
General Journal	05/31/2018	5310 Eng'g	WSB Engineer 2018 #9: Carlson Z17-19 Afton Creek Preserve		1,546.00
Total Carlson Afton Creek Preserve Z17-19 2434					20,520.15
Carlson, Will Z16-31 2434 Stagecoach Trl					
Payment	08/31/2016	6153	Rezoning Escrow Carlson, Will Z16-31 2434 Stagecoach Trl		-1,500.00
Invoice	08/31/2016	Z16-31	Rezoning Fee Carlson, Will Z16-31 2434 Stagecoach Trl	Invoices(Dev Fees):4440 Zoning Fees	350.00
Payment	08/31/2016	6153	Pymt of Rezoning Fee Carlson, Will Z16-31 2434 Stagecoach Trl		-350.00
General Journal	09/30/2016	5330 Planng	Northwest Assoc: Carlson Z16-31		97.75
Total Carlson, Will Z16-31 2434 Stagecoach Trl					-1,402.25
Carlson, Will Z16-37 2434 Stagecoach Trl					
Payment	12/27/2016	4994	Carlson, Will Escrow Z16-37 2434 Stagecoach Trl		-2,500.00
Invoice	12/27/2016	Z16-37	Sketch Plan Carlson, Will Z16-37 2434 Stagecoach Trl	Invoices(Dev Fees):4440 Zoning Fees	500.00
Payment	12/27/2016	494	Pymt Carlson, Will Z16-37 2434 Stagecoach Trl		-500.00
General Journal	04/30/2017	5310 Eng'g	WSB Engineer: March 2017 Carlson PLCD		1,386.00
Total Carlson, Will Z16-37 2434 Stagecoach Trl					-1,114.00
Carlson, Will Z17-15 2534 Stagecoach Tr S					
Payment	07/10/2017	5281	Escrow (admin permit) Carlson, Will Z17-15 2534 Stagecoach Tr S		-600.00
Invoice	07/10/2017	Z17-15	Admin Permit Carlson, Will Z17-15 2534 Stagecoach Tr S	Invoices(Dev Fees):4440 Zoning Fees	150.00
Payment	07/10/2017	5281	Pymt of Admin Permit Carlson, Will Z17-15 2534 Stagecoach Tr S		-150.00
Total Carlson, Will Z17-15 2534 Stagecoach Tr S					-600.00
Carlson, Will Z17-16 2534 Stagecoach Tr S					
Payment	07/10/2017	5281	Veg Cutting Escrow Carlson, Will Z17-15 2534 Stagecoach Tr S		-200.00
Total Carlson, Will Z17-16 2534 Stagecoach Tr S					-200.00
Cedar Bluffs/Pratt					
Invoice	07/31/2011	KnaakJul11	Knaack & Assoc: legal serv re. Cedar Bluff	Invoices(Dev Fees):4342 Legal Fees	284.44
Invoice	08/31/2011	WSB6-180	WSB: Engineering	Invoices(Dev Fees):4341 Engineering Fees	280.00
Invoice	08/31/2011	WashCtyAug	Wash Cty: Recording fee	Invoices(Dev Fees):4344 Misc Dev Fees	9.50
Invoice	09/30/2011	WSBSep11	WSB Engineering Fees Sep11	Invoices(Dev Fees):4341 Engineering Fees	1,195.50
Invoice	10/18/2011	Z014-11	Z014-11 Sign Permit	Invoices(Dev Fees):4440 Zoning Fees	150.00
Invoice	10/18/2011	Z014-11	Z014-11 Temp/Renewal re. Sign Permit	Invoices(Dev Fees):4440 Zoning Fees	25.00
Payment	10/18/2011	1003	Pymt of Z014-11 Temp/Renewal re. sign permit		-25.00

City of Afton
Permit Escrow & Fee Detail
As of May 31, 2018

Type	Date	Num	Memo	Class	Amount
Payment	10/18/2011	1003	Pymt of 2014-11 sign permit		-275.00
Payment	10/18/2011	1003	Z014-11 sign deposit		-200.00
Invoice	10/31/2011	WSBSep11	WSB Engineering Expenses Sep11	Invoices(Dev Fees):4341 Engineering Fees	2,538.00
Payment	11/30/2011	74796	Pymt of Expenses per Invoice CBD11-2011		-4,297.94
Invoice	11/30/2011	WSBNov11	WSB Engineering Expenses: Nov2011	Invoices(Dev Fees):4341 Engineering Fees	2,316.00
Invoice	12/31/2011	180-9 Nov11	WSB City Engineer Nov11	Invoices(Dev Fees):4341 Engineering Fees	804.00
Payment	03/15/2012	75997	Pymt of escrow Invoice CBD1-2012		-2,975.50
Invoice	05/31/2012	WSB 180-10	WSB Engineering Services Apr12	Invoices(Dev Fees):4341 Engineering Fees	200.00
Payment	07/31/2012	77809	Pymt of engineering fee		-200.00
Invoice	10/31/2012	WSBSep12	WSB Engineering Sep2012	Invoices(Dev Fees):4341 Engineering Fees	242.00
Invoice	11/30/2012	WSBOct12	WSB Engineering	Invoices(Dev Fees):4341 Engineering Fees	847.00
Invoice	12/31/2012	WSBNov12	WSB Engineering Nov12	Invoices(Dev Fees):4341 Engineering Fees	642.00
General Journal	01/01/2013	Applicant	Additional Expenses not previously charged to Applicant: Cedar Bluff		171.00
Payment	01/30/2013	80888	Pymt of outstanding balance		-1,731.00
Invoice	01/31/2013	WSB 180-14	WSB Engineering: Jan13 180-14	Invoices(Dev Fees):4341 Engineering Fees	60.50
Invoice	02/28/2013	WSB 180-15	WSB Engineering: Feb13 180-15	Invoices(Dev Fees):4341 Engineering Fees	665.00
Payment	05/30/2013	2030	Pymt of WSB engineering services		-725.50
Invoice	07/31/2013	WSB Jul13	WSB Engineering Jul13	Invoices(Dev Fees):4341 Engineering Fees	199.50
Invoice	11/30/2013	ROW Record	Wash Cty Recording Fee	Invoices(Dev Fees):4250 Recording Fees	46.00
Invoice	12/31/2013	WSBNov13	WSB Eng'g Nov 2013	Invoices(Dev Fees):4341 Engineering Fees	66.50
General Journal	04/15/2014	Applicant	Addl Exp charged to Applicant: Twomey: WSB Dec Invoice		69.00
Invoice	05/31/2014	Cedar Bluff	WSB Engineering Fees 180-18	Invoices(Dev Fees):4341 Engineering Fees	207.00
Invoice	08/31/2014	WSB 19	WSB Engineering	Invoices(Dev Fees):4341 Engineering Fees	345.00
Payment	09/16/2014	2058	Pymt of balance		-519.00
Invoice	12/31/2014	WSBAug14	WSB Engineering August 2014	Invoices(Dev Fees):4341 Engineering Fees	174.00
Invoice	03/31/2015	WSB180-21	WSB Engineering 180-21	Invoices(Dev Fees):4341 Engineering Fees	143.00
General Journal	04/01/2015	Applicant	Addl Exp not previously chged to Applicant: Cedar Bluff		276.00
General Journal	04/01/2015	Applicant	Addl Exp not previously charged to Applicant: Cedar Bluff		69.00
Payment	04/01/2015	2069	Pymt of expenses \$276, \$69 & \$174		-519.00
Invoice	08/31/2015	WSB 180-22	WSB 180-22 Engineering Fees	Invoices(Dev Fees):4341 Engineering Fees	297.00
Invoice	09/30/2015	WSB180-24	WSB Engineering 180-24	Invoices(Dev Fees):4341 Engineering Fees	214.50
Payment	10/31/2015	2097	Pymt of WSB invoice 022815		-143.00
General Journal	11/30/2015	Applicant	Addl Exp not previously chged to Applicant: Cedar Bluff		71.50
General Journal	11/30/2015	Applicant	Addl Exp not previously chged to Applicant: Cedar Bluff		143.00
Payment	11/30/2015	2101	Invoice CBD11-2015 WSB June, July, Aug & Oct		-726.00
Total Cedar Bluffs/Pratt					414.00
Chrome-X LLC Z15-25 PO Box 221					
Payment	07/31/2015	1002	Partial pymt of \$250 fee & \$600 Escrow		-155.00
Invoice	09/30/2015	WSB450-7	WSB Engineering 450-7	Invoices(Dev Fees):4341 Engineering Fees	234.00
Total Chrome-X LLC Z15-25 PO Box 221					79.00
Clover, Phillip					
Invoice	12/31/2000		Opening balance		5,070.65
Invoice	05/11/2001	Clover1	Ck 6795 HR Green Engineering Fee - Plat Review	Invoices(Dev Fees):4341 Engineering Fees	90.00
Invoice	08/12/2001	Clover2	Ck 7081 Howard R. Green Engineering Fees	Invoices(Dev Fees):4341 Engineering Fees	180.00
Payment	08/30/2001	57251	Pymt from Universal Title Co.		-5,340.65
Invoice	09/30/2001	Clover3	Ck 7160 Howard Green Engineering Fee	Expenses (Dev Exp):Clover Estates	270.00
Invoice	11/09/2001	Clover4	Zoning Fee (Driveway)	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	11/09/2001	6975	Pymt of Zoning Fee (Driveway)		-250.00
Invoice	11/30/2001	Clover5	Ck 7317 Howard Green Engineering Fees	Invoices(Dev Fees):4341 Engineering Fees	803.25
Payment	02/28/2002	7074	Pymt of balance thru 1/31/02		-1,073.25
Invoice	02/28/2002	Clover6	Septic system & inspection fee	Invoices(Dev Fees):4430 Septic Sys & Insp Fees	300.00
Invoice	02/28/2002	Clover7	Park Dedication Fee	Invoices(Dev Fees):4425 Park Dedication Fee	24,300.00
Payment	02/28/2002	7074	Pymt of septic system & inspection fee		-300.00
Payment	02/28/2002	7074	Pymt of park dedication fee		-24,300.00
Invoice	08/31/2002	Clover8	Howard R. Green: plat review	Invoices(Dev Fees):4341 Engineering Fees	25.00
Invoice	02/28/2003	Clover9	Howard Green: Plat review	Invoices(Dev Fees):4341 Engineering Fees	232.50
Invoice	02/28/2003	Clover10	Howard Green: Plat review	Invoices(Dev Fees):4341 Engineering Fees	232.50
Invoice	04/30/2003	Clover11	Howard Green: 4/9 Eng'g	Invoices(Dev Fees):4341 Engineering Fees	93.00
Invoice	05/31/2003	Clover11	Howard R. Green: meet w/Clover at site	Invoices(Dev Fees):4341 Engineering Fees	186.00
Invoice	08/31/2003	Clover12	SEH engineering fees	Invoices(Dev Fees):4341 Engineering Fees	580.05
Invoice	09/30/2003	Clover13	SEH Engineering Clover Subdivision	Invoices(Dev Fees):4341 Engineering Fees	748.45
Invoice	10/31/2003	Clover14	SEH Engineering Fees: Clover subdivision	Invoices(Dev Fees):4341 Engineering Fees	790.71

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Type	Date	Num	Memo	Class	Amount
Invoice	11/30/2003	Clover15	SEH: Engineering services	Invoices(Dev Fees):4341 Engineering Fees	903.73
Invoice	12/31/2003	Clover16	SEH: Engineering re. pavement repairs	Invoices(Dev Fees):4341 Engineering Fees	183.15
Invoice	11/30/2006	SEHOct06	SEH engineering Oct06	Invoices(Dev Fees):4341 Engineering Fees	384.00
Invoice	12/31/2006	SEHDec06	SEH: Engineering fees Dec06	Invoices(Dev Fees):4341 Engineering Fees	1,189.50
General Journal	01/31/2012	Escrow W/O	Write off outstanding balance per CC 1/17/12: 6+ Years Past Due		-477.94
Total Clover, Phillip					5,070.65
Deming, David Z016-11 Veg Cutting					
Payment	11/30/2011	9466	Z016-11 Veg Cutting Deposit 16200 45th St S		-200.00
Invoice	11/30/2011	B063-11	Z016-11 Veg Cutting Permit	Invoices(Dev Fees):4440 Vegetative Cutting	150.00
Payment	11/30/2011	9480	Partial pay of Z016-11 Veg Cutting Permit		-50.00
Total Deming, David Z016-11 Veg Cutting					-100.00
Dickinson, Dan Grading & Variance					
Payment	07/15/2002	4235	Initial Grading Deposit 15876 Afton Blvd S.		-1,000.00
Payment	07/15/2002	4235	Initial Variance deposit (lot area per dwelling 7,000 ft)		-250.00
Invoice	07/31/2002	Dickinson1	Resolution recording fee	Invoices(Dev Fees):4250 Recording Fees	20.00
Check	01/20/2004	9332	Refund Grading & Variance Deposit net of expenses		0.00
Check	03/31/2004	9524	Refund Grading & Variance Deposit net of expenses		1,230.00
Payment	05/27/2004	5095	Final Inspection Deposit Permit A35-04		-200.00
Check	02/28/2005	10429	Refund Bldg Insp Deposit Permit A35-04		200.00
Payment	07/31/2015	5816	Z15-30 Variance Escrow (lot area)		-600.00
Invoice	07/31/2015	Z15-30 CUP	Z15-30 Variance Fee (lot area)	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	07/31/2015	5816	Pymt of Z15-30 Variance Fee (lot area)		-250.00
Total Dickinson, Dan Grading & Variance					-600.00
Du, Haiwei Z207 2997 Trading Post Trl					
Payment	01/31/2008	24566	Z200-08 Admin Permit Build SFD w/ 20' of Bluffline		-100.00
Invoice	01/31/2008	Z200Fee	Z200-08 Admin Fee	Invoices(Dev Fees):4440 Zoning Fees	60.00
Payment	01/31/2008	24566	Pymt of Z200 Admin Permit Fee		-60.00
Invoice	01/31/2008	NACJan08	NAC Planning Fee Jan08	Invoices(Dev Fees):4343 Planning Fees	113.90
Invoice	01/31/2008	SEHJan08	SEH Engineering Exp Jan08	Invoices(Dev Fees):4341 Engineering Fees	276.08
Invoice	02/29/2008	NACFeb08	NAC: Planning Feb08	Invoices(Dev Fees):4343 Planning Fees	22.80
Payment	03/31/2008	24564	Z207-08 Deposit Extend Driveway New SFD		-1,500.00
Invoice	03/31/2008	Z207-08	Z207-08 Driveway Permit	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	03/31/2008	24564	Pymt of Z207 Driveway permit		-250.00
Payment	03/31/2008	3412	Erosion Control Deposit Z208-08		-14,831.25
Invoice	03/31/2008	NACMar08	NAC Planning: Mar08	Invoices(Dev Fees):4343 Planning Fees	114.00
Invoice	04/30/2008	NACApr08	NAC: Planning Exp Apr08	Invoices(Dev Fees):4343 Planning Fees	11.40
Invoice	05/31/2008	SEHMar08	SEH Engineering: Mar08	Invoices(Dev Fees):4341 Engineering Fees	871.00
Invoice	12/31/2011	230-11 WSB	WSB City Engineer Nov11	Invoices(Dev Fees):4341 Engineering Fees	224.00
General Journal	06/30/2012	Forfeit Esc	Forfeit Escrow outstanding balance to City per CC 5/15/12: Category 4		1,500.00
Total Du, Haiwei Z207 2997 Trading Post Trl					-13,298.07
Dunn, Curtis Z15-35 14320 30th St S					
Payment	08/27/2015	4517	Z15-35 Driveway Escrow 14320 30th St S		-1,500.00
Invoice	08/27/2015	Z15-35	Z15-35 Driveway Bldg Insp Fee	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	08/27/2015	4517	Pymt of Z15-35 Driveway Bldg Insp Fee		-250.00
General Journal	10/31/2015	Applicant	WSB Engineering 450-8 Aug15 Dunn Z15-35		117.00
General Journal	11/30/2016	5310 Eng'g	WSB Engineer Sep16 #9: Dunn, Curt & Lisa Driveway Z16-35		60.50
General Journal	07/31/2017	5310 Eng'g	WSB Engineer May17 #5: Dunn, Curtis Z15-35		404.00
Total Dunn, Curtis Z15-35 14320 30th St S					-918.50
Dunn, Curtis Z17-35 14320 30th St S					
Payment	10/31/2017	4636	Pool Escrow Dunn, Curtis Z17-35 14320 30th St S		-1,000.00
Invoice	10/31/2017	Z17-35	Pool Fence Permit Dunn, Curtis Z17-35 14320 30th St S	Invoices(Dev Fees):4440 Zoning Fees	60.00
Payment	10/31/2017	4636	Pymt of Fence Permit Dunn, Curtis Z17-35 14320 30th St S		-60.00
General Journal	10/31/2017	5310 Eng'g	WSB Engineer Aug17 #8: Dunn, Curtis Z17-35 14320 30th St S		1,121.75
General Journal	11/30/2017	5310 Eng'g	WSB Engineer Oct17 #2: Dunn Driveway		58.50
Total Dunn, Curtis Z17-35 14320 30th St S					180.25

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Type	Date	Num	Memo	Class	Amount
Equaris Proposal					
Invoice	03/31/2011	WSB2-230	WSB Engineering: Equaris proposal, memo	Invoices(Dev Fees):4341 Engineering Fees	336.00
Total Equaris Proposal					336.00
Esertz Ent Z26-13 13380 Hudson Rd					
Payment	11/26/2013	46070	Z26-13 CUP Escrow truck parking facility		-600.00
Invoice	11/26/2013	Z26 CUP	Z26-13 CUP fee re truck parking facility	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	11/26/2013	46071	Pymt of Z26 CUP fee		-250.00
Total Esertz Ent Z26-13 13380 Hudson Rd					-600.00
Finch, David & Elizabeth 4885 Pheasant Ct					
Payment	04/30/2009	3336	Park Deposit MPA Picnic		-100.00
Check	06/30/2009	14800	Refund MPA Picnic Park Deposit		100.00
Payment	07/31/2013	4147	Z13-06 Barn for horses, equip, hay		-600.00
Invoice	07/31/2013	Z13-06	Admin Permit Z13-06	Invoices(Dev Fees):4440 Zoning Fees	150.00
Invoice	07/31/2013	Z13-07	Z13-07 Farmsite	Invoices(Dev Fees):4440 Zoning Fees	50.00
Payment	07/31/2013	4147	Pymt of Admin & Farmsite fees		-200.00
Total Finch, David & Elizabeth 4885 Pheasant Ct					-600.00
Friedlander, Ruth Z17-22 2948 Stagecoach					
Payment	08/22/2017	10709	Demo Escrow Friedlander, Ruth Z17-22 2948 Stagecoach		-250.00
Invoice	08/22/2017	Z17-22	Demo Fee Friedlander, Ruth Z17-22 2948 Stagecoach	Invoices(Dev Fees):4440 Zoning Fees	110.00
Payment	08/22/2017	10709	Pymt of Demo Fee Friedlander, Ruth Z17-22 2948 Stagecoach		-110.00
Total Friedlander, Ruth Z17-22 2948 Stagecoach					-250.00
GJ&W Afton Ctr Dev & EAW					
Invoice	11/30/2006	SEHOct06	SEH Engineering Services Oct06	Invoices(Dev Fees):4341 Engineering Fees	704.00
Invoice	12/31/2006	SEHNov06	SEH: Engineering Nov06	Invoices(Dev Fees):4341 Engineering Fees	1,038.73
Invoice	12/31/2006	LegalNov06	Hamilton: Legal fees Nov06	Invoices(Dev Fees):4342 Legal Fees	45.00
Invoice	12/31/2006	SEHDec06	SEH Engineering Dec06	Invoices(Dev Fees):4341 Engineering Fees	342.12
Invoice	01/31/2007	LegalJan07	Jensen, Bell et al: Legal services Jan07	Invoices(Dev Fees):4342 Legal Fees	108.00
Invoice	03/31/2007	JensenFeb07	Jensen Legal Fees Feb07	Invoices(Dev Fees):4342 Legal Fees	963.00
Invoice	04/30/2007	JensenMar07	Jensen Legal Fees Mar07	Invoices(Dev Fees):4342 Legal Fees	1,494.00
Invoice	05/31/2007	JensenApr07	Jensen: Legal services Apr07	Invoices(Dev Fees):4342 Legal Fees	504.00
Invoice	10/31/2008	Jensen	Jensen, Bell: Legal Expenses	Invoices(Dev Fees):4342 Legal Fees	36.00
Invoice	11/30/2008	SEHOct08	SEH Engineering: Oct08	Invoices(Dev Fees):4341 Engineering Fees	6,992.00
Invoice	12/31/2008	CGIDec08	Community Growth Institute: Dec08	Invoices(Dev Fees):4343 Planning Fees	89.00
Invoice	12/31/2008	SEHNov08	SEH Engineering: Nov08	Invoices(Dev Fees):4341 Engineering Fees	5,322.19
Invoice	12/31/2008	SEHDec08	SEH Engineering: Dec08	Invoices(Dev Fees):4341 Engineering Fees	9,334.72
Invoice	02/28/2009	SEHJan09	SEH Engineering Services: Jan09	Invoices(Dev Fees):4341 Engineering Fees	1,102.00
Invoice	03/31/2009	SEHFeb09	SEH Engineering Services Feb09	Invoices(Dev Fees):4341 Engineering Fees	7,888.40
Invoice	04/30/2009	SEHMar09	SEH Engineering: Mar09	Invoices(Dev Fees):4341 Engineering Fees	1,108.42
Invoice	05/31/2009	CGI052509	CGI Expenses: Inv#1718 052509	Invoices(Dev Fees):4343 Planning Fees	2,874.00
Invoice	05/31/2009	SEHApr09	SEH Engineering: 217415 Apr09	Invoices(Dev Fees):4341 Engineering Fees	840.00
Invoice	07/31/2009	CGIJun09	CGI Planner Expenses thru 062509	Invoices(Dev Fees):4343 Planning Fees	253.00
Total GJ&W Afton Ctr Dev & EAW					41,038.58
Hall, Justin & Jennifer Z17-18 2698 Meadow					
Payment	07/31/2017	1746	Driveway Escrow Hall, Justin & Jennifer Z17-18 2698 Meadow Vista Way		-1,500.00
Invoice	07/31/2017	Z17-18	Driveway Insp Fee Hall, Justin & Jennifer Z17-18 2698 Meadow Vista Way	Invoices(Dev Fees):4401 Building Inspection Fee	250.00
Payment	07/31/2017	1746	Pymt of Driveway Insp Fee Hall, Justin & Jennifer Z17-18 2698 Meadow Vista Way		-250.00
Total Hall, Justin & Jennifer Z17-18 2698 Meadow					-1,500.00
Hartung, Dan Z16-15 2698 Meadow Vista Way					
Payment	05/17/2016	956	Driveway Escrow Hartung, Dan Z16-15 2698 Meadow Vista Way		-1,500.00
Invoice	05/17/2016	Z16-15	Driveway Insp Fee Hartung, Dan Z16-15 2698 Meadow Vista Way	Invoices(Dev Fees):4401 Building Inspection Fee	250.00
Payment	05/17/2016	946	Pymt of Driveway Insp Fee Hartung, Dan Z16-15 2698 Meadow Vista Way		-250.00
Total Hartung, Dan Z16-15 2698 Meadow Vista Way					-1,500.00
Haukedahl, Seth Z17-28 6211 Oakgreen Av S					

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Type	Date	Num	Memo	Class	Amount
Payment	09/20/2017	132	Driveway Escrow Haukedahl, Seth Z17-28 6211 Oakgreen Av S		-1,500.00
Invoice	09/20/2017	B17-28	Driveway Insp Fee Haukedahl, Seth Z17-28 6211 Oakgreen Av S	Invoices(Dev Fees):4401 Building Inspection Fee	250.00
Payment	09/20/2017	132	Pymt of Driveway Insp Fee Haukedahl, Seth Z17-28 6211 Oakgreen Av S		-250.00
Total Haukedahl, Seth Z17-28 6211 Oakgreen Av S					-1,500.00
Have, Mark Z18-06 12745 32nd St S					
Payment	04/30/2018	2378	Admin Escrow: Have, Mark Z18-06 12745 32nd St S		-150.00
Invoice	04/30/2018	Z18-06	Admin Fee: Have, Mark Z18-06 Ag & Farm Site 12745 32nd St S	Invoices(Dev Fees):4440 Zoning Fees	150.00
Invoice	04/30/2018	Z18-06	Farmsite Fee: Have, Mark Z18-06 Ag & Farm Site 12745 32nd St S	Invoices(Dev Fees):4440 Zoning Fees	50.00
Payment	04/30/2018	2378	Pymt of Ag Admin Fee: Have, Mark Z18-06 Ag & Farm Site 12745 32nd St S		-150.00
Payment	04/30/2018	2378	Pymt of Farmsite Fee: Have, Mark Z18-06 Ag & Farm Site 12745 32nd St S		-50.00
Total Have, Mark Z18-06 12745 32nd St S					-150.00
Heller, Darin B033 Fence Deposit					
Payment	04/30/2010	7485	B-033-10 Swimming Pool Fence Deposit		-3,850.00
Payment	04/30/2010	7484	B033 Pool Deposit		-60.00
Invoice	04/30/2010	B-033-10	Swimming Pool Fee (Bldg Permit B-033)	Invoices(Dev Fees):4440 Zoning Fees	60.00
Payment	04/30/2010	7484	Pymt of Pool Fee B-033-10		-60.00
Check	07/29/2010	15809	Refund pool fence deposit Z-007-10		3,850.00
Total Heller, Darin B033 Fence Deposit					-60.00
Hill, Peter & Cherie Z15-29 WCD 13212 McG					
Payment	07/31/2015	12258	Grading permit escrow Wash Conserv District		-600.00
Invoice	07/31/2015	Z15-29 CUP	WCD Grading CUP	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	07/31/2015	12258	Pymt of WCD Grading CUP Fee		-250.00
Total Hill, Peter & Cherie Z15-29 WCD 13212 McG					-600.00
Hinz, Thomas & Louise Z18-07 4787 Manning					
Payment	04/30/2018	5115	Variance Escrow Hinz, Thomas & Louise Z18-07 Variance 4787 Manning		-600.00
Invoice	04/30/2018	Z18-07	Variance Fee Hinz, Thomas & Louise Z18-07 Variance 4787 Manning	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	04/30/2018	5115	Pymt of Var Fee Hinz, Thomas & Louise Z18-07 Variance 4787 Manning		-250.00
Total Hinz, Thomas & Louise Z18-07 4787 Manning					-600.00
Islamic Soc Z16-05,06 12585 Hudson Rd					
Payment	03/21/2016	1166	Z16-05 CUP Escrow Mosque 12585 Hudson Rd		-600.00
Payment	03/21/2016	1165	16-05 CUP Fee Mosque 12585 Hudson Rd		-250.00
Invoice	03/21/2016	Z16-05	16-05 CUP Fee Mosque 12585 Hudson Rd	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	03/21/2016	1174	16-06 Variance Escrow Mosque 12585 Hudson Rd		-600.00
Payment	03/21/2016	1173	16-06 Variance Fee Mosque 12585 Hudson Rd		-250.00
Invoice	03/21/2016	Z16-06	16-06 Variance Fee Mosque 12585 Hudson Rd	Invoices(Dev Fees):4440 Zoning Fees	250.00
General Journal	05/31/2016	5310 Eng'g	WSB Engineer: March 2016		1,135.00
General Journal	09/30/2016	5330 Planng	Northwest Assoc: ISWEM Z16-05		46.00
General Journal	11/30/2016	5330 Planng	Northwest Assoc: Proposed Mosque Z16-05		23.00
General Journal	11/30/2016	5310 Eng'g	WSB Engineer Sep16 #9: Islamic Soc of Woodbury Z16-05 Stormwater Review		60.50
General Journal	12/01/2016	5310 Eng'g	WSB Engineer Apr16 #4: Islamic Soc of Woodbury Z16-05		863.50
General Journal	12/01/2016	5310 Eng'g	WSB Engineer Jun16 #6: Islamic Soc of Woodbury Z16-05		73.50
General Journal	12/01/2016	5310 Eng'g	WSB Engineer Sep16 #9: Islamic Soc of Woodbury Z16-05		60.50
Total Islamic Soc Z16-05,06 12585 Hudson Rd					1,062.00
Iverson, Ross Z204214 2555 Trdng Post Trl					
Payment	05/31/2006	5458	Driveway Deposit: to access future home site		-1,500.00
Invoice	05/31/2006	Z214	Driveway Inspection Fee	Invoices(Dev Fees):4401 Building Inspection Fee	250.00
Payment	05/31/2006	5458	Pymt of Driveway Inspection Fee		-250.00
Payment	03/14/2007	8119	Admin Permit for B16-07 Z204 SFD		-100.00
Invoice	03/14/2007	Z204	Z204 Admin fee for B16-07 SFD	Invoices(Dev Fees):4440 Zoning Fees	60.00
Payment	03/14/2007	8119	Pymt of Z204 Admin permit B16-07		-60.00
Invoice	04/30/2007	SEHMar07	SEH Engineering Mar07	Invoices(Dev Fees):4341 Engineering Fees	616.58
Invoice	01/31/2008	NACJan08	NAC Planning Fee Jan08	Invoices(Dev Fees):4343 Planning Fees	182.20
Check	05/31/2009	14728	Refund Admin Permit Deposit Z204-07		100.00
Total Iverson, Ross Z204214 2555 Trdng Post Trl					-701.22

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Type	Date	Num	Memo	Class	Amount
Johnson, Justin & Jessica 14872 V Crk Trl					
Payment	04/30/2014	Cash	Variance Deposit Z14-15		-600.00
Payment	04/30/2014	350	Renewal/Amendment Deposit Z14-15		-350.00
Invoice	04/30/2014	Z14-15 Var	Z14-15 Variance Fee	Invoices(Dev Fees):4440 Zoning Fees	250.00
Invoice	04/30/2014	Z14-16 Var	Renewal/Amendment Fee	Invoices(Dev Fees):4440 Zoning Fees	150.00
Payment	04/30/2014	cash	Pymt of variance fee		-250.00
Payment	04/30/2014	cash	Pymt of renewal/amendment fee		-150.00
Check	11/26/2014	19753	Refund Variance Escrow Z14-15		600.00
Total Johnson, Justin & Jessica 14872 V Crk Trl					-350.00
Johnson, Michael/Carolyn Z17-24 771 Ind					
Payment	08/31/2017	5698	Variance Escrow Johnson, Michael/Carolyn Z17-24 771 Ind		-600.00
Payment	08/31/2017	5698	Pymt of Variance Fee Johnson, Michael/Carolyn Z17-24 771 Ind		-250.00
Invoice	08/31/2017	B17-24	Variance Fee Johnson, Michael/Carolyn Z17-24 771 Ind	Invoices(Dev Fees):4440 Zoning Fees	250.00
Total Johnson, Michael/Carolyn Z17-24 771 Ind					-600.00
Junker, Mervin Z17-05 1069 Manning Av S					
Payment	03/31/2017	1642	Minor Sub Escrow Junker, Mervin Z17-05 1069 Manning Av S		-1,500.00
Invoice	03/31/2017	Z17-05	Minor Sub Fee Junker, Mervin Z17-05 1069 Manning Av S	Invoices(Dev Fees):4440 Minor Subdivision	250.00
Payment	03/31/2017	1642	Pymt of Minor Sub Fee Junker, Mervin Z17-05 1069 Manning Av S		-250.00
Check	11/30/2017	22231	Partial Refund Z17-05 1069 Manning		1,000.00
Total Junker, Mervin Z17-05 1069 Manning Av S					-500.00
Khandpur Z17-10 2668 Meadow Vista Way					
Payment	05/25/2017	37947	Driveway Escrow Khandpur Z17-10 2668 Meadow Vista Way		-1,500.00
Invoice	05/25/2017	Z17-10	Driveway Insp Fee Khandpur Z17-10 2668 Meadow Vista Way	Invoices(Dev Fees):4401 Building Inspection Fee	250.00
Payment	05/25/2017	37947	Pymt of Driveway Insp fee Khandpur Z17-10 2668 Meadow Vista Way		-250.00
Total Khandpur Z17-10 2668 Meadow Vista Way					-1,500.00
Krahn, Kurt & Kathy Z13-29 15820 37th					
Invoice	12/31/2013	Z1-14	WSB Eng'g Services Dec13	Invoices(Dev Fees):4341 Engineering Fees	199.50
Payment	01/27/2014	4990	Z13-29 variance deposit		-600.00
Invoice	01/27/2014	Z13-29	z13-29 variance fee	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	01/27/2014	4990	z13-29 pymt of variance fee		-250.00
Total Krahn, Kurt & Kathy Z13-29 15820 37th					-400.50
Lakeview Inv 14833 50th St Z14-33					
Payment	10/29/2014	6001	Z14-33 major subdiv escrow		-7,500.00
Payment	10/29/2014	6001	Pymt major subdiv fee \$2000 + \$100/lot		-2,800.00
Invoice	10/29/2014	Z14-33	Z14-33 major subdiv fee \$2000 + \$100/lot	Invoices(Dev Fees):4440 Major Subdivision	2,800.00
Invoice	10/31/2014	WSB420-9	WSB Engineering	Invoices(Dev Fees):4341 Engineering Fees	414.00
Invoice	12/31/2014	Z14-33	The Planning Company: Lakeview Dev Trading Post Trail Preserve, Z-33-14	Invoices(Dev Fees):4343 Planning Fees	553.76
Invoice	12/31/2014	Z14-33	The Planning Company: Lakeview Dev Trading Post Trail Preserve, Z-33-14	Invoices(Dev Fees):4343 Planning Fees	250.00
Invoice	12/31/2014	Z14-33	The Planning Company: Lakeview Dev Trading Post Trail Preserve, Z-33-14	Invoices(Dev Fees):4343 Planning Fees	500.00
Invoice	12/31/2014	Z14-33	WSB: Lakeview Dev Trading Post Trail Preserve, Z-33-14	Invoices(Dev Fees):4341 Engineering Fees	113.00
Invoice	12/31/2014	Z14-33	WSB: Lakeview Dev Trading Post Trail Preserve, Z-33-14	Invoices(Dev Fees):4341 Engineering Fees	565.00
Invoice	02/28/2015	Planning	The Planning Company 2465	Invoices(Dev Fees):4343 Planning Fees	250.00
Invoice	02/28/2015	Planning	The Planning Company 2466	Invoices(Dev Fees):4343 Planning Fees	650.00
Invoice	03/31/2015	PingCo2527	The Planning Company 2527	Invoices(Dev Fees):4343 Planning Fees	687.50
Invoice	03/31/2015	WSB450-2	WSB Engineering 450-2	Invoices(Dev Fees):4341 Engineering Fees	903.50
Invoice	03/31/2015	KnaakMar15	Holstad & Knaak: Legal services Mar2015	Invoices(Dev Fees):4342 Legal Fees	700.00
Payment	04/30/2015	1210459	Escrow re Construction Estimate		-232,689.00
Invoice	04/30/2015	Planning Co	2580 The Planning Company	Invoices(Dev Fees):4343 Planning Fees	250.00
Invoice	04/30/2015	WSB 450-3	WSB Engineering 450-3	Invoices(Dev Fees):4341 Engineering Fees	71.50
Invoice	04/30/2015	Planning Co	The Planning company 2581	Invoices(Dev Fees):4343 Planning Fees	562.50
Invoice	05/31/2015	WSB450-4	WSB Engineering	Invoices(Dev Fees):4341 Engineering Fees	214.50
Check	06/30/2015	20306	Reduction Escrow Trading Post Reserve Z14-33		0.00
Check	06/30/2015	20307	Reduction Escrow Trading Post Reserve Z14-33		184,176.50
Invoice	06/30/2015	WSB480-1	WSB Engineering 480-1	Invoices(Dev Fees):4341 Engineering Fees	1,608.00
Invoice	08/31/2015	WSB 480-2	WSB 480-2 Engineering Fees	Invoices(Dev Fees):4341 Engineering Fees	4,460.28
Invoice	09/30/2015	WSB Various	WSB Engineering Various	Invoices(Dev Fees):4341 Engineering Fees	4,679.00

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Type	Date	Num	Memo	Class	Amount
Invoice	10/31/2015	Lakeview	WSB Engineering	Invoices(Dev Fees):4341 Engineering Fees	1,315.50
Total Lakeview Inv 14833 50th St Z14-33					-37,264.46
Lenander, Duane & Jenn Z18-05 12468 Meadw					
Payment	03/27/2018	2099	Driveway Escrow Lenander, Duane & Jenn Z18-05 12468 Meadw		-1,500.00
Invoice	03/27/2018	Z18-05	Driveway Insp Fee Lenander, Duane & Jenn Z18-05 12468 Meadw	Invoices(Dev Fees):4401 Building Inspection Fee	250.00
Payment	03/27/2018	2099	Pymt of Driveway Insp Fee Lenander, Duane & Jenn Z18-05 12468 Meadw		-250.00
Total Lenander, Duane & Jenn Z18-05 12468 Meadw					-1,500.00
Lenander, Duane & Jenn Z18-12 12468 Meadw					
Payment	05/31/2018	2815	Escrow Pool Enclosure Duane & Jenn Z18-12 12468 Meadw		-1,000.00
Payment	05/31/2018	2815 1790	Pymt Pool Fee Duane & Jenn Z18-12 12468 Meadw		-140.00
Invoice	05/31/2018	Z18-12	Pool Fence Permit Duane & Jenn Z18-12 12468 Meadw	Invoices(Dev Fees):4440 Zoning Fees	140.00
Total Lenander, Duane & Jenn Z18-12 12468 Meadw					-1,000.00
LOC, LLC Z15-44 xxx Hudson Rd Variance					
Payment	12/31/2015	3975	Z15-44 xxx Hudson Rd Variance		-600.00
Invoice	12/31/2015	Z15-44	Z15-44 xxx Hudson Rd Variance	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	12/31/2015	3975	Pymt of Z15-44 Variance Fee		-250.00
Total LOC, LLC Z15-44 xxx Hudson Rd Variance					-600.00
Localized LLC Z16-33					
General Journal	11/30/2016	5330 Planng	Northwest Assoc 22635: Localized LLC Z16-33		80.50
Total Localized LLC Z16-33					80.50
Localized, LLC Z16-20 2167 Oakgreen Av S					
Payment	06/21/2016	5003	Rezoning Escrow Z16-20 2167 Oakgreen Av S		-1,500.00
Invoice	06/21/2016	Z16-20	Rezoning Fee Z16-20 2167 Oakgreen Av S	Invoices(Dev Fees):4440 Zoning Fees	350.00
Payment	06/21/2016	5003	Pymt of Rezoning Fee Z16-20 2167 Oakgreen Av S		-350.00
Total Localized, LLC Z16-20 2167 Oakgreen Av S					-1,500.00
Lucas Woodland B063-11 15222 Afton Blvd S					
Payment	11/30/2011	1301	Admin Permit Deposit B-063-11 Demo Extension		-1,000.00
Invoice	11/30/2011	B063-11	Admin Permit B063-11 Cert of Occupancy	Invoices(Dev Fees):4440 Zoning Fees	150.00
Payment	11/30/2011	1302	Pymt of Admin Permit B063-11 Cert of Occupancy		-150.00
Total Lucas Woodland B063-11 15222 Afton Blvd S					-1,000.00
Maas, Gary Z15-26 3185 St Crx Trl					
Payment	07/31/2015		Escrow Vegetative Cutting Z15-26		-200.00
Total Maas, Gary Z15-26 3185 St Crx Trl					-200.00
Maas, Gary Z15-38 16688 7th St S					
Payment	10/31/2015	6938	Z15-38 Minor Subdivision Escrow Deposit		-1,500.00
Invoice	10/31/2015	Z15-38	Z15-38 Minor Subdivision Fee	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	10/31/2015	6938	Pymt of Z15-38 minor sub fee		-250.00
Total Maas, Gary Z15-38 16688 7th St S					-1,500.00
Mann, Nancy Z18-08 9684 Min Subdiv Amaris					
Payment	04/30/2018	6300	Escrow Mann, Nancy Z18-08 9684 Wellington Minor Subdiv Amaris		-1,500.00
Invoice	04/30/2018	Z18-08	Minor Subdiv Fee: Mann, Nancy Z18-08 9684 Wellington Minor Subdiv Amaris	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	04/30/2018	6300	Pymt of Fee: Mann, Nancy Z18-08 9684 Wellington Minor Subdiv Amaris		-250.00
Total Mann, Nancy Z18-08 9684 Min Subdiv Amaris					-1,500.00
Marcus, Julie Z16-36 4270 River Rd S					
Payment	12/27/2016	4694 5631	Marcus, Julie & Mary McLaurin Escrow Z16-36 4270 River Rd S		-600.00
Invoice	12/27/2016	Z16-36	Marcus, Julie & Mary McLaurin Variance Fee Z16-36 4270 River Rd S	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	12/27/2016	4694 5631	Pymt Marcus, Julie & Mary McLaurin Variance Fee Z16-36 4270 River Rd S		-250.00

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Total Marcus, Julie Z16-36 4270 River Rd S					-600.00
McDonough, M Z15-32 Pool					
Payment	08/27/2015	2109	Z15-32 Pool Escrow (Prestige Pools)		-1,000.00
Invoice	08/27/2015	Z15-32	Z15-32 Fee re. Pool	Invoices(Dev Fees):4440 Zoning Fees	100.00
Payment	08/27/2015	2109	Pymt of Zoning Fee Z15-32 re Pool		-100.00
Payment	08/27/2015	2109	Z15-33 Fence Permit for Pool		-1,000.00
Invoice	08/27/2015	Z15-33	Z15-33 Fence Permit	Invoices(Dev Fees):4440 Zoning Fees	60.00
Payment	08/27/2015	2109	Pymt of Z15-33 Fence Permit Fee		-60.00
Total McDonough, M Z15-32 Pool					-2,000.00
Meisner, Roger Z16-19 1520 Stagecoach					
Payment	11/30/2016	2159	Variance Escrow Meisner, Roger Z16-19 1520 Stagecoach		-600.00
Invoice	11/30/2016	Z16-19	Variance Fee Meisner, Roger Z16-19 1520 Stagecoach	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	11/30/2016	2159	Pymt of Variance Fee Meisner, Roger Z16-19 1520 Stagecoach		-250.00
Total Meisner, Roger Z16-19 1520 Stagecoach					-600.00
Meissner, Joe 14186 Valley Cr					
Invoice	06/30/2010	WashCty	Wash Cty Recording Fee	Invoices(Dev Fees):4250 Recording Fees	46.00
Invoice	08/31/2010	Variance	Wash Cty Recording Fee - Variance	Invoices(Dev Fees):4250 Recording Fees	46.00
Payment	01/23/2012		Pymt re. re-recording variance		-46.00
Total Meissner, Joe 14186 Valley Cr					46.00
Morgan, Randy Z13-15 Sand Hill Driveway					
Payment	07/25/2013	8930	Z13-15 Driveway Escrow		-1,500.00
Invoice	07/25/2013	Z13-15	Z13-15 Bldg Insp Fee	Invoices(Dev Fees):4401 Building Inspection Fee	250.00
Payment	07/25/2013	8930	Pymt of Bldg Insp Fee Driveway		-250.00
Invoice	07/31/2013	WSB Jul13	WSB Engineering Jul13	Invoices(Dev Fees):4341 Engineering Fees	133.00
Invoice	08/31/2013	WSB 360-7	WSB Engineering Services	Invoices(Dev Fees):4341 Engineering Fees	266.00
Invoice	09/30/2013	WSB Sep13	WSB Engineer services	Invoices(Dev Fees):4341 Engineering Fees	133.00
Invoice	05/31/2014	Z13-15	WSB Engineering Fees 420-4	Invoices(Dev Fees):4341 Engineering Fees	69.00
General Journal	10/31/2015	Applicant	WSB Engineering 450-8 Aug15 Morgan Z13-15		500.50
General Journal	11/30/2015	5310 Eng'g	WSB Engineer: Sep 2015		143.00
Total Morgan, Randy Z13-15 Sand Hill Driveway					-255.50
Murphy, Elaine Z15-28 WCD 4969 Neal					
Payment	07/31/2015	12258	Grading permit escrow Wash Conserv District		-600.00
Invoice	07/31/2015	Z15-28 CUP	WCD Grading CUP	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	07/31/2015	12258	Pymt of WCD Grading CUP Fee		-250.00
General Journal	10/31/2015	Applicant	WSB Engineering 450-8 Aug15 Murphy Z15-18		321.75
General Journal	11/30/2015	5310 Eng'g	WSB Engineer: Sep 2015		234.00
General Journal	11/30/2015	5310 Eng'g	WSB Engineer: Oct 2015		58.50
Total Murphy, Elaine Z15-28 WCD 4969 Neal					14.25
Murphy, Kevin Z17-25 5805 Manning Av S					
Payment	09/20/2017	1019	Escrow Minor Subdiv Murphy, Kevin Z17-25 5805 Manning Av S		-1,500.00
Invoice	09/20/2017	B17-25	Minor Subdiv Fee Murphy, Kevin Z17-25 5805 Manning Av S	Invoices(Dev Fees):4440 Minor Subdivision	250.00
Payment	09/20/2017	1019	Pymt of Minor Subdiv Fee Murphy, Kevin Z17-25 5805 Manning Av S		-250.00
General Journal	04/30/2018	5315 Record	Wash Cty Recording Fee: Kevin Murphy Z17-25		46.00
Check	04/30/2018	22536	Refund Escrow Net of Exp Z17-25		1,454.00
Total Murphy, Kevin Z17-25 5805 Manning Av S					0.00
Myers, Jim Z15-14 1405 Sandhill Rd					
Payment	05/31/2015	104362	Z15-14 Driveway Escrow		-1,500.00
Invoice	05/31/2015	z15-14	Z15-14 Driveway Bldg Insp Fee	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	05/31/2015	104362	Pymt of Driveway Bldg Insp Fee		-250.00
Invoice	09/30/2015	WSB450-7	WSB Engineering 450-7	Invoices(Dev Fees):4341 Engineering Fees	71.50
Total Myers, Jim Z15-14 1405 Sandhill Rd					-1,428.50
Nelson Estates Z16-26 Prelim Plat					
Payment	07/22/2014	1008319	Minor Subdiv Escrow 1093 Indian Trl S Z24-14		-5,000.00

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Type	Date	Num	Memo	Class	Amount
Invoice	07/22/2014	Z14-24	Minor Sub Fee Z14-24 \$1,000 + \$100 4 lots	Invoices(Dev Fees):4440 Minor Subdivision	1,400.00
Payment	07/22/2014	1008379	Pymt of minor sub fees		-1,400.00
Invoice	08/31/2014	NWA Z14-24	NW Assoc Planning Fees	Invoices(Dev Fees):4343 Planning Fees	1,421.90
Invoice	09/30/2014	NWA Z14-24	Northwest Assoc: 21465 Planning Fees	Invoices(Dev Fees):4343 Planning Fees	1,265.20
Invoice	10/31/2014	WSB420-9	WSB Engineering	Invoices(Dev Fees):4341 Engineering Fees	364.00
General Journal	11/30/2015	5330 Planng	Northwest Assoc: Nelson Estates - Reithmeyer Plat		94.50
General Journal	12/01/2016	5330 Planng	Northwest Assoc: Nelson Estates - Prelim Plat		57.50
General Journal	12/01/2016	5310 Eng'g	WSB Engineer: Nelson Estates - Prelim Plat		340.50
Total Nelson Estates Z16-26 Prelim Plat					-1,456.40
Nelson Estates Z16-34 Final Plat					
General Journal	07/31/2016	5330 Planng	Northwest Assoc: Nelson Estates - Reithmeyer Plat		959.00
General Journal	08/31/2016	5330 Planng	Northwest Assoc: Nelson Estates Z16-26		200.00
General Journal	08/31/2016	5330 Planng	Northwest Assoc: Nelson Estates Z16-26		70.00
General Journal	09/30/2016	5330 Planng	Northwest Assoc: Reithmeyer Z16-26		57.50
Payment	11/24/2016	3008	Escrow Z16-34 1093 Indian Trl S		-1,000.00
Invoice	11/24/2016	Z16-34	Final Plat Fee Escrow Z16-34 1093 Indian Trl S	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	11/24/2016	3008	Pymt of Final Plat Fee Escrow Z16-34 1093 Indian Trl S		-250.00
General Journal	11/30/2016	5330 Planng	Northwest Assoc: Nelson Estates Z16-34		103.50
General Journal	11/30/2016	5330 Planng	Northwest Assoc 22636: Nelson Estates Final Plat Z16-34		855.00
General Journal	12/01/2016	Applicant	Applicant Expense Adj: Nelson Estates Final Plat		17.90
Check	11/30/2017	22257	Refund Escrow Z16.34 Major Subdiv Nelson Est		1,262.90
Total Nelson Estates Z16-34 Final Plat					2,525.80
Osborn, Jaeson & Kayla Z15-41 15612 36th					
Payment	11/16/2015	5516	Driveway Escrow Z15-41 15612 36th St S Amaris Homes		-1,500.00
Invoice	11/16/2015	Z15-41	Driveway Bldg Insp Fee Z15-41	Invoices(Dev Fees):4401 Building Inspection Fee	250.00
Payment	11/16/2015	5516	Pymt of Bldg Insp Fee (Driveway)		-250.00
Total Osborn, Jaeson & Kayla Z15-41 15612 36th					-1,500.00
Osborn, Jay Z1-13 3850 Oak Green Av S					
Payment	02/28/2013	113	Escrow Ag Bldg Z1-13		-1,000.00
Invoice	02/28/2013	Z1-13	Z1-13 Admin Permit Fee	Invoices(Dev Fees):4440 Zoning Fees	150.00
Payment	02/28/2013	113	Pymt of Z1-13 admin permit fee		-150.00
Total Osborn, Jay Z1-13 3850 Oak Green Av S					-1,000.00
Osborn, Jay Z1-14 3850 Oak Green Av S					
Invoice	12/31/2013	Z1-14	WSB Eng'g Services Dec13	Invoices(Dev Fees):4341 Engineering Fees	66.50
Payment	01/29/2014	5014	Escrow Z14-1 Ag Purpose - horses		-600.00
Invoice	01/29/2014	Z1-15	Z14-1 ag admin permit	Invoices(Dev Fees):4440 Zoning Fees	150.00
Payment	01/29/2014	5013	Pymt of z14-1 ag admin fee		-150.00
Invoice	01/29/2014	Z1-14	Farmsite fee	Invoices(Dev Fees):4440 Zoning Fees	50.00
Payment	01/29/2014	5015	pymt of farmsite fee		-50.00
Total Osborn, Jay Z1-14 3850 Oak Green Av S					-533.50
Paddock, Bruce Z15-16 22.028.20.14.0064					
Payment	05/31/2015	5811	Z15-16 Variance Escrow Buildability		-600.00
Invoice	05/31/2015	z15-16	Z15-16 Variance Fee	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	05/31/2015	5811	Pymt of variance fee Z15-16		-250.00
Total Paddock, Bruce Z15-16 22.028.20.14.0064					-600.00
Pentel, Sylvia Z009 1501 Stagecoach Trl					
Payment	05/19/2010	3013	Z-009-10 Driveway Deposit		-1,500.00
Invoice	05/19/2010	Z-009-10	Z009 Building Insp fee for Driveway	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	05/19/2010	3013	Pymt of Z009 Bldg Insp Fee for Driveway		-250.00
Payment	05/19/2010	3013	Grading Deposit		-1,000.00
Invoice	05/19/2010	Pentel	Grading Permit	Invoices(Dev Fees):4440 Zoning Fees	100.00
Payment	05/19/2010	3013	Pymt of Grading Permit		-100.00
Invoice	06/30/2010	WSBJun10	WSB Engineering Exp: Grading Permit	Invoices(Dev Fees):4341 Engineering Fees	56.00
General Journal	07/29/2010	Rev Invoice	Reverse Original \$100 Charge for Grading Permit 5/19/10		-100.00
Check	07/29/2010	15810	Refund grading permit deposit and fee		1,100.00

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Invoice	07/31/2010	WSBJul10	WSB Eng'g: Engineering Services re. grading permit	Invoices(Dev Fees):4341 Engineering Fees	336.00
Invoice	01/31/2011	WSBJan11	WSB: Engineering re. Grading Permit	Invoices(Dev Fees):4341 Engineering Fees	152.00
Invoice	02/28/2011	WSB4-140	WSB Engineering: grading permit	Invoices(Dev Fees):4341 Engineering Fees	188.00
Invoice	07/31/2012	WSBMay2012	WSB EngineeringMay2012	Invoices(Dev Fees):4341 Engineering Fees	60.50
Invoice	09/30/2013	WashCty	Wash Cty Recording Fee	Invoices(Dev Fees):4344 Misc Dev Fees	46.00
Total Pentel, Sylvia Z009 1501 Stagecoach Trl					-661.50
Rambo, Lyle Z17-31 12560 15th St S					
Payment	10/16/2017	1042	Solar Amendment Escrow Rambo, Lyle Z17-31 12560 15th St S		-1,500.00
Invoice	10/16/2017	Z17-31	Solar Amendment Rambo, Lyle Z17-31 12560 15th St S	Invoices(Dev Fees):4440 Zoning Fees	350.00
Payment	10/16/2017	50386	Pymt of Solar Amendment Fee Rambo, Lyle Z17-31 12560 15th St S		-350.00
Total Rambo, Lyle Z17-31 12560 15th St S					-1,500.00
Rankin, Rod B17-77 10484 Grand Valley Ln					
Payment	06/21/2017	124628	Driveway Escrow Rankin, Rod B17-77 10484 Grand Valley Ln		-1,500.00
Invoice	06/21/2017	B17-77	Bldg Insp Fee Rankin, Rod B17-77 10484 Grand Valley Ln	Invoices(Dev Fees):4401 Building Inspection Fee	250.00
Payment	06/21/2017	124628	Pymt of Bldg insp Fee Rankin, Rod B17-77 10484 Grand Valley Ln		-250.00
Check	04/30/2018	22548	Refund Driveway Escrow B17-77		1,500.00
Total Rankin, Rod B17-77 10484 Grand Valley Ln					0.00
Reithmeyer, Joe & Kim Z15-37 1093					
Payment	09/23/2015	15666	Z15-37 Minor Subdiv 1093 Ind Trl S & 1093 Lk Edith Ln		-1,500.00
Invoice	09/23/2015	MinorZ15-37	Minor Subdiv Fee Z15-37	Invoices(Dev Fees):4440 Minor Subdivision	250.00
Payment	09/23/2015	15666	Pymt of Minorsubdiv Fee Z15-37		-250.00
General Journal	12/01/2016	5310 Eng'g	WSB Engineer: Reithmeyer Land Use Application		143.00
Total Reithmeyer, Joe & Kim Z15-37 1093					-1,357.00
Rivas Brown Trout Z16-12 13 15311 Putnam					
Payment	04/30/2016	3226	Z16-12 Driveway Escrow 15311 Putnam		-600.00
Invoice	04/30/2016	Z16-13	Z16-13 Minor Subdiv fee 15311 Putnam/2573 Stagecoach	Invoices(Dev Fees):4440 Zoning Fees	250.00
Invoice	04/30/2016	Z16-12	Z16-12 Driveway fee 15311 Putnam/2573 Stagecoach	Invoices(Dev Fees):4440 Zoning Fees	200.00
Payment	04/30/2016	3227	Z16-13 Minor Subdiv fee 15311 Putnam/2573 Stagecoach		-1,500.00
Payment	04/30/2016	3226	Pymt of Z16-12 driveway fee 15311 Putnam/2573 Stagecoach		-200.00
Payment	04/30/2016	3227	Pymt of Z16-13 Minor Subdiv fee 15311 Putnam/2573 Stagecoach		-250.00
Total Rivas Brown Trout Z16-12 13 15311 Putnam					-2,100.00
Riverbank Exchange Z215 13900 Hudson Rd					
Invoice	12/31/2004	Zeller15	SEH Engineering Services Dec04	Invoices(Dev Fees):4341 Engineering Fees	246.00
Invoice	11/30/2008	JensenSep08	Jensen, et al: Legal Expenses Sep08	Invoices(Dev Fees):4342 Legal Fees	864.00
Payment	09/08/2009	109076	Z215 CUP Deposit Commercial Bldg		-600.00
Invoice	09/08/2009	Z215-09	Z215 CUP Fee	Invoices(Dev Fees):4440 Zoning Fees	150.00
Payment	09/08/2009	109076	Pymt of CUP Z215 Fee		-150.00
Total Riverbank Exchange Z215 13900 Hudson Rd					510.00
Ryan, Paula Z17-32 12338 Meadow Bluff					
Payment	10/16/2017	7007	Pool Fence Escrow Ryan, Paula Z17-32 12338 Meadow Bluff		-1,000.00
Invoice	10/16/2017	Z17-32	Fence Permit Ryan, Paula Z17-32 12338 Meadow Bluff	Invoices(Dev Fees):4440 Zoning Fees	60.00
Payment	10/16/2017	7007	Pymt of Fence Permit Ryan, Paula Z17-32 12338 Meadow Bluff		-60.00
Total Ryan, Paula Z17-32 12338 Meadow Bluff					-1,000.00
SavATree Z16-03 xxx Hudson Rd					
Payment	03/21/2016	090418	Z16-03 CUP Escrow		-600.00
Payment	03/21/2016	090418	Z16-03 CUP Fee		-250.00
Invoice	03/21/2016	Z16-03	Z16-03 CUP Fee	Invoices(Dev Fees):4440 Zoning Fees	250.00
General Journal	05/31/2016	5310 Eng'g	WSB Engineer: March 2016		886.00
Total SavATree Z16-03 xxx Hudson Rd					286.00
SavATree Z17-36 5 Oaks 120 Stagecoach					
Payment	12/19/2017	25220	Veg Cutting Escrow SavATree Z17-36 5 Oaks 120 Stagecoach		-200.00

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Total SavATree Z17-36 5 Oaks 120 Stagecoach					-200.00
SavATree Z18-01 10245 Hudson Rd S					
Payment	01/09/2018	25215	Escrow re Sign SavATree Z18-01 10245 Hudson Rd S		-200.00
Invoice	01/09/2018	Z18-01	Sign Permit SavATree Z18-01 10245 Hudson Rd S	Invoices(Dev Fees):4440 Zoning Fees	150.00
Payment	01/09/2018	25215	Pymt of sign permit SavATree Z18-01 10245 Hudson Rd S		-150.00
Total SavATree Z18-01 10245 Hudson Rd S					-200.00
Scheel, Bill 13404 15th St S					
Payment	05/31/2015	1039	Z15-17 Minor Subdivision Escrow		-1,500.00
Invoice	05/31/2015	Z15-17	Z15-17 Minor Subdiv fee	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	05/31/2015	1040	Pymt of Z15-17 minor subdivision fee		-250.00
Total Scheel, Bill 13404 15th St S					-1,500.00
SEV MN1 LLC Z16-25 12351 15th St S					
Payment	07/31/2016	1029	SEV MN1 LLC Z16-25 Rezoning for solar farms 12351 15th St S		-1,500.00
Invoice	07/31/2016	Z16-25	SEV MN1 LLC Z16-25 12351 15th St S	Invoices(Dev Fees):4440 Zoning Fees	350.00
Payment	07/31/2016	1029	Pymt of SEV MN1 LLC Z16-25 12351 15th St S		-350.00
General Journal	09/24/2016	5330 Planning	Northwest Assoc: SEV Z16-25		28.75
Total SEV MN1 LLC Z16-25 12351 15th St S					-1,471.25
Sherco Const Z18-10 12124 22nd S					
Payment	05/21/2018	45799	Driveway Escrow Sherco Const Z18-10 12124 22nd S		-1,500.00
Invoice	05/21/2018	Z18-10	Bldg Insp Fee Sherco Const Z18-10 12124 22nd S	Invoices(Dev Fees):4401 Building Inspection Fee	250.00
Payment	05/21/2018	45799	Pymt of Bldg Insp Fee Sherco Const Z18-10 12124 22nd S		-250.00
Total Sherco Const Z18-10 12124 22nd S					-1,500.00
Sherco Const Z18-11 12070 22nd St					
Payment	05/21/2018	45798	Driveway Escrow Sherco Const Z18-11 12070 22nd S		-1,500.00
Invoice	05/21/2018	Z18-11	Bldg Insp Fee Sherco Const Z18-11 12070 22nd S	Invoices(Dev Fees):4401 Building Inspection Fee	250.00
Payment	05/21/2018	45798	Pymt of Bldg Insp Fee Sherco Const Z18-11 12070 22nd S		-250.00
Total Sherco Const Z18-11 12070 22nd St					-1,500.00
Snelling, Matt Z17-17 15991 Upper 34th St					
Payment	07/10/2017	480	Driveway Escrow Snelling, Matt Z17-17 15991 Upper 34th St		-1,500.00
Invoice	07/10/2017	Z17-17	Driveway Insp Fee Snelling, Matt Z17-17 15991 Upper 34th St	Invoices(Dev Fees):4401 Building Inspection Fee	250.00
Payment	07/10/2017	480	Pymt of Driveway Insp Fee Snelling, Matt Z17-17 15991 Upper 34th St		-250.00
Total Snelling, Matt Z17-17 15991 Upper 34th St					-1,500.00
Teitelbaum, Chaim Z16-09 15511 Aft Hills					
Payment	04/25/2016	1596	Z16-09 Minor Subdivision Escrow 15511 Aft Hills Dr S		-1,500.00
Invoice	04/25/2016	Z16-09	Z16-09 Minor Subdivision fee 15511 Aft Hills Dr S	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	04/25/2016	1596	Pymt of Z16-09 Minor Subdivision fee 15511 Aft Hills Dr S		-250.00
General Journal	04/30/2016	Applicant	Applicant Expense NAC Apr16: Chaim Teitelbaum		280.00
Total Teitelbaum, Chaim Z16-09 15511 Aft Hills					-1,220.00
Thao, David Z15-2012416 Meadow Bluff Tr					
Payment	07/16/2015	212217	Z15-20 Driveway/Erosion Escrow (\$1,500 + Excess \$1,500)		-3,000.00
Invoice	07/16/2015	Z15-20	Z15-20 Driveway/Erosion Bldg Insp Fee	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	07/16/2015	212217	Pymt of Z15-20 Bldg Insp Fee		-250.00
Total Thao, David Z15-2012416 Meadow Bluff Tr					-3,000.00
Three Sister's Springs					
Invoice	07/31/2004	Three01	SEH: Engineering Services	Invoices(Dev Fees):4341 Engineering Fees	364.00
Payment	08/31/2004	1206	Refundable Developer Deposit to cover expenses		-9,500.00
Invoice	08/31/2004	Three02	Park Dedication Fee	Invoices(Dev Fees):4425 Park Dedication Fee	17,906.00
Payment	08/31/2004	1205	Pymt of Park Dedication Fee		-17,906.00
Invoice	08/31/2004	Three03	SEH: engineering services	Invoices(Dev Fees):4341 Engineering Fees	1,726.39
Invoice	09/30/2004	Three04	Hamilton, et al: Legal services	Invoices(Dev Fees):4342 Legal Fees	275.50
Invoice	09/30/2004	Three05	SEH: Engineering services	Invoices(Dev Fees):4341 Engineering Fees	316.12

City of Afton Permit Escrow & Fee Detail As of May 31, 2018

Type	Date	Num	Memo	Class	Amount
Invoice	10/31/2004	Three06	SEH: engineering services	Invoices(Dev Fees):4341 Engineering Fees	1,556.12
Invoice	11/30/2004	Three07	SEH: Engineering services	Invoices(Dev Fees):4341 Engineering Fees	184.50
Invoice	12/31/2004	Three08	SEH: Engineering services	Invoices(Dev Fees):4341 Engineering Fees	30.75
Invoice	04/30/2005	Three09	SEH: Engineer services	Invoices(Dev Fees):4341 Engineering Fees	64.00
Invoice	07/31/2005	Three10	SEH: engineering services	Invoices(Dev Fees):4341 Engineering Fees	166.07
Invoice	11/30/2005	SEH138812	SEH: Engineering Services	Invoices(Dev Fees):4341 Engineering Fees	586.85
Invoice	12/31/2005	SEHNov05	SEH: Site inspection	Invoices(Dev Fees):4341 Engineering Fees	128.00
Invoice	12/31/2005	SEHNov05	SEH: Paving of wear course	Invoices(Dev Fees):4341 Engineering Fees	684.25
Invoice	06/30/2006	SEHMay06	SEH: eng'g update	Invoices(Dev Fees):4341 Engineering Fees	64.00
Invoice	10/31/2006	SEHSep06	SEH: Engineering Sep06	Invoices(Dev Fees):4341 Engineering Fees	211.12
Invoice	11/30/2006	SEHOct06	SEH: Final Inspection Oct06	Invoices(Dev Fees):4341 Engineering Fees	291.35
Invoice	12/31/2006	SEHNov06	SEH: Engineering Nov06	Invoices(Dev Fees):4341 Engineering Fees	128.00
Invoice	02/24/2007	Transfer	Transfer from Three Sisters to Valley Creek Proj/Landsmith	Invoices(Dev Fees):4440 Zoning Fees	2,850.98
Invoice	10/31/2007	SEHSep07	SEH Engineering Sep07	Invoices(Dev Fees):4341 Engineering Fees	33.50
Invoice	11/30/2007	SEHOct07	SEH: Engineering Services Oct07	Invoices(Dev Fees):4341 Engineering Fees	317.89
Invoice	06/30/2008	SEHMay08	SEH: engineering fees	Invoices(Dev Fees):4341 Engineering Fees	142.08
Total Three Sister's Springs					621.47
Vang, Jack SWWD Z15-9 12788 50th St S					
Payment	04/30/2015	4010	CUP Escrow Z15-9 Conservation Projects		-1,700.00
Invoice	04/30/2015	Z15-9	CUP Fee grassed waterway & extended detention	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	04/30/2015	4010	Pymt of CUP Fee		-250.00
Invoice	05/31/2015	WSB450-4	WSB Engineering	Invoices(Dev Fees):4341 Engineering Fees	825.50
Invoice	06/30/2015	WSB450-2	WSB Engineering 450-2	Invoices(Dev Fees):4341 Engineering Fees	58.50
Total Vang, Jack SWWD Z15-9 12788 50th St S					-816.00
VBWD Fetcher Both Up & Down Stream					
Invoice	12/14/2007	Z234	Z234 Grading Permit re. Pond	Invoices(Dev Fees):4440 Zoning Fees	100.00
Payment	12/14/2007	141756	Grading Deposit Z234 1916 Oakgreen (Valley Br WMO)		-1,000.00
Payment	12/14/2007	141756	Pymt of Z234 Grading Permit Fee		-100.00
Invoice	01/31/2008	NACJan08	NAC Planning Fee Jan08	Invoices(Dev Fees):4343 Planning Fees	114.00
Invoice	03/31/2008	NACMar08	NAC Planning: Mar08	Invoices(Dev Fees):4343 Planning Fees	17.10
Invoice	05/16/2008	Z211Fee	Z211 Downstream Zoning Fee	Invoices(Dev Fees):4440 Zoning Fees	150.00
Invoice	05/16/2008	Z210Fee	Z210 Upstream Zoning Fee	Invoices(Dev Fees):4440 Zoning Fees	150.00
Payment	05/16/2008	145285	Pymt of Downstream Z211 zoning fee		-150.00
Payment	05/16/2008	145284	Pymt of upstream Z210 zoning fee		-150.00
Invoice	05/31/2008	SEHApr08	SEH Engineering: Apr08	Invoices(Dev Fees):4341 Engineering Fees	123.00
Invoice	05/31/2008	SEHApr08	SEH Engineering: Apr08	Invoices(Dev Fees):4341 Engineering Fees	123.00
Invoice	05/31/2008	CGIMay08	Community Growth Institute: May08	Invoices(Dev Fees):4343 Planning Fees	311.50
Invoice	06/19/2008	Z217	Z217 Grading Fee	Invoices(Dev Fees):4440 Zoning Fees	100.00
Payment	06/19/2008	145282	Pymt of Z217 Grading Fee		-100.00
Payment	06/19/2008	145282	Z217 Upstream Grading Permit 14020, 14100, 14186		-1,000.00
Payment	06/19/2008	145283	Z218 Downstream Grading Deposit 2398 St Crx Trl		-1,000.00
Invoice	06/19/2008	Z218	Z218 Upstream Grading Fee	Invoices(Dev Fees):4440 Zoning Fees	100.00
Payment	06/19/2008	145283	Pymt of Z218 Upstream Grading Fee		-100.00
Invoice	06/30/2008	CGIJun08	Community Growth Institute: Jun08	Invoices(Dev Fees):4343 Planning Fees	66.75
Invoice	06/30/2008	CGIJun08	Community Growth Institute: Jun08	Invoices(Dev Fees):4343 Planning Fees	1,001.25
Invoice	06/30/2008	SEHMay08	SEH: engineering fees (Upstream)	Invoices(Dev Fees):4341 Engineering Fees	201.00
Invoice	06/30/2008	SEHMay08	SEH: engineering fees (Downstream)	Invoices(Dev Fees):4341 Engineering Fees	201.00
Invoice	07/31/2008	SEHJun08	SEH Engineering: Jun08	Invoices(Dev Fees):4341 Engineering Fees	123.00
Invoice	07/31/2008	SEHJun08	SEH Engineering: Jun08 Upstream	Invoices(Dev Fees):4341 Engineering Fees	201.00
Invoice	07/31/2008	SEHJun08	SEH Engineering: Jun08 Downstream	Invoices(Dev Fees):4341 Engineering Fees	201.00
Invoice	08/31/2008	SEHJul08	SEH Engineering: Jul08	Invoices(Dev Fees):4341 Engineering Fees	275.25
Invoice	08/31/2008	CGIAug08	Community Growth Institute: Aug08	Invoices(Dev Fees):4343 Planning Fees	111.25
Invoice	09/30/2008	SEHAug08	SEH Engineering: Aug08	Invoices(Dev Fees):4341 Engineering Fees	511.71
Invoice	09/30/2008	CGISep08	CGI Planning Exp: Sep08	Invoices(Dev Fees):4343 Planning Fees	445.00
Total VBWD Fetcher Both Up & Down Stream					1,026.81
VBWD Z15-10					
Payment	06/23/2010	162285	Land grading (remove dam & repace w rock rapids)		-1,000.00
Invoice	06/23/2010	Z-015-10	land grading zoning fee	Invoices(Dev Fees):4440 Zoning Fees	100.00
Invoice	06/23/2010	Z-015-10	Z15-10 CUP Fee	Invoices(Dev Fees):4440 Zoning Fees	150.00
Payment	06/23/2010	162285	Pymt of Z15-10 zoning fee		-100.00

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Type	Date	Num	Memo	Class	Amount
Payment	06/23/2010	162284	Pymt of Z15-10 CUP fee		-150.00
Total VBWD Z15-10					-1,000.00
VBWD Z15-18 FOC					
Payment	05/31/2015	2016	Z15-18 Minor Subdivision Escrow		-1,500.00
Invoice	05/31/2015	z15-18	Z15-18 Minor subdivision fee	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	05/31/2015	2016	Pymt of z15-18 minor subdivision fee		-250.00
Invoice	08/31/2015	WSB 450-6	WSB 450-6 Engineering	Invoices(Dev Fees):4341 Engineering Fees	292.50
Total VBWD Z15-18 FOC					-1,207.50
VBWD Z15-22, CWF, FOC Review					
Invoice	06/30/2015	WSB450-5	WSB Engineering 450-5	Invoices(Dev Fees):4341 Engineering Fees	494.00
Payment	07/16/2015	208467	Z15-22 Grading Escrow Neal & Trading Pst Tr		-600.00
Invoice	07/16/2015	Z15-22	Z15-22 CUP Grading re Neal & Trading Pst Tr	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	07/16/2015	208468	Pymt of Z15-22 CUP Fee		-250.00
Invoice	08/31/2015	WSB 450-6	WSB 450-6 Engineering	Invoices(Dev Fees):4341 Engineering Fees	1,001.25
Invoice	09/30/2015	WSB450-7	WSB Engineering 450-7	Invoices(Dev Fees):4341 Engineering Fees	539.00
General Journal	12/01/2016	5310 Eng'g	WSB Engineer Jun16: VBWD Z15-22, CWF, FOC Review		484.00
General Journal	12/01/2016	5310 Eng'g	WSB Engineer Jul16: VBWD Z15-22, CWF, FOC Review		90.75
Total VBWD Z15-22, CWF, FOC Review					2,009.00
Vine Hill Partners/Lucas Woodland Demo					
Payment	12/21/2011	1304	Escrow Demo existing home		-250.00
Invoice	12/21/2011	B138-11	B138-11 Demo Existing Home	Invoices(Dev Fees):4440 Zoning Fees	110.00
Payment	12/21/2011	5371	Pymt of Demo Permit B138-11		-110.00
Total Vine Hill Partners/Lucas Woodland Demo					-250.00
Voxland, Jared 13804 40th S Z13-5					
Payment	04/16/2013	121	Z13-5 Demolition deposit 13804 40th St S		-250.00
Invoice	04/16/2013	Z13-5	Demo Permit \$110 x 3	Invoices(Dev Fees):4440 Zoning Fees	330.00
Payment	04/16/2013	121	Pymt of Demo permit fee \$110 x 3		-330.00
General Journal	11/26/2013	Z005-2013	Reverse after the fact fee (CC forgave): Jared Voxland Demo permit		-220.00
Check	11/27/2013	18868	Reverse after the fact fee (CC forgave): Jared Voxland Demo permit		470.00
Payment	05/20/2014	5028	Z14-16 new foundation for barn		-600.00
Invoice	05/20/2014	Z14-16 barn	Z1Admin permit Z14-16 new foundation for barn	Invoices(Dev Fees):4440 Zoning Fees	150.00
Payment	05/20/2014	5028	Pymt of Admin permit Z14-16 new foundation for barn		-150.00
Total Voxland, Jared 13804 40th S Z13-5					-600.00
Vujovich, Peter Variance 1296 Indian Trl					
Payment	11/30/2002	5177	Initial Deposit		-250.00
Invoice	11/30/2002	Vujovich1	Zoning fee	Invoices(Dev Fees):4440 Zoning Fees	150.00
Payment	11/30/2002	5177	Pymt of zoning fee		-150.00
Invoice	02/29/2004	Vujovich2	NW Assoc Consultant: Planner	Invoices(Dev Fees):4343 Planning Fees	63.60
Invoice	03/31/2004	Vujovich3	NW Assoc Consultants	Invoices(Dev Fees):4343 Planning Fees	346.75
Invoice	04/30/2004	Vujovich4	NW Assoc planning fees	Invoices(Dev Fees):4343 Planning Fees	78.88
Total Vujovich, Peter Variance 1296 Indian Trl					239.23
Walker, Jeffrey Grading/Farm Site					
Payment	05/12/2004	4141	Grading Deposit		-500.00
Invoice	05/12/2004	Walker1	Farm Site Permit Fee	Invoices(Dev Fees):4440 Zoning Fees	150.00
Invoice	05/12/2004	Walker2	SUP Variance Fee	Invoices(Dev Fees):4440 Zoning Fees	150.00
Payment	05/12/2004	4140	Pymt of SUP & Farm Site Fee		-300.00
Invoice	05/31/2004	Walker3	NW Assoc: Planning	Invoices(Dev Fees):4343 Planning Fees	442.85
Invoice	05/31/2004	Walker4	Wash Cty: mailing labels	Invoices(Dev Fees):4344 Misc Dev Fees	53.13
Invoice	05/31/2004	Walker5	NW Assoc: 5/7/04 Meeting re. lawsuit	Invoices(Dev Fees):4343 Planning Fees	32.40
Invoice	06/30/2004	Walker6	SEH: engineering services	Invoices(Dev Fees):4341 Engineering Fees	1,000.12
Invoice	06/30/2004	Walker7	Hamilton et al: legal fees	Invoices(Dev Fees):4342 Legal Fees	2,246.00
Invoice	07/31/2004	Walker8	Hamilton, et al: legal fees	Invoices(Dev Fees):4342 Legal Fees	1,015.00
Invoice	07/31/2004	Walker9	SEH: engineering services	Invoices(Dev Fees):4341 Engineering Fees	439.87
Invoice	07/31/2004	Walker10	Lenny Jenks: Walker transcript	Invoices(Dev Fees):4344 Misc Dev Fees	125.00
Invoice	08/31/2004	Walker11	SEH: engineering services	Invoices(Dev Fees):4341 Engineering Fees	195.37

City of Afton
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 As of May 31, 2018

Type	Date	Num	Memo	Class	Amount
Invoice	09/30/2004	Walker12	Hamilton, et al: Legal services	Invoices(Dev Fees):4342 Legal Fees	435.00
Invoice	09/30/2004	Walker13	SEH: Engineering services	Invoices(Dev Fees):4341 Engineering Fees	61.50
Invoice	11/30/2004	Walker14	Hamilton, et al: Legal services	Invoices(Dev Fees):4342 Legal Fees	29.00
Invoice	12/31/2004	Walker15	Hamilton, Quigley et al: legal services	Invoices(Dev Fees):4342 Legal Fees	101.50
Invoice	02/28/2006	SEHJan06	SEH engineering services Jan06	Invoices(Dev Fees):4341 Engineering Fees	128.00
Invoice	05/31/2008	SEHApr08	SEH Engineering: Apr08	Invoices(Dev Fees):4341 Engineering Fees	67.00
General Journal	01/31/2012	Escrow W/O	Write off outstanding balance per CC 1/17/12: 6+ Years Past Due		-2,074.24
Total Walker, Jeffrey Grading/Farm Site					3,797.50
Wamstad Miller Est Z17-34 12200 22nd					
Payment	10/31/2017	2236	Minor Subdiv Escrow Miller, Bernise Estate Z17-34 12200 22nd		-1,500.00
Invoice	10/31/2017	Z17-34	Minor Subdiv Fee Miller, Bernise Estate Z17-34 12200 22nd	Invoices(Dev Fees):4440 Minor Subdivision	250.00
Payment	10/31/2017	2236	Pymt of Minor Subdiv Fee Miller, Bernise Estate Z17-34 12200 22nd		-250.00
General Journal	03/01/2018	5310 Eng'g	WSB Engineer 2017 Oct #10: Wamstad 17-34		163.75
General Journal	03/01/2018	Applicant	Applicant Expense Wash Cty Recorder:" Wamstad 17-34		46.00
Check	03/29/2018	22483	Refund Z17-34 Escrow less Exp		1,290.25
Total Wamstad Miller Est Z17-34 12200 22nd					0.00
Wash Cty Pub Safety Tower Z209,213					
Invoice	11/30/2007	NACNov07	NAC: Planner Services Nov07	Invoices(Dev Fees):4343 Planning Fees	161.20
Invoice	11/30/2007	NACOct07	NAC: Planner Services Oct07	Invoices(Dev Fees):4343 Planning Fees	119.60
Invoice	12/31/2007	NACDec07	NAC Planning Dec07	Invoices(Dev Fees):4343 Planning Fees	292.64
Invoice	12/31/2007	JensenDec07	Jensen: Legal Dec07	Invoices(Dev Fees):4342 Legal Fees	171.00
Payment	04/21/2008	244177	Deposit Pub Safety Radio Tower Z209		-8,000.00
Invoice	04/21/2008	Z209	Z209 Design Review Fee	Invoices(Dev Fees):4440 Zoning Fees	150.00
Payment	04/21/2008	244177	Pymt of Design Review Fee Z209		-150.00
Invoice	04/30/2008	NACApr08	NAC: Planning Exp Apr08	Invoices(Dev Fees):4343 Planning Fees	22.80
Invoice	04/30/2008	NACApr08	NAC: Planning Exp Apr08	Invoices(Dev Fees):4343 Planning Fees	119.70
Payment	05/16/2008	246176	Z213 Setback Variance Deposit		-600.00
Invoice	05/16/2008	Z213Fee	Z213 Setback Variance Fee	Invoices(Dev Fees):4440 Zoning Fees	150.00
Payment	05/16/2008	246176	Pymt of Z213 Setback Variance Fee		-150.00
Invoice	05/31/2008	CGIMay08	Community Growth Institute: May08	Invoices(Dev Fees):4343 Planning Fees	2,493.25
General Journal	06/30/2008	Z213WashCty	Reverse Variance Fee Z213 Stealth Tower: No Setback Variance Needed		-150.00
Check	06/30/2008	13833	Refund Wash Cty Pub Safety Tower Variance Fee and Deposit Z213		750.00
Invoice	06/30/2008	CGIJun08	Community Growth Institute: Jun08	Invoices(Dev Fees):4343 Planning Fees	155.75
Invoice	06/30/2008	CGIJun08	Community Growth Institute: Jun08	Invoices(Dev Fees):4343 Planning Fees	89.00
Invoice	07/31/2008	CGIJul08	Community Growth: Planner Jul08	Invoices(Dev Fees):4343 Planning Fees	66.75
Invoice	08/31/2008	CGIAug08	Community Growth Institute: Aug08	Invoices(Dev Fees):4343 Planning Fees	133.50
Invoice	09/30/2008	CGISep08	CGI Planning Exp: Sep08	Invoices(Dev Fees):4343 Planning Fees	178.00
Invoice	10/31/2008	JensenJun08	Jensen, Bell: Legal Expenses	Invoices(Dev Fees):4342 Legal Fees	234.00
Invoice	11/30/2008	JensenSep08	Jensen, et al: Legal Expenses Sep08	Invoices(Dev Fees):4342 Legal Fees	666.00
Invoice	11/30/2008	CGIOct08	Community Growth: Planner Exp Oct08	Invoices(Dev Fees):4343 Planning Fees	356.00
Invoice	12/31/2008	CGINov08	Community Growth Institute: 1584 Nov08	Invoices(Dev Fees):4343 Planning Fees	311.50
Invoice	12/31/2008	CGINov08	Community Growth Institute: 1584 Nov08	Invoices(Dev Fees):4343 Planning Fees	66.75
Invoice	12/31/2008	CGIDec08	Community Growth Institute: 1609 Dec08	Invoices(Dev Fees):4343 Planning Fees	44.50
Invoice	01/31/2009	CGIJan09	Community Growth Institute: Jan09	Invoices(Dev Fees):4343 Planning Fees	287.25
Invoice	03/31/2009	CGIMar09	Community Growth: Mar09 Planning Fees	Invoices(Dev Fees):4343 Planning Fees	23.00
Invoice	04/30/2009	CGIApr09	CGI Planning Services: Apr09	Invoices(Dev Fees):4343 Planning Fees	92.00
Check	12/22/2010	16216	Partial Refund Wash Cty Pub Safety Tower Z209 CUP		1,415.81
Total Wash Cty Pub Safety Tower Z209,213					-500.00
Weber, Scott 1267 Stagecoach Z14-8					
Payment	04/09/2014	2538	Minor Subdivision Z14-8		-1,500.00
Invoice	04/09/2014	Minor Subd	Minor Subdivision Fee Z14-8	Invoices(Dev Fees):4440 Minor Subdivision	250.00
Payment	04/09/2014	2538	Pymt of minor subdiv fee		-250.00
Total Weber, Scott 1267 Stagecoach Z14-8					-1,500.00
Weissner Z15-29 Plan Review					
General Journal	10/31/2015	Applicant	WSB Engineering 450-8 Aug15 Weissner Z15-29		386.75
Total Weissner Z15-29 Plan Review					386.75
White, Kerry & Judy Z17-03 1132 Ind Trl S					

City of Afton
Permit Escrow & Fee Detail
As of May 31, 2018

Type	Date	Num	Memo	Class	Amount
Payment	03/31/2017	13156	Grading Escrow White, Kerry & Judy Z17-03 1132 Ind Trl S		-1,000.00
Invoice	03/31/2017	Z17-03	Grading Fee White, Kerry & Judy Z17-03 1132 Ind Trl S	Invoices(Dev Fees):4440 Zoning Fees	100.00
Payment	03/31/2017	13156	Pymt of grading fee White, Kerry & Judy Z17-03 1132 Ind Trl S		-100.00
General Journal	04/30/2017	5310 Eng'g	WSB Engineer Mar17 White, Kerry & Judy Z17-03 1132 Ind Trl S		584.50
General Journal	07/31/2017	5310 Eng'g	WSB Engineer May17 #5: White, Kerry & Judy Z17-03		76.00
Total White, Kerry & Judy Z17-03 1132 Ind Trl S					-339.50
Wilcox, Jesse & Jenny Z15-31 Variance					
Payment	09/23/2015	12952	Z15-31 Variance Escrow 14725 Aft Blvd S		-600.00
Invoice	09/23/2015	Variance Z1	Z15-31 Variance 14725 Aft Blvd S	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	09/23/2015	12952	Pymt of Z15-31 Variance 14725 Aft Blvd S		-250.00
Total Wilcox, Jesse & Jenny Z15-31 Variance					-600.00
Z16-38 13506 Valley Crk Trl					
Payment	12/27/2016	217447	Escrow Z16-38 13506 Valley Crk Trl		-600.00
Invoice	12/27/2016	Z16-38	CUP Fee Z16-38 13506 Valley Crk Trl	Invoices(Dev Fees):4440 Zoning Fees	250.00
Payment	12/27/2016	217447	Pymt of CUP Fee Z16-38 13506 Valley Crk Trl		-250.00
Total Z16-38 13506 Valley Crk Trl					-600.00
TOTAL					-30,158.81

City of Afton
Building Inspection Fees by Account - Detail Afton
 January through May 2018

Date	Num	Valuation/Memo	Class	Class	Amount
Jan 18					
01/09/2018	B17-223	na	hvac	Afton Bldg Insp Fees:Housker, Jed 4354 Trading Pst T	109.00
01/09/2018	B17-227	\$52,000	hvac	Afton Bldg Insp Fees:Marcus, Julie 4270 River Rd S	825.00
01/09/2018	B17-226	na	hvac	Afton Bldg Insp Fees:Bohacek, Peter 14675 Afton Blvd	109.00
01/09/2018	B17-224	na	hvac	Afton Bldg Insp Fees:Crowley, Pat 13955 Tomahawk Ln	109.00
01/09/2018	B17-225	na	hvac	Afton Bldg Insp Fees:Johnson, Mark 14830 42nd St	54.00
01/09/2018	B18-01	\$17,000	remodel	Afton Bldg Insp Fees:Thrall, Jay 4293 Trading Pst Tr	280.50
01/09/2018	B18-02	na	remodel hvac	Afton Bldg Insp Fees:McLaurin, Mary 4270 River Rd	109.00
01/18/2018	B18-03	na	reroof	Afton Bldg Insp Fees:Afton Marina & Yacht Club	109.00
01/31/2018	B18-10	na	reroof	Afton Bldg Insp Fees:Clancy, Anne 3 Coulee Ridge Rd	109.00
01/31/2018	B18-09	\$61,750	remodel	Afton Bldg Insp Fees:Erling, Frank & Julie 4210 Past	1,023.00
01/31/2018	B18-08	\$21,000	remodel	Afton Bldg Insp Fees:Peterson, Steve 15497 Aft Blvd	346.50
01/31/2018	B18-04	\$26,000	garage repair and replace	Afton Bldg Insp Fees:Perkins, Annie 4042 River Rd S	429.00
01/31/2018	B18-07	\$16,300	hvac new	Afton Bldg Insp Fees:Dunn, Lisa & Curtis 14320 30th	280.50
01/31/2018	B18-05	na	hvac	Afton Bldg Insp Fees:Madden, Tonny 15396 Aft Hills C	109.00
01/31/2018	B18-06	na	hvac	Afton Bldg Insp Fees:Weatherby, Carolle 13823 Tomaha	54.00
Jan 18					4,055.50
Feb 18					
02/26/2018	B18-14	\$100,000	Remodel	Afton Bldg Insp Fees:Belz, Rob 14023 50th St S	2,475.00
02/26/2018	B18-15	na	Doors	Afton Bldg Insp Fees:Wade, James & Marj 13506 Vly Cr	109.00
02/26/2018	B18-19	\$80,000	addition/remodel	Afton Bldg Insp Fees:Floeder, Mary 1172 Indian Trl	1,320.00
02/26/2018	B18-16	na	mech	Afton Bldg Insp Fees:Power, Tim & Bonnie 5199 Neal A	109.00
02/26/2018	B18-17	na	mech	Afton Bldg Insp Fees:Rivas, Tim 15901 Putnam Blvd	109.00
02/26/2018	B18-18	na	mech	Afton Bldg Insp Fees:Haukland, Roger 5333 Manning Av	109.00
02/26/2018	B18-11	na	mech	Afton Bldg Insp Fees:Ispiri 4210 Pasture Ridge Rd	54.23
02/26/2018	B18-13	na	mech	Afton Bldg Insp Fees:Niswanger 2770 Trading Pst Trl	109.00
02/26/2018	B18-12	na	mech	Afton Bldg Insp Fees:City of Afton 3165 St Croix Trl	109.00
Feb 18					4,503.23
Mar 18					
03/12/2018	B18-22	\$18,000	Remodel	Afton Bldg Insp Fees:Meyers, Jeffrey 4969 Neal Av S	412.50
03/12/2018	B18-21	na	mech	Afton Bldg Insp Fees:Johnson, Michael 771 Indian Trl	109.00
03/12/2018	B18-23	na	mech	Afton Bldg Insp Fees:Cardinal Remodeling 14023 50th	109.00
03/12/2018	B18-20	na	mech	Afton Bldg Insp Fees:Knight Const Design 2770 Tradin	109.00
03/27/2018	B18-24	\$18,000	mech new home	Afton Bldg Insp Fees:Johnson, Michael 771 Indian Trl	297.00
03/31/2018	B18-25	na	plumbing	Afton Bldg Insp Fees:Belz, Rob 14023 50th St S	109.00
03/31/2018	B18-27	\$22,000	plumbing	Afton Bldg Insp Fees:Lauman, Mike 771 Indian Trl S	363.00
03/31/2018	B18-29	\$36,000	pole barn	Afton Bldg Insp Fees:Geller, Greg 1027 Indian Trl Pa	594.00
03/31/2018	B18-28	na	windows	Afton Bldg Insp Fees:Meyers, Jeffrey 4969 Neal Av S	109.00
03/31/2018	B18-30	\$805,000	New SFD	Afton Bldg Insp Fees:Lenander, Duane & Jennifer 1246	13,282.50
03/31/2018	B18-31	\$19,850	Remodel	Afton Bldg Insp Fees:Graham, Randy 5912 Trading Post	330.00
03/31/2018	B18-32	na	mech	Afton Bldg Insp Fees:Craft, Jason 1037 Indian Trl Pa	109.00
03/31/2018	B18-33	na	plumbing	Afton Bldg Insp Fees:Peterson, Steve 15497 Aft Blvd	109.00
03/31/2018	B18-35	na	plumbing	Afton Bldg Insp Fees:Tschida, Mary 5252 Trading Post	54.00
03/31/2018	B18-34	na	reroof	Afton Bldg Insp Fees:Flinch, Jim 3346 Trading Pst Tr	109.00

City of Afton
Building Inspection Fees by Account - Detail Afton
 January through May 2018

Date	Num	Valuation/Memo	Class	Class	Amount
Mar 18					16,205.00
Apr 18					
04/30/2018	B18-40	na	hvac	Afton Bldg Insp Fees:Petterson, Kristin 3988 River R	109.00
04/30/2018	B18-39	na	door	Afton Bldg Insp Fees:McDowell, Erin 15601 36th St S	109.00
04/30/2018	B18-37	na	window, doors	Afton Bldg Insp Fees:Staples, Thomas 14040 30th St S	109.00
04/30/2018	B18-36	na	van, hood	Afton Bldg Insp Fees:Meyers, Jeffrey 4969 Neal Av S	109.00
Apr 18					436.00
May 18					
05/21/2018	B18-59	na	reroof	Afton Bldg Insp Fees:Anderson, Curtis 1164 Neal Av S	109.00
05/21/2018	B18-46	\$166,000	BJ Transport, Trucking Dist Ct	Afton Bldg Insp Fees:Turcotte Lmt Part 12720 Hudson	2,739.00
05/21/2018	B18-38	\$18,668	Solar	Afton Bldg Insp Fees:Larson, Roger 15882 35th St S	313.50
05/21/2018	B18-57	na	windows	Afton Bldg Insp Fees:Jordan, Jim 15120 42nd St	109.00
05/21/2018	B18-54	na	reroof	Afton Bldg Insp Fees:Strub, Bill 12916 15th St S	109.00
05/21/2018	B18-58	na	windows	Afton Bldg Insp Fees:Meacock, Richard 3390 St Croix	109.00
05/21/2018	B18-50	\$631,500	New SFD	Afton Bldg Insp Fees:Sherco Const 12124 22nd St	10,560.00
05/21/2018	B18-51	\$600,000	New SFD	Afton Bldg Insp Fees:Sherco 12070 22nd St S	10,230.00
05/21/2018	B18-52	na	reroof	Afton Bldg Insp Fees:Martinson, Al 13910 Tomahawk Ln	109.00
05/21/2018	B18-45	na	reroof	Afton Bldg Insp Fees:Doerr, Beth 14720 42th St S	109.00
05/21/2018	B18-48	na	reroof	Afton Bldg Insp Fees:Hagstrom, Jim 3637 Trading Post	109.00
05/21/2018	B18-43	na	windows	Afton Bldg Insp Fees:Peterson, Liz 220 Indian Trl	109.00
05/21/2018	B18-41	\$36,000	storage bldg	Afton Bldg Insp Fees:Gillman, Kathleen 3396 Neal Av	594.00
05/21/2018	B18-60	na	mech	Afton Bldg Insp Fees:Kardia, Wendy 5323 St Croix Trl	109.00
05/21/2018	B18-53	na	hvac	Afton Bldg Insp Fees:Rundall, Jim 16199 50th St S	109.00
05/21/2018	B18-56	na	mech	Afton Bldg Insp Fees:Weatherby, Carolle 13823 Tomaha	54.00
05/21/2018	B18-47	na	mech	Afton Bldg Insp Fees:Reidt, Eric 5290 O'Dell Av S	54.00
05/21/2018	B18-44	na	mech	Afton Bldg Insp Fees:Carpenter, Amy 583 Neal Av S	109.00
05/21/2018	B18-55	na	mech	Afton Bldg Insp Fees:Maxey, Robert 1050 Neal Av	50.00
05/21/2018	B18-42	na	plumbing	Afton Bldg Insp Fees:Graham, Randy 5912 Trading Post	109.00
05/31/2018	B18-49	\$32,000	remodel	Afton Bldg Insp Fees:Ryan, Paula 12338 Meadow Bluff	528.00
05/31/2018	B18-61	\$19,409	solar	Afton Bldg Insp Fees:Schultz, John 4334 Penfield Av	330.00
05/31/2018	B18-64	na	Bldg	Afton Bldg Insp Fees:Sheridan, Troy 4456 Trading Pst	109.00
05/31/2018	B18-65	\$100,000	remodel	Afton Bldg Insp Fees:Fleming, Mark & Kim 2755 Neal A	1,650.00
05/31/2018	B18-67	na	reroof	Afton Bldg Insp Fees:Zeidel, Julie & Bob 3055 St Crx	109.00
05/31/2018	B18-68	\$15,338	deck	Afton Bldg Insp Fees:Johnson, Ken 3752 River Rd S	217.50
05/31/2018	B18-70	na	windows	Afton Bldg Insp Fees:Kronsteadt, M&N 343 Croixview D	109.00
05/31/2018	B18-71	na	reroof	Afton Bldg Insp Fees:Seftick, Dan 12903 3rd St	109.00
05/31/2018	B18-73	\$8,000	bldg	Afton Bldg Insp Fees:Wade, James & Marj 13506 Vly Cr	132.00
05/31/2018	B18-76	\$50,000	bldg	Afton Bldg Insp Fees:Evans, Jo 376 Neal Av A	330.00
05/31/2018	B18-74	na	bldg	Afton Bldg Insp Fees:Lenander, Duane & Jennifer 1246	109.00
05/31/2018	B18-77	na	mech	Afton Bldg Insp Fees:Amaral, Jim 5380 O'Dell Av	54.00
05/31/2018	B18-63	na	mech	Afton Bldg Insp Fees:Knight Const Design 2770 Tradin	109.00
05/31/2018	B18-79	\$20,000	mech	Afton Bldg Insp Fees:Lenander, Duane & Jennifer 1246	330.00
05/31/2018	B18-72	\$18,000	plumb	Afton Bldg Insp Fees:Sherco Const 12124 22nd St	297.00
05/31/2018	B18-75	\$25,000	plumb	Afton Bldg Insp Fees:Lenander, Duane & Jennifer 1246	412.50
05/31/2018	B18-66	na	plumb	Afton Bldg Insp Fees:Madden, Tonny 15396 Aft Hills C	54.00

06/13/18

City of Afton
Building Inspection Fees by Account - Detail Afton
January through May 2018

<u>Date</u>	<u>Num</u>	<u>Valuation/Memo</u>	<u>Class</u>	<u>Class</u>	<u>Amount</u>
05/31/2018	B18-69	na	city sanitary hook up plumb	Afton Bldg Insp Fees:Johnson, Ken 3752 River Rd S	109.00
05/31/2018	B18-78	na	city sanitary hook up plumb	Afton Bldg Insp Fees:Larson, Roger 15882 35th St S	109.00
May 18					31,109.50
TOTAL					56,309.23

City of Afton
200 Park Reserve Fund Stmt of Rev & Exp - Detail
 January through May 2018

Type	Date	Num	Source Name	Memo	Amount
200 Park Reserve Fd					
A. Rev					
4425 Park Dedication Fees					
Deposit	03/31/2018	2160		Charles and Danielle Wamstad: Park Dedication Fee	10,000.00
Total 4425 Park Dedication Fees					10,000.00
4426 Afton Donation Program - Parks					
Deposit	04/30/2018	10075		Sandi Alexander-Whalen Picnic Table at Beach	1,200.00
Total 4426 Afton Donation Program - Parks					1,200.00
4903 Interest Income - 4M Fund					
General Journal	01/31/2018	interest		Interest Income	68.63
General Journal	02/28/2018	interest		Interest Income	65.35
General Journal	03/31/2018	interest		Interest Income	76.98
General Journal	04/30/2018	interest		Interest Income	69.58
General Journal	05/31/2018	interest		Interest Income	87.51
Total 4903 Interest Income - 4M Fund					368.05
Total A. Rev					11,568.05
B. Exp					
6115 Pub Wks - Park & Open Space					
Bill	01/31/2018	306x01087608	Culligan of Stillwater	Town Square Park restroom	(125.85)
Bill	02/28/2018	1102308	Culligan of Stillwater	Town Square Park restroom	(62.85)
Bill	03/29/2018	101265	Ed's Trophies Inc.	Sign: In loving memory of Blackie and Amy Hancock	(180.85)
Bill	04/30/2018	01119500	Culligan of Stillwater	Town Square Park restroom April 2018	(62.85)
Bill	05/16/2018	Septic Permit Park	Wash Cty (Public Health)	Permit to abandon septic system at Town Square Park	(122.00)
Bill	05/31/2018	19731	St Croix Recreation Fun Playgrounds Inc.	8 ft ADA table	(902.92)
Bill	05/31/2018	351 / 06062018	Tri-County Services (Streets, Other)	bathroom removal, City Park	(2,800.00)
Bill	05/31/2018	306x01152006	Culligan of Stillwater	Town Square Park restroom	(59.71)
Total 6115 Pub Wks - Park & Open Space					(4,317.03)
Total B. Exp					(4,317.03)
Total 200 Park Reserve Fd					7,251.02
TOTAL					7,251.02

**City of Afton
725 Road Debt Service Fund - Detail**

January through May 2018

Type	Date	Num	Source Name	Memo	Debit	Credit	Balance
4916 · Interest Inc - Road Debt Serv							
General Journal	01/31/2018	interest		Interest Income		49.57	49.57
General Journal	02/28/2018	interest		Interest Income		47.15	96.72
General Journal	03/31/2018	interest		Interest Income		169.21	265.93
General Journal	04/30/2018	interest		Interest Income		661.46	927.39
General Journal	05/31/2018	interest		Interest Income		734.87	1,662.26
Total 4916 · Interest Inc - Road Debt Serv					0.00	1,662.26	1,662.26
7735 · 2014A Refunding Bds Int Exp							
Bill	01/16/2018	2014A 2/1/18 P...	US Bank (2014A Road Bd Pymts)	GO Tax Abatement 2014A: Interest due 2/1/18	45,975.00		(45,975.00)
Total 7735 · 2014A Refunding Bds Int Exp					45,975.00	0.00	(45,975.00)
7736 · 2014A Refunding Bds Admin Exp							
Bill	01/31/2018	Admin 2014A	US Bank (Admin Fee) 2014A	2018 Admin Fee: GO Tax Abatement 2014A	450.00		(450.00)
Bill	02/28/2018	18-009	Springsted Incorporated	project no. 001129.105	716.00		(1,166.00)
Total 7736 · 2014A Refunding Bds Admin Exp					1,166.00	0.00	(1,166.00)
7741 · 2017B \$3.5MM Road Bd Issue Exp							
Bill	02/28/2018	18-009	Springsted Incorporated	project no. 001129.105	718.00		(718.00)
Total 7741 · 2017B \$3.5MM Road Bd Issue Exp					718.00	0.00	(718.00)
7742 · 2017B Int Exp \$3.5MM Road Bond							
Bill	01/16/2018	2017B 2/1/18 P...	US Bank (2017B Road Bd Pymt)	GO Tax Abatement 2017B: Interest due 2/1/18	51,847.44		(51,847.44)
Total 7742 · 2017B Int Exp \$3.5MM Road Bond					51,847.44	0.00	(51,847.44)
7747 · 2017B \$3.5MM Road Bd Admin Exp							
Bill	05/31/2018	4979478	US Bank (Admin Fee) 2017B	3.5MM Road GO Tax Abatement Bonds 2017B Admin Fee 5/1/18 to 4/30/19	500.00		(500.00)
Total 7747 · 2017B \$3.5MM Road Bd Admin Exp					500.00	0.00	(500.00)
6921 · Trf to Street Imp fr General							
General Journal	05/31/2018	2017StrtImp		Trf fr Road Debt Service re. 2017 Street Pavement Project	316,211.72		(316,211.72)
Total 6921 · Trf to Street Imp fr General					316,211.72	0.00	(316,211.72)
TOTAL					416,418.16	1,662.26	(414,755.90)

City of Afton
City Infra-Structure Improvement Projects - LTD Summary
 April 2011 through May 2018

	Apr - Dec 11	Jan - Dec 12	Jan - Dec 13	Jan - Dec 14	Jan - Dec 15	Jan - Dec 16	Jan - Dec 17	Jan - May 18	TOTAL
120 Street Imp Capital Fd									
B. Exp									
7981 Village Local Rd Imp	0.00	0.00	(6,079.50)	(89,427.00)	(250,098.57)	(86,205.18)	(29,240.07)	0.00	(461,050.32)
7982 CR21 Imp Proj	0.00	0.00	(2,827.50)	(23,269.25)	(23,382.75)	(3,527.00)	(1,190.93)	0.00	(54,197.43)
Total B. Exp	0.00	0.00	(8,907.00)	(112,696.25)	(273,481.32)	(89,732.18)	(30,431.00)	0.00	(515,247.75)
Total 120 Street Imp Capital Fd	0.00	0.00	(8,907.00)	(112,696.25)	(273,481.32)	(89,732.18)	(30,431.00)	0.00	(515,247.75)
800 City InfraStructure Imp Fd									
A. Rev									
4849 DNR BWSR Grant	0.00	0.00	129,850.00	0.00	0.00	0.00	0.00	84,710.07	214,560.07
4850 Park Reserve Trf re. Dwtwn Imp	0.00	0.00	100,000.00	0.00	0.00	0.00	0.00	0.00	100,000.00
4851 VBWD Easement	0.00	0.00	0.00	0.00	5,800.00	0.00	0.00	0.00	5,800.00
4852 VBWD Grant \$50M/Yr 10 Yrs	0.00	0.00	0.00	0.00	0.00	50,000.00	50,000.00	0.00	100,000.00
4853 County Share Dwtwn/Septic Proj	0.00	0.00	0.00	0.00	0.00	0.00	4,092,588.89	0.00	4,092,588.89
4861 CWRF G 054	0.00	0.00	0.00	0.00	0.00	0.00	349,938.00	0.00	349,938.00
4862 CWRF L 054	0.00	0.00	0.00	0.00	0.00	0.00	656,371.52	135,763.46	792,134.98
4863 CWRF G 055	0.00	0.00	0.00	0.00	0.00	0.00	398,320.00	0.00	398,320.00
4864 CWRF L 055	0.00	0.00	0.00	0.00	0.00	0.00	1,001,173.03	23,291.82	1,024,464.85
4865 PSIG G 056	0.00	0.00	0.00	0.00	0.00	0.00	4,382,993.48	470,003.66	4,852,997.14
4871 Rental Inc - Flood Levee Prop	0.00	850.00	1,700.00	0.00	0.00	0.00	0.00	0.00	2,550.00
4894 MnDNR Grant - Other	0.00	9,247.38	10,024.53	0.00	35,137.00	0.00	1,611,106.29	499.81	1,666,015.01
4895 MnDNR Grant - Land Purchase	0.00	351,673.70	616,669.52	0.00	0.00	0.00	0.00	0.00	968,343.22
4896 Flood Levy Imp Proj - Tax Levy	0.00	95,000.00	95,000.00	95,000.00	95,000.00	95,000.00	95,000.00	0.00	570,000.00
4917 Interest Income	0.00	2.04	2.55	3.26	395.48	4,602.22	3,305.81	1,001.17	9,312.53
Total A. Rev	0.00	456,773.12	953,246.60	95,003.26	136,332.48	149,602.22	12,640,797.02	715,269.99	15,147,024.69
B. Exp									
8870 Dwtwn Imp - Special Assess Exp	0.00	0.00	0.00	0.00	0.00	0.00	(105,179.00)	(34,635.60)	(139,814.60)
8871 Wetland Credits	0.00	0.00	0.00	0.00	0.00	0.00	(51,747.88)	0.00	(51,747.88)
8891 Dwtwn Prop Purch/Exp	0.00	(372,221.16)	(780,944.33)	(933.95)	(2,481.58)	(1,726.95)	(540.66)	(112.55)	(1,158,961.18)
8892 Dwtwn Imp - Easemnts & Damages	0.00	0.00	0.00	(11,700.00)	(633,200.00)	(9,200.00)	(33,120.68)	0.00	(687,220.68)
8894 Septic Permits, Fees, Admin	0.00	0.00	0.00	(10,558.00)	(42,355.31)	(85,086.73)	(116,238.58)	(1,689.00)	(255,927.62)
8895 DNR Flood Imp Proj - Engineer	(6,673.00)	(54,384.11)	(29,242.00)	(157,437.85)	(198,277.10)	(67,890.74)	(14,066.00)	0.00	(527,970.80)
8896 Sanitary Sewer Imp	0.00	(395.00)	(87,311.07)	(293,780.46)	(194,199.55)	(152,850.73)	(73,817.14)	(703.34)	(803,057.29)
8897 Septic Construction Eng'g	0.00	0.00	0.00	(540.77)	(9,048.00)	(8,545.49)	(151,858.16)	(3,896.80)	(173,889.22)
8898 Flood Mitigation/ROW Serv	0.00	(9,754.75)	(4,480.00)	(19,787.25)	(87,667.80)	(18,935.00)	(14,085.50)	0.00	(154,710.30)
8899 Village Improvements	0.00	0.00	(33,513.00)	(28,452.75)	0.00	(22,669.68)	(1,305,268.17)	(231,204.65)	(1,621,108.25)
8901 Septic Construction	0.00	0.00	0.00	0.00	0.00	0.00	(11,541,511.10)	(549,083.75)	(12,090,594.85)
Total B. Exp	(6,673.00)	(436,755.02)	(935,490.40)	(523,191.03)	(1,167,229.34)	(366,905.32)	(13,407,432.87)	(821,325.69)	(17,665,002.67)
Total 800 City InfraStructure Imp Fd	(6,673.00)	20,018.10	17,756.20	(428,187.77)	(1,030,896.86)	(217,303.10)	(766,635.85)	(106,055.70)	(2,517,977.98)
805 Downtown Imp Debt Service									
4879 Dwtwn Spec Assessments	0.00	0.00	0.00	0.00	0.00	0.00	102,054.25	49,786.64	151,840.89
4897 Levy PFA Loan Interest	0.00	0.00	0.00	0.00	8,000.00	0.00	0.00	0.00	8,000.00
4898 Levy Dwtwn Imp Tmp Imp Bd	0.00	0.00	0.00	0.00	0.00	28,000.00	28,000.00	0.00	56,000.00
4899 Levy Dwtwn Imp Bond	0.00	0.00	0.00	0.00	0.00	70,000.00	70,000.00	0.00	140,000.00
7737 Int Exp 2015A Dwtwn Tmp Imp Bd	0.00	0.00	0.00	0.00	(19,948.45)	(28,162.50)	(7,040.61)	0.00	(55,151.56)
7738 2015A Dwtwn Tmp Imp Bond Issue Exp	0.00	0.00	0.00	0.00	(53,263.75)	(1,608.00)	(55.00)	0.00	(55,446.75)
7739 Int Exp 2017A Dwtwn Tmp Imp Bd	0.00	0.00	0.00	0.00	0.00	0.00	(16,027.00)	(15,345.00)	(31,372.00)
7740 2017A Dwtwn Tmp Imp Bond Issue Exp	0.00	0.00	0.00	0.00	0.00	0.00	(31,219.80)	(1,616.00)	(32,835.80)
7743 2017 Storm Wtr PFA Issue Exp	0.00	0.00	0.00	0.00	0.00	0.00	(8,000.00)	0.00	(8,000.00)
7744 2017 Storm Wtr PFA Interest Exp	0.00	0.00	0.00	0.00	0.00	0.00	0.00	(2,792.22)	(2,792.22)

City of Afton
City Infra-Structure Improvement Projects - LTD Summary
April 2011 through May 2018

	<u>Apr - Dec 11</u>	<u>Jan - Dec 12</u>	<u>Jan - Dec 13</u>	<u>Jan - Dec 14</u>	<u>Jan - Dec 15</u>	<u>Jan - Dec 16</u>	<u>Jan - Dec 17</u>	<u>Jan - May 18</u>	<u>TOTAL</u>
7745 2017 Sanitary Sewer PFA Issue Exp	0.00	0.00	0.00	0.00	0.00	0.00	(8,060.93)	0.00	(8,060.93)
7746 2017 Sanitary Sewer PFA Int Exp	0.00	0.00	0.00	0.00	0.00	0.00	0.00	(6,205.64)	(6,205.64)
7748 Dwtwn Debt Serv/Assessmnt Exp	0.00	0.00	0.00	0.00	0.00	0.00	0.00	(269.00)	(269.00)
Total 805 Downtown Imp Debt Service	0.00	0.00	0.00	0.00	(65,212.20)	68,229.50	129,130.91	23,558.78	155,706.99
TOTAL	<u>(6,673.00)</u>	<u>20,018.10</u>	<u>8,849.20</u>	<u>(540,884.02)</u>	<u>(1,369,590.38)</u>	<u>(238,805.78)</u>	<u>(667,935.94)</u>	<u>(82,496.92)</u>	<u>(2,877,518.74)</u>

City of Afton
City Infra-Structure Imp Projects - Detail by Account
 January through May 2018

Type	Date	Num	Source Name	Memo	Debit	Credit	Balance
4849 · DNR BWSR Grant							
Deposit	03/27/2018	16916		DNR FY 2013 Competitive Grant Program: Water/Soil Resources Board		84,710.07	84,710.07
Total 4849 · DNR BWSR Grant					0.00	84,710.07	84,710.07
4862 · CWRFL 054							
Deposit	01/23/2018	1500005347		MPFA CWRFL 054 FY 2017		70,961.61	70,961.61
Deposit	02/27/2018	1500005409		MPFA CWRFL 054 FY 2017		16,216.61	87,178.22
Deposit	03/27/2018	1500005460		MPFA CWRFL 054 FY 2017		4,576.50	91,754.72
Deposit	04/24/2018	1500005507		MPFA CWRFL 054 FY 2017		40,601.57	132,356.29
Deposit	05/30/2018	1500005595		MPFA CWRFL 054 FY 2017		3,407.17	135,763.46
Total 4862 · CWRFL 054					0.00	135,763.46	135,763.46
4864 · CWRFL 055							
Deposit	05/30/2018	1500005596		MPFA CWRFL 055 FY 2017		23,291.82	23,291.82
Total 4864 · CWRFL 055					0.00	23,291.82	23,291.82
4865 · PSIG G 056							
Deposit	01/23/2018	1500005348		MPFA PSIG G 056 FY 2017		227,228.52	227,228.52
Deposit	02/27/2018	1500005408		MPFA PSIG G 056 FY 2017		62,432.48	289,661.00
Deposit	03/27/2018	1500005461		MPFA PSIG G 056 FY 2017		15,071.98	304,732.98
Deposit	04/24/2018	1500005508		MPFA PSIG G 056 FY 2017		125,270.68	430,003.66
Deposit	05/30/2018	1500005597		MPFA PSIG G 056 FY 2017		40,000.00	470,003.66
Total 4865 · PSIG G 056					0.00	470,003.66	470,003.66
4879 · Downtown Special Assessments							
Bill	03/31/2018	Refund SA Interest	Anderson, Barton or Susan	Refund SA Interest	125.00		(125.00)
Bill	03/31/2018	Refund SA Interest	Tilton, Louis or Linda	Refund SA Interest	168.75		(293.75)
Bill	03/31/2018	Refund SA Interest	Snelling, Matthew or Christen	Refund SA Interest	173.00		(466.75)
Bill	03/31/2018	Refund SA Interest	Valerie J Stochr and Carol A Iwata	Refund SA Interest	187.50		(654.25)
Deposit	03/31/2018	35973		FSA Title Services re: 15955 35th St S (Seller Estate of Richard Balsimo)		13,382.70	12,728.45
Deposit	05/21/2018	10369		Katherine and George Weed 22.028.20.41.0021 15895 35th St S		12,031.80	24,760.25
Deposit	05/21/2018	12037		Hubert and Helen Schneider 3968 River Rd S 2302820330005		12,994.59	37,754.84
Deposit	05/31/2018	4577		Richard S Pung: 15880 36th St S 2202820410024		12,031.80	49,786.64
Total 4879 · Downtown Special Assessments					654.25	50,440.89	49,786.64
4894 · MnDNR Grant - Other							
Deposit	01/09/2018	2200388678		DNR Emer Mgmt. DR 1982 P0720 1/2/18		499.81	499.81
Total 4894 · MnDNR Grant - Other					0.00	499.81	499.81
4917 · Int Inc - City Infrastruct Fd							
General Jou...	01/31/2018	interest		Interest Income		345.92	345.92
General Jou...	02/28/2018	interest		Interest Income		328.68	674.60
General Jou...	03/31/2018	interest		Interest Income		324.65	999.25
General Jou...	04/30/2018	interest		Interest Income		0.68	999.93
General Jou...	05/31/2018	interest		Interest Income		1.24	1,001.17
Total 4917 · Int Inc - City Infrastruct Fd					0.00	1,001.17	1,001.17
7739 · 2017A Int Exp Dwtwn Tmp Imp Bd							
Bill	02/20/2018	040118 Tmp Bd Pymt	US Bank (2017A Tmp Imp Bd)	2017A Tmp Imp Bond: Interest Payment 10/1/17 to 4/1/18	15,345.00		(15,345.00)
Total 7739 · 2017A Int Exp Dwtwn Tmp Imp Bd					15,345.00	0.00	(15,345.00)
7740 · 2017A Dwtwn Imp Bonds Adm Exp							
Bill	02/28/2018	18-009	Springsted Incorporated	2017 Continuing Disclosure Services	716.00		(716.00)
Bill	03/31/2018	4941808	US Bank (2017A Tmp Imp Bd)	2017A Tmp Imp Bonds Admin Fee 3/1/18 to 2/28/19	450.00		(1,166.00)
Bill	05/31/2018	5001752	US Bank (2017A Tmp Imp Bd)	Afton MN GO Abatement Bonds 2017A Admin Fee 5/1/18 to 4/30/18	450.00		(1,616.00)
Total 7740 · 2017A Dwtwn Imp Bonds Adm Exp					1,616.00	0.00	(1,616.00)
7744 · 2017 Storm Wtr PFA Interest Exp							
Bill	02/20/2018	PFA Loans Int 022018	Minnesota Public Facilities Authority	PFA Interest: MPFA CWRFL 054 FY17	2,792.22		(2,792.22)

City of Afton
City Infra-Structure Imp Projects - Detail by Account

January through May 2018

Type	Date	Num	Source Name	Memo	Debit	Credit	Balance
Total 7744 · 2017 Storm Wtr PFA Interest Exp					2,792.22	0.00	(2,792.22)
7746 · 2017 Sanitary Sewer PFA Int Exp							
Bill	02/20/2018	PFA Loans Int 022018	Minnesota Public Facilities Authority	PFA Interest: MPFA CWRF L 055 FY17	6,205.64		(6,205.64)
Total 7746 · 2017 Sanitary Sewer PFA Int Exp					6,205.64	0.00	(6,205.64)
7748 · Downtwn Debt Serv/Assessmnt Exp							
Bill	04/30/2018	140080	Wash Cty (Taxation Division)	Downtown 2018 Special Assessment Billing	269.00		(269.00)
Total 7748 · Downtwn Debt Serv/Assessmnt Exp					269.00	0.00	(269.00)
8800 · DNR Flood Imp Expense							
8870 · Dwn Imp - Special Assess Exp							
Bill	01/31/2018	624588	Felhaber Larson	Special Assessment Appeals: Village Wastewater Treatment Facility	15,808.00		(15,808.00)
Bill	02/28/2018	70274	Larson King LLP	Special assessment appeal: Afton Marine & Yacht Club: File #26290089	1,989.10		(17,797.10)
Bill	02/28/2018	625478	Felhaber Larson	Special Assessment Appeals: Village Wastewater Treatment Facility	5,350.50		(23,147.60)
Bill	04/30/2018	627424	Felhaber Larson	Special Assessment Appeals: Village Wastewater Treatment Facility	5,024.00		(28,171.60)
Bill	04/30/2018	628449	Felhaber Larson	Special Assessment Appeals: Village Wastewater Treatment Facility	1,024.00		(29,195.60)
Bill	05/31/2018	629694	Felhaber Larson	Village Wastewater Treatment Facility: Special assessment	5,440.00		(34,635.60)
Total 8870 · Dwn Imp - Special Assess Exp					34,635.60	0.00	(34,635.60)
8891 · DNR Flood Imp - Prop Purch/Exp							
Bill	02/28/2018	022818	Xcel Energy {EFT} (51-0895 3451)	Eastwood - Septic Property 2318 St Croix Trl S Meter# 96987678 Premises #302409557	22.51		(22.51)
Bill	03/31/2018	033118	Xcel Energy {EFT} (51-0895 3451)	Eastwood - Septic Property 2318 St Croix Trl S Meter# 96987678 Premises #302409557	21.62		(44.13)
Bill	04/30/2018	043018	Xcel Energy {EFT} (51-0895 3451)	Eastwood - Septic Property 2318 St Croix Trl S Meter# 96987678 Premises #302409557	21.56		(65.69)
Bill	04/30/2018	043018	Xcel Energy {EFT} (51-0895 3451)	Eastwood - Septic Property 2318 St Croix Trl S Meter# 96987678 Premises #302409557	23.43		(89.12)
Bill	05/31/2018	053118	Xcel Energy {EFT} (51-0895 3451)	Eastwood - Septic Property 2318 St Croix Trl S Meter# 96987678 Premises #302409557	23.43		(112.55)
Total 8891 · DNR Flood Imp - Prop Purch/Exp					112.55	0.00	(112.55)
8894 · Septic Permits, Fees, Admin							
Bill	01/31/2018	012918	Holstad & Knaak, PLC	Condemnation	149.00		(149.00)
Bill	02/28/2018	Feb2018	Holstad & Knaak, PLC	Condemnation	125.00		(274.00)
Bill	05/31/2018	10000051844	Minnesota Pollution Control Agency	Afton WWTP 2318 St Croix Trl S: Wastewater Annual permit fees	505.00		(779.00)
Bill	05/31/2018	2018-046/07	Blondo Consulting LLC	Archaeological Site Monitoring	910.00		(1,689.00)
Total 8894 · Septic Permits, Fees, Admin					1,689.00	0.00	(1,689.00)
8896 · Sanitary Sewer Improvements							
Deposit	02/26/2018	67765		WSB: Refund overpayment WSB 01856-410 Inv 36		377.75	377.75
Bill	05/31/2018	11803216	Wenck Associates Inc.	Wastewater System engineering	1,081.09		(703.34)
Total 8896 · Sanitary Sewer Improvements					1,081.09	377.75	(703.34)
8897 · Septic Construction Eng'g							
Bill	01/31/2018	11800255	Wenck Associates Inc.	Afton LSTS bidding, construction and post-construction services	2,557.50		(2,557.50)
Bill	02/28/2018	11800963	Wenck Associates Inc.	Afton LSTS bidding, construction and post-construction services	951.80		(3,509.30)
Bill	05/31/2018	11803217	Wenck Associates Inc.	Afton LSTS - bidding, contruction and post construction services	387.50		(3,896.80)
Total 8897 · Septic Construction Eng'g					3,896.80	0.00	(3,896.80)
8899 · Village Improvements							
Bill	02/28/2018	520-14	WSB (Downtown Village Imp Proj)	Downtown Village Improvement Project No. 01856-520	55,811.00		(55,811.00)
Bill	03/31/2018	15	WSB (Downtown Village Imp Proj)	Downtown Village Improvement Project No. 01856-520	37,445.50		(93,256.50)
Bill	04/30/2018	16/042418	WSB (Downtown Village Imp Proj)	Downtown Village Improvement Project No. 01856-520	37,521.75		(130,778.25)
Bill	05/31/2018	Application No. 1	Great Northern Landscapes, Inc.	Downtown Village Landscaping Project, Application 1	64,183.90		(194,962.15)
Bill	05/31/2018	520-17/05172018	WSB (Downtown Village Imp Proj)	Downtown Village Improvement Project No. 01856-520	36,242.50		(231,204.65)
Total 8899 · Village Improvements					231,204.65	0.00	(231,204.65)
8901 · Septic Construction							
Bill	01/31/2018	151052	Get Connected Tech	Installed video verified security system for Afton Sewage	3,030.00		(3,030.00)
Bill	01/31/2018	Pay Voucher No. 10	Geislinger and Sons, Inc.	Proj 01856-52: Downtown Village Imp: Pay Voucher #10	127,450.58		(130,480.58)
Bill	03/29/2018	151053	Get Connected Tech	Quarterly Monitoring of Afton Sewage Site	195.00		(130,675.58)
Bill	03/31/2018	Pay Voucher No. 11	Geislinger and Sons, Inc.	Proj 01856-52: Downtown Village Imp: Pay Voucher #11	351,727.66		(482,403.24)
Bill	04/30/2018	Pay Voucher #12	Geislinger and Sons, Inc.	Proj 01856-52: Downtown Village Imp: Pay Voucher #12	12,995.43		(495,398.67)

QH

City of Afton
City Infra-Structure Imp Projects - Detail by Account
 January through May 2018

Type	Date	Num	Source Name	Memo	Debit	Credit	Balance
Bill	05/31/2018	Pay Voucher # 13	Geislinger and Sons, Inc.	Proj 01856-52: Downtown Village Imp: Pay Voucher #13	53,685.08		(549,083.75)
Total 8901 · Septic Construction					549,083.75	0.00	(549,083.75)
Total 8800 · DNR Flood Imp Expense					821,703.44	377.75	(821,325.69)
TOTAL					848,585.55	766,088.63	(82,496.92)

City of Afton
Claims to be Approved
May 16, 2018 thru June 19, 2018

<u>Checks Numbered</u>			
From	To	Description	To Be Approved
21986		Check(s) from Administrator stock: Best Buy 6 MS Surface Pros	\$7,923.92
22585	22590	5/31/18 Staff Payroll & Benefits + One Routine Vendor Bill	\$1,929.42
22591	22605	Routine Vendor Bills	\$4,507.80
22616	22620	6/15/18 Staff & Council Payroll	\$1,885.55
22621		Geislinger & Sons: Pay Voucher #13	\$53,685.08
22622	22623	Final two Pay Vouchers for Park Construction	\$316,211.72
22624		Great Northern Landscapes: Application 1 for Downtown Village landscaping	\$64,183.90
22625		Home & Business Handyman: Final pay re Sheriff restroom	\$4,250.00
22626		LMCIT: Deductible & legal expenses re. claim	\$3,399.10
22627		LMCIT: Annual premium for general property & liability	\$20,836.00
22628		LMCIT: Annual premium for Workers Comp Ins	\$2,790.00
22629		Wash Cty: Full Year 2018 Septic System Special Assessments for City Hall & Historical Society	\$2,589.77
22630	22644	Significant Vendor Bills by Size or Nature	\$83,838.32
22645	22661	More Routine Vendor Bills	\$5,106.56
201806001	201806009	EFT/Direct Deposit: 5/31/18 Staff Payroll + Videographer + PERA & Payroll Taxes	\$10,007.67
201806010	201806025	EFT: Copier Lease, Postage + Utility Bills	\$2,694.44
201806026	201806035	EFT/Dir Dep: 6/15/18 Staff & Council Pay/Exp + PERA & Payroll Taxes	\$10,610.08
Claims to be approved at 6/19/18 meeting			\$596,449.33



Submitted by Thomas H. Niedzwiecki, Accountant
 File: Afton 2018 Claim Summary.xlsm Worksheet: May18 6/13/2018

City of Afton
Claims to be Approved
 May 16 through June 19, 2018

Type	Date	Num	Name	Memo	Account	Original Amount
Bill Pmt -Ch...	05/30/2018	21986	Best Buy	multipurpose XGA DLP projector	100 · 4M Fund/US Bank - General Fund	(7,923.92)
Bill	05/30/2018	MS Surface Pros	550 Special Activities Fund:B. Cable Comm/July 4th/Comm Garden:5561 Communi...	6 MS Surface Pros w MS Office 365	5561 · Communications	7,923.92
TOTAL						7,923.92
Bill Pmt -Ch...	05/16/2018	22585	Wash Cty (Public Health)		100 · 4M Fund/US Bank - General Fund	(122.00)
Bill	05/16/2018	Septic Permit ...	200 Park Reserve Fd:B. Exp:6115 Pub Wks - Park & Open Space	Permit to abandon septic system at Town Square Park	6115 · Park & Open Space Public Works	122.00
TOTAL						122.00
Paycheck	05/31/2018	22586	Pahl, Thomas W		100 · 4M Fund/US Bank - General Fund	(217.72)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Maint Wages &...		5020 · Maintenance Person	235.75
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Maint Wages &...		5051 · Social Security Tax - Employer	14.61
					2205 · Soc Sec Payable - Employer	(14.61)
					2204 · Social Security W/H - Employee	(14.61)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Maint Wages &...		5052 · Medicare Tax - Employer	3.42
					2213 · Medicare Payable - Employer	(3.42)
					2212 · Medicare W/H - Employee	(3.42)
TOTAL						217.72
Paycheck	05/31/2018	22587	Johnson, Kenneth L		100 · 4M Fund/US Bank - General Fund	(937.05)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Maint Wages &...		5020 · Maintenance Person	1,300.00
					2302 · PERA Payable - Staff	(84.50)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Maint Wages &...		5053 · PERA Contribution - Employer	97.50
					2302 · PERA Payable - Staff	(97.50)
					2210 · Federal Withholding	(119.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Maint Wages &...		5051 · Social Security Tax - Employer	80.60
					2205 · Soc Sec Payable - Employer	(80.60)
					2204 · Social Security W/H - Employee	(80.60)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Maint Wages &...		5052 · Medicare Tax - Employer	18.85
					2213 · Medicare Payable - Employer	(18.85)
					2212 · Medicare W/H - Employee	(18.85)
					2208 · MN State Withholding	(60.00)
TOTAL						937.05
Paycheck	05/31/2018	22588	Neitzel, Donald R		100 · 4M Fund/US Bank - General Fund	(36.79)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Maint Wages &...		5020 · Maintenance Person	39.83
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Maint Wages &...		5051 · Social Security Tax - Employer	2.47
					2205 · Soc Sec Payable - Employer	(2.47)
					2204 · Social Security W/H - Employee	(2.47)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Maint Wages &...		5052 · Medicare Tax - Employer	0.57
					2213 · Medicare Payable - Employer	(0.57)
					2212 · Medicare W/H - Employee	(0.57)
TOTAL						36.79
Paycheck	05/31/2018	22589	Pahl, Thomas W		100 · 4M Fund/US Bank - General Fund	(478.70)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Maint Wages &...		5020 · Maintenance Person	525.94
					2210 · Federal Withholding	(3.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Maint Wages &...		5051 · Social Security Tax - Employer	32.61
					2205 · Soc Sec Payable - Employer	(32.61)
					2204 · Social Security W/H - Employee	(32.61)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Maint Wages &...		5052 · Medicare Tax - Employer	7.63

06/13/18

City of Afton
Claims to be Approved
 May 16 through June 19, 2018

Type	Date	Num	Name	Memo	Account	Original Amount
					2213 · Medicare Payable - Employer	(7.63)
					2212 · Medicare W/H - Employee	(7.63)
					2208 · MN State Withholding	(4.00)
TOTAL						478.70
Liability Che...	05/31/2018	22590	Madison National Life	103815000000000	100 · 4M Fund/US Bank - General Fund	(137.16)
				103815000000000	2325 · Madison Life ST & LT Disability	108.81
				103815000000000	2325 · Madison Life ST & LT Disability	28.35
TOTAL						137.16
Bill Pmt -Ch...	05/31/2018	22591	Water Heaters Now, Inc		100 · 4M Fund/US Bank - General Fund	(55.00)
Bill	05/31/2018	Refund Afton ...	100 Gen'l Fd:A. Rev:A05 Lic, Fees & Permits:4401 Bldg & Eng'g Inspection Fee	Refund Building Permit B18-16 Tony Madden 15296 Afton Hills Ct S	4401 · Bldg & Eng'g Inspection Fee	55.00
TOTAL						55.00
Bill Pmt -Ch...	05/31/2018	22592	Afton Parade Committee		100 · 4M Fund/US Bank - General Fund	(200.00)
Bill	05/31/2018	Ref Park Dep ...		Refund Park Deposit: Jessie Diggins 5/12/18	1185 · Park Deposits	200.00
TOTAL						200.00
Bill Pmt -Ch...	05/31/2018	22593	Cisneros, Dawn D		100 · 4M Fund/US Bank - General Fund	(100.00)
Bill	05/31/2018	Refund Park 5/...		Dawn D Cisneros Refund Park Deposit: Wedding 5/11/18	1185 · Park Deposits	100.00
TOTAL						100.00
Bill Pmt -Ch...	05/31/2018	22594	Econo Signs	Customer No, 55001	100 · 4M Fund/US Bank - General Fund	(261.48)
Bill	05/31/2018	10-944658	100 Gen'l Fd:B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:5860 Signs & Signals	Park closes after sundown	5860 · Signs & Signals	261.48
TOTAL						261.48
Bill Pmt -Ch...	05/31/2018	22595	LMC (conferences)		100 · 4M Fund/US Bank - General Fund	(400.00)
Bill	05/31/2018	271710	100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5585 Seminars & Education	2018 Annual Conf: Joe Richter	5585 · Seminars & Education	400.00
TOTAL						400.00
Bill Pmt -Ch...	05/31/2018	22596	Menards - Hudson		100 · 4M Fund/US Bank - General Fund	(140.05)
Bill	05/31/2018	73925	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6050 Supplies	Materials for fire escape city hall	6050 · Supplies - Bldg & Land	100.59
Bill	05/31/2018	74136	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6040 Repairs & Maintenance	supplies	6040 · City Property Maintenance	39.46
TOTAL						140.05
Bill Pmt -Ch...	05/31/2018	22597	Petersen Management Co. LLC	Cust No. 3477	100 · 4M Fund/US Bank - General Fund	(339.90)
Bill	05/31/2018	096653	115 Bldg & Land Capital Fund:B. Exp:6022 Septic System Operations	outside services lab fees 4/20/18	6022 · Septic System Operations	339.90
TOTAL						339.90
Bill Pmt -Ch...	05/31/2018	22598	St Croix Recreation Fun Playgrounds Inc.		100 · 4M Fund/US Bank - General Fund	(902.92)
Bill	05/31/2018	19731	200 Park Reserve Fd:B. Exp:6115 Pub Wks - Park & Open Space	8 ft ADA table	6115 · Park & Open Space Public Works	902.92

City of Afton
Claims to be Approved
 May 16 through June 19, 2018

Type	Date	Num	Name	Memo	Account	Original Amount
TOTAL						902.92
Bill	Pmt -Ch...	05/31/2018	22599	StarTech Computing, Inc	100 · 4M Fund/US Bank - General Fund	(377.40)
Bill	05/31/2018	46743	100 Gen'l Fd.B. Exp:B01 G & A:B1.4 Oth Exp:5510 Computer Serv/Software	Flexnet maint	5510 · Computer Service/Software	377.40
TOTAL						377.40
Bill	Pmt -Ch...	05/31/2018	22600	US Bank (Admin Fee) 2017B	Acct No. 0045524NS	(500.00)
Bill	05/31/2018	4979478	725 Road Paving Debt Service Fund:7747 2017B \$3.5MM Road Bd Admin Exp	3.5MM Road GO Tax Abatement Bonds 2017B Admin Fee 5/1/18 to 4/30/19	7747 · 2017B \$3.5MM Road Bd Admin Exp	500.00
TOTAL						500.00
Bill	Pmt -Ch...	05/31/2018	22601	Highland Sanitation	Acct No. 7208	(369.69)
Bill	05/31/2018	480369	100 Gen'l Fd.B. Exp:B02 Public Safety & Health:B2.2 Public Health:5720 City Hall ...	Trash Pickup	5720 · Refuse Hauling - City Hall	369.69
TOTAL						369.69
Bill	Pmt -Ch...	05/31/2018	22602	MCMA	MCMA Dues for Ron Moorese	(113.00)
Bill	05/31/2018	050118 to 043...	100 Gen'l Fd.B. Exp:B01 G & A:B1.4 Oth Exp:5580 Membership & Dues	Membership renewal for Ron Moorese, May 1 2018 to April 30 2019	5580 · Membership & Dues	113.00
TOTAL						113.00
Bill	Pmt -Ch...	05/31/2018	22603	Menards - Hudson	100 · 4M Fund/US Bank - General Fund	(92.30)
Bill	05/31/2018	74264	100 Gen'l Fd.B. Exp:B04 Bldgs & Land:6040 Repairs & Maintenance	supplies	6040 · City Property Maintenance	29.99
Bill	05/31/2018	74418	100 Gen'l Fd.B. Exp:B04 Bldgs & Land:6050 Supplies	City hall emerg stairwell	6050 · Supplies - Bldg & Land	41.90
Bill	05/31/2018	74525	100 Gen'l Fd.B. Exp:B04 Bldgs & Land:6050 Supplies	Supplies	6050 · Supplies - Bldg & Land	20.41
TOTAL						92.30
Bill	Pmt -Ch...	05/31/2018	22604	Metro Sales Inc.	Acct No 016181, Contract Number 28746-01	(536.06)
Bill	05/31/2018	1077726	100 Gen'l Fd.B. Exp:B01 G & A:B1.4 Oth Exp:5510 Computer Serv/Software	CONTRACT Ricoh/MPC4503 Color Copier Serial No. E175MC60291	5510 · Computer Service/Software	536.06
TOTAL						536.06
Bill	Pmt -Ch...	05/31/2018	22605	MN Sec of State - Notary	100 · 4M Fund/US Bank - General Fund	(120.00)
Bill	05/31/2018	Julie Yoho No...	100 Gen'l Fd.B. Exp:B01 G & A:B1.4 Oth Exp:5545 Other Administration	Notary Commission for Julie Yoho	5545 · Other Admin Expense	120.00
TOTAL						120.00
Paycheck	06/14/2018	22616	Johnson, Kenneth L		100 · 4M Fund/US Bank - General Fund	(774.17)
			100 Gen'l Fd.B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Maint Wages &...		5020 · Maintenance Person	1,066.00
			100 Gen'l Fd.B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Maint Wages &...		2302 · PERA Payable - Staff	(69.29)
					5053 · PERA Contribution - Employer	79.95
					2302 · PERA Payable - Staff	(79.95)
					2210 · Federal Withholding	(93.00)
			100 Gen'l Fd.B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Maint Wages &...		5051 · Social Security Tax - Employer	66.09
					2205 · Soc Sec Payable - Employer	(66.09)
					2204 · Social Security W/H - Employee	(66.09)
			100 Gen'l Fd.B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Maint Wages &...		5052 · Medicare Tax - Employer	15.45
					2213 · Medicare Payable - Employer	(15.45)
					2212 · Medicare W/H - Employee	(15.45)

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Type	Date	Num	Name	Memo	Account	Original Amount
					2208 · MN State Withholding	(48.00)
TOTAL						774.17
Paycheck	06/14/2018	22617	Pahl, Thomas W		100 · 4M Fund/US Bank - General Fund	(550.08)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Maint Wages &...		5020 · Maintenance Person	618.38
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Maint Wages &...		2210 · Federal Withholding	(12.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Maint Wages &...		5051 · Social Security Tax - Employer	38.34
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Maint Wages &...		2205 · Soc. Sec Payable - Employer	(38.34)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Maint Wages &...		2204 · Social Security W/H - Employee	(38.34)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Maint Wages &...		5052 · Medicare Tax - Employer	8.96
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Maint Wages &...		2213 · Medicare Payable - Employer	(8.96)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Maint Wages &...		2212 · Medicare W/H - Employee	(8.96)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5020 Gen'l Maint Wages &...		2208 · MN State Withholding	(9.00)
TOTAL						550.08
Paycheck	06/14/2018	22618	Nelson, Randall P		100 · 4M Fund/US Bank - General Fund	(187.10)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor & Council Wa...		5002 · Mayor & Council Wages	200.00
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor & Council Wa...		2303 · PERA Payable - Council	(10.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor & Council Wa...		5053 · PERA Contribution - Employer	10.00
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor & Council Wa...		2303 · PERA Payable - Council	(10.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor & Council Wa...		5052 · Medicare Tax - Employer	2.90
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor & Council Wa...		2213 · Medicare Payable - Employer	(2.90)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor & Council Wa...		2212 · Medicare W/H - Employee	(2.90)
TOTAL						187.10
Paycheck	06/14/2018	22619	Palmquist, William B		100 · 4M Fund/US Bank - General Fund	(187.10)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor & Council Wa...		5002 · Mayor & Council Wages	200.00
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor & Council Wa...		2303 · PERA Payable - Council	(10.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor & Council Wa...		5053 · PERA Contribution - Employer	10.00
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor & Council Wa...		2303 · PERA Payable - Council	(10.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor & Council Wa...		5052 · Medicare Tax - Employer	2.90
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor & Council Wa...		2213 · Medicare Payable - Employer	(2.90)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor & Council Wa...		2212 · Medicare W/H - Employee	(2.90)
TOTAL						187.10
Paycheck	06/14/2018	22620	Richter, Joseph J		100 · 4M Fund/US Bank - General Fund	(187.10)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor & Council Wa...		5002 · Mayor & Council Wages	200.00
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor & Council Wa...		2303 · PERA Payable - Council	(10.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor & Council Wa...		5053 · PERA Contribution - Employer	10.00
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor & Council Wa...		2303 · PERA Payable - Council	(10.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor & Council Wa...		5052 · Medicare Tax - Employer	2.90
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor & Council Wa...		2213 · Medicare Payable - Employer	(2.90)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor & Council Wa...		2212 · Medicare W/H - Employee	(2.90)
TOTAL						187.10
Bill Pmt -Ch...	06/19/2018	22621	Geislinger and Sons, Inc.	Project 01856-52 Afton	100 · 4M Fund/US Bank - General Fund	(53,685.08)
Bill	05/31/2018	Pay Voucher #...	800 City InfraStructure Imp Fd:B. Exp:8901 Septic Construction	Proj 01856-52: Downtown Village Imp: Pay Voucher #13	8901 · Septic Construction	53,685.08
TOTAL						53,685.08
Bill Pmt -Ch...	06/19/2018	22622	Park Construction Company		100 · 4M Fund/US Bank - General Fund	(50,512.78)

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Type	Date	Num	Name	Memo	Account	Original Amount
Bill	05/31/2018	PayVoucherN...	120 Street Imp Capital Fd.B. Exp:7943 2017 Street Projects	2017 Pavement Mgmt Project: WSB Proj No 1856-54 Pay Voucher No. 6	7943 · 2017 Street Projects	50,512.78
TOTAL						50,512.78
Bill Pmt -Ch...	06/19/2018	22623	Park Construction Company		100 · 4M Fund/US Bank - General Fund	(265,698.94)
Bill	05/31/2018	Final Pay Vou...	120 Street Imp Capital Fd.B. Exp:7943 2017 Street Projects	2017 Pavement Mgmt Project: WSB Proj No 1856-54, Final Pay Voucher #7	7943 · 2017 Street Projects	265,698.94
TOTAL						265,698.94
Bill Pmt -Ch...	06/19/2018	22624	Great Northern Landscapes, Inc.	Project No. 1856-52 Downtown Village	100 · 4M Fund/US Bank - General Fund	(64,183.90)
Bill	05/31/2018	Application N...	800 City InfraStructure Imp Fd:B. Exp:8899 Village Improvements	Downtown Village Landscaping Project, Application 1	8899 · Village Improvements	64,183.90
TOTAL						64,183.90
Bill Pmt -Ch...	06/19/2018	22625	Home & Business Handyworks (Bill Baglio)	1099 Vendor	100 · 4M Fund/US Bank - General Fund	(4,250.00)
Bill	05/31/2018	092750	115 Bldg & Land Capital Fund:B. Exp:6007 Garage, Deputy Office Facility	Install restroom at Sheriff Garage/Office. 2nd & Final pymt of \$8,500	6007 · Garage, Deputy Office Facility	4,250.00
TOTAL						4,250.00
Bill Pmt -Ch...	06/19/2018	22626	LMCIT (Deductible)	File PC33054	100 · 4M Fund/US Bank - General Fund	(3,399.10)
Bill	05/31/2018	PC33054	550 Special Activities Fund.K. Audit/Legal Reserve:6342 Legal Exp - Deduct Copays	Shari & Randall Morgan, File PC33054: \$250 Deductible + 15% of 1st \$250...	6342 · Legal Exp - Deductible/CoPays	3,399.10
TOTAL						3,399.10
Bill Pmt -Ch...	06/19/2018	22627	LMCIT (Ins)	Acct No. 40000030	100 · 4M Fund/US Bank - General Fund	(20,836.00)
Bill	05/31/2018	05312018	100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5525 Ins - Gen'l Liability 100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5525 Ins - Gen'l Liability	Package 1002575-2, 05/15/2018 to 05/15/2019 Excess 1002576-2, 05/15/2018 to 05/15/2019	5525 · Ins - General Liability 5525 · Ins - General Liability	19,241.00 1,595.00
TOTAL						20,836.00
Bill Pmt -Ch...	06/19/2018	22628	LMCIT (Worker's Comp)	Acct # 40000531	100 · 4M Fund/US Bank - General Fund	(2,790.00)
Bill	05/31/2018	05182018	100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5024 Worker's Comp Insur...	Worker's Comp 1002578-2 policy period 05/15/2018 - 05/15/2019	5024 · Workers Comp Insurance	2,790.00
TOTAL						2,790.00
Bill Pmt -Ch...	06/19/2018	22629	Wash Cty (Prop Records & Taxpayer Serv)		100 · 4M Fund/US Bank - General Fund	(2,589.77)
Bill	05/31/2018	2018 SA Hist ...	115 Bldg & Land Capital Fund:B. Exp:6023 Septic System Spec Assessments	Full Year 2018 Special Assessment 3165 St Croix Trl S Historical Society 2...	6023 · Septic System Spec Assessments	1,449.91
Bill	05/31/2018	2018 SA City ...	115 Bldg & Land Capital Fund:B. Exp:6023 Septic System Spec Assessments	Full Year 2018 Special Assessment 3033 St Croix Trl S City Hall 22.028.20....	6023 · Septic System Spec Assessments	1,139.86
TOTAL						2,589.77
Bill Pmt -Ch...	06/19/2018	22630	Blondo Consulting LLC	Project #2017-047 City of Afton	100 · 4M Fund/US Bank - General Fund	(910.00)
Bill	05/31/2018	2018-046/07	800 City InfraStructure Imp Fd:B. Exp:8894 Septic Permits, Fees, Admin	Archaeological Site Monitoring	8894 · Septic Permits, Fees, Admin	910.00
TOTAL						910.00
Bill Pmt -Ch...	06/19/2018	22631	Felhaber Larson	File No. 0299687.00001	100 · 4M Fund/US Bank - General Fund	(5,440.00)
Bill	05/31/2018	629694	800 City InfraStructure Imp Fd:B. Exp:8870 Dwtm Imp - Special Assess Exp	Village Wastewater Treatment Facility: Special assessment	8870 · Dwtm Imp - Special Assess Exp	5,440.00

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Type	Date	Num	Name	Memo	Account	Original Amount
TOTAL						5,440.00
Bill Pmt -Ch...	06/19/2018	22632	Niedzwiecki, Thomas H.	Accounting Services	100 · 4M Fund/US Bank - General Fund	(200.00)
Bill	05/30/2018	2017 Audit Op...	100 Gen'l Fd:B. Exp:B01 G & A:B1.2 Prof Serv:5305 Auditing Fees	Additional Audit assistance and research re. 2017 Audit Opinion	5305 · Auditing Fees	200.00
TOTAL						200.00
Bill Pmt -Ch...	06/19/2018	22633	Niedzwiecki, Thomas H.	Accounting Services	100 · 4M Fund/US Bank - General Fund	(1,396.00)
Bill	05/31/2018	053118	100 Gen'l Fd:B. Exp:B01 G & A:B1.2 Prof Serv:5304 Accounting Fees 100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5540 Office Supplies 100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5540 Office Supplies 100 Gen'l Fd:B. Exp:B01 G & A:B1.2 Prof Serv:5304 Accounting Fees	Monthly charge for Accounting Services per Contract Monthly charge for QB Pro software including Payroll Service & Forms Mailing envelopes, copies of invoices, misc postage Attendance at CC Meeting	5304 · Accounting Fees 5540 · Office Supplies 5540 · Office Supplies 5304 · Accounting Fees	1,226.00 30.00 40.00 100.00
TOTAL						1,396.00
Bill Pmt -Ch...	06/19/2018	22634	Northwest Assoc (City Projects)	Technical Assistance - City Projects	100 · 4M Fund/US Bank - General Fund	(323.00)
Bill	05/31/2018	23605	100 Gen'l Fd.B. Exp:B01 G & A:B1.2 Prof Serv:5330 Planning Fees	City Projects	5330 · Planning Fees	323.00
TOTAL						323.00
Bill Pmt -Ch...	06/19/2018	22635	Northwest Assoc (Private Projects)	Technical Assistance - Private Projects	100 · 4M Fund/US Bank - General Fund	(3,336.90)
Bill	05/31/2018	23606	100 Gen'l Fd.B. Exp:B01 G & A:B1.2 Prof Serv:5330 Planning Fees 100 Gen'l Fd.B. Exp:B01 G & A:B1.2 Prof Serv:5330 Planning Fees	Afton Creek Preserve Boat yard grill CUP	5330 · Planning Fees 5330 · Planning Fees	135.00 3,201.90
TOTAL						3,336.90
Bill Pmt -Ch...	06/19/2018	22636	Stensland Inspection Services	Building Inspection Services	100 · 4M Fund/US Bank - General Fund	(11,224.00)
Bill	05/31/2018	May2018	100 Gen'l Fd.B. Exp:B01 G & A:B1.2 Prof Serv:5350 Bldg Insp Fees - Stensland	Bldg Permits	5350 · Building Insp Fees - Stensland	11,224.00
TOTAL						11,224.00
Bill Pmt -Ch...	06/19/2018	22637	Tri-County Services (Streets, Other)		100 · 4M Fund/US Bank - General Fund	(11,487.00)
Bill	05/31/2018	358	100 Gen'l Fd.B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:5845 Brush/Tree/M...	remove tree, grade parking lot	5845 · Brush/Tree/Sod/Seed	2,020.00
Bill	05/31/2018	356	100 Gen'l Fd.B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:5820 Gravel Road ...	60th St limerock	5820 · Gravel Road Maintenance	1,200.00
Bill	05/31/2018	357	100 Gen'l Fd.B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:5835 Surf Maint/Bit...	pot holes	5835 · Surf Maint/Bit Patch/Sweeping	1,275.00
Bill	05/31/2018	355	400 201 Project Fund:B. Exp:5915 201 Project Maintenance	limerock	5915 · 201 Project Maintenance	100.00
Bill	05/31/2018	354	100 Gen'l Fd.B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:5820 Gravel Road ...	60th St grader	5820 · Gravel Road Maintenance	680.00
Bill	05/31/2018	352	115 Bldg & Land Capital Fund:B. Exp:6007 Garage, Deputy Office Facility	water and sewer lines to City Garage	6007 · Garage, Deputy Office Facility	2,912.00
Bill	05/31/2018	351 / 06062018	200 Park Reserve Fd.B. Exp:6115 Pub Wks - Park & Open Space	bathroom removal, City Park	6115 · Park & Open Space Public Works	2,800.00
Bill	05/31/2018	353	100 Gen'l Fd.B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:5845 Brush/Tree/M...	sheffiff call out trees down	5845 · Brush/Tree/Sod/Seed	500.00
TOTAL						11,487.00
Bill Pmt -Ch...	06/19/2018	22638	Wash Cty (Rd & Bridge)(Trans & Phys Dev)	Account No. 20490	100 · 4M Fund/US Bank - General Fund	(4,459.08)
Bill	05/31/2018	140270	100 Gen'l Fd.B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:5830 Snow & Ice C...	snow & ice control April / 2018 sand and salt	5830 · Snow & Ice Control	4,459.08
TOTAL						4,459.08
Bill Pmt -Ch...	06/19/2018	22639	Wenck Associates Inc.		100 · 4M Fund/US Bank - General Fund	(1,468.59)
Bill	05/31/2018	11803216	800 City InfraStructure Imp Fd.B. Exp:8896 Sanitary Sewer Imp	Wastewater System engineering	8896 · Sanitary Sewer Improvements	1,081.09
Bill	05/31/2018	11803217	800 City InfraStructure Imp Fd.B. Exp:8897 Septic Construction Eng'g	Afton LSTS - bidding, conrtuction and post construction services	8897 · Septic Construction Eng'g	387.50

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Type	Date	Num	Name	Memo	Account	Original Amount
TOTAL						1,468.59
Bill Pmt -Ch...	06/19/2018	22640	WSB (Applicants)	Customer No. 01856	100 · 4M Fund/US Bank - General Fund	(1,546.00)
Bill	05/31/2018	9 / 05172018	100 Gen'l Fd:B. Exp:B01 G & A:B1.2 Prof Serv:5310 Engineering Fees	Afton Creek Preserve Plan Review	5310 · Engineering Fees	1,546.00
TOTAL						1,546.00
Bill Pmt -Ch...	06/19/2018	22641	WSB (City Engineer)	R-011166-000	100 · 4M Fund/US Bank - General Fund	(283.00)
Bill	05/30/2018	1 R 011907	100 Gen'l Fd:B. Exp:B01 G & A:B1.2 Prof Serv:5310 Engineering Fees	2018 City Engineering 3M Working Groups	5310 · Engineering Fees	283.00
TOTAL						283.00
Bill Pmt -Ch...	06/19/2018	22642	WSB (City Engineer)	R-011166-000	100 · 4M Fund/US Bank - General Fund	(2,938.00)
Bill	05/31/2018	4 R011166	100 Gen'l Fd:B. Exp:B01 G & A:B1.2 Prof Serv:5310 Engineering Fees	2018 City Engineering	5310 · Engineering Fees	2,938.00
TOTAL						2,938.00
Bill Pmt -Ch...	06/19/2018	22643	WSB (Downtown Village Imp Proj)	Downtown Village Imp Proj No. 01856-520	100 · 4M Fund/US Bank - General Fund	(36,242.50)
Bill	05/31/2018	520-17/05172...	800 City InfraStructure Imp Fd:B. Exp:8899 Village Improvements	Downtown Village Improvement Project No. 01856-520	8899 · Village Improvements	36,242.50
TOTAL						36,242.50
Bill Pmt -Ch...	06/19/2018	22644	WSB (SWMP Updates)		100 · 4M Fund/US Bank - General Fund	(2,584.25)
Bill	05/31/2018	1 / 05172018	100 Gen'l Fd:B. Exp:B01 G & A:B1.2 Prof Serv:5310 Engineering Fees	SWMP update	5310 · Engineering Fees	2,584.25
TOTAL						2,584.25
Bill Pmt -Ch...	06/19/2018	22645	Bayport Printing House, Inc.	Acct# CIAF01	100 · 4M Fund/US Bank - General Fund	(130.00)
Bill	05/31/2018	2258-18	100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5540 Office Supplies	#10 envelopes, Bldg permits & Bldg insp forms	5540 · Office Supplies	130.00
TOTAL						130.00
Bill Pmt -Ch...	06/19/2018	22646	Croix Crystal Water Treatment	cooler lease and water	100 · 4M Fund/US Bank - General Fund	(39.50)
Bill	05/31/2018	57009	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6030 Misc Expense	rent on hot & cold cooler, bottled water	6030 · Misc Exp - Bldg & Land	39.50
TOTAL						39.50
Bill Pmt -Ch...	06/19/2018	22647	Culligan of Stillwater	Account # 306-0227421-5-0	100 · 4M Fund/US Bank - General Fund	(59.71)
Bill	05/31/2018	306x01152006	200 Park Reserve Fd:B. Exp:6115 Pub Wks - Park & Open Space	Town Square Park restroom	6115 · Park & Open Space Public Works	59.71
TOTAL						59.71
Bill Pmt -Ch...	06/19/2018	22648	Gopher State One Call	Acct No. MN00128	100 · 4M Fund/US Bank - General Fund	(20.25)
Bill	05/31/2018	8050152	100 Gen'l Fd:B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:5870 Other Road M...	Caflon01 FTP Tickets	5870 · Other Road Maintenance	20.25
TOTAL						20.25
Bill Pmt -Ch...	06/19/2018	22649	Great Rivers Printing	Acct No. 3006	100 · 4M Fund/US Bank - General Fund	(212.25)

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Type	Date	Num	Name	Memo	Account	Original Amount
Bill	05/31/2018	56747	100 Gen'l Fd.B. Exp:B05 Parks & Recreation:6140 Misc Expense	shirts	6140 · Misc Exp - Parks	212.25
TOTAL						212.25
Bill Pmt -Ch...	06/19/2018	22650	J STARR Productions	Refund Park Deposit 5/31/18	100 · 4M Fund/US Bank - General Fund	(100.00)
Bill	05/31/2018	Refund Park D...		Jeni-Lyn Starr Refund Park Deposit 5/31/18	1185 · Park Deposits	100.00
TOTAL						100.00
Bill Pmt -Ch...	06/19/2018	22651	Kathi Pelnar	Humane Animal Control Service	100 · 4M Fund/US Bank - General Fund	(280.72)
Bill	05/31/2018	May2018	100 Gen'l Fd.B. Exp:B02 Public Safety & Health:B2.1 Public Safety:5605 Animal C...	animal control	5605 · Animal Control	280.72
TOTAL						280.72
Bill Pmt -Ch...	06/19/2018	22652	LMC (conferences)		100 · 4M Fund/US Bank - General Fund	(120.00)
Bill	05/31/2018	271995	100 Gen'l Fd.B. Exp:B01 G & A:B1.4 Oth Exp:5585 Seminars & Education	2018 Annual Conf: Cancellation Fee	5585 · Seminars & Education	120.00
TOTAL						120.00
Bill Pmt -Ch...	06/19/2018	22653	Menards - Hudson	Account No. 30890280	100 · 4M Fund/US Bank - General Fund	(35.33)
Bill	05/31/2018	75998	100 Gen'l Fd.B. Exp:B04 Bldgs & Land:6050 Supplies	Supplies	6050 · Supplies - Bldg & Land	35.33
TOTAL						35.33
Bill Pmt -Ch...	06/19/2018	22654	Meyer Sewer Service, Inc	Acct No. W0291	100 · 4M Fund/US Bank - General Fund	(200.00)
Bill	05/31/2018	65445	100 Gen'l Fd.B. Exp:B04 Bldgs & Land:6040 Repairs & Maintenance	54019 pump toilet vault 5/22/18	6040 · City Property Maintenance	200.00
TOTAL						200.00
Bill Pmt -Ch...	06/19/2018	22655	Minnesota Pollution Control Agency	Afton WWTP, 2318 St Croix Trl S	100 · 4M Fund/US Bank - General Fund	(505.00)
Bill	05/31/2018	10000051844	800 City InfraStructure Imp Fd.B. Exp:8894 Septic Permits, Fees, Admin	Afton WWTP 2318 St Croix Trl S: Wastewater Annual permit fees	8894 · Septic Permits, Fees, Admin	505.00
TOTAL						505.00
Bill Pmt -Ch...	06/19/2018	22656	Petersen Management Co. LLC	Cust No. 3477	100 · 4M Fund/US Bank - General Fund	(339.90)
Bill	05/31/2018	096965	115 Bldg & Land Capital Fund.B. Exp:6022 Septic System Operations	outside services lab fees 5/17/18	6022 · Septic System Operations	339.90
TOTAL						339.90
Bill Pmt -Ch...	06/19/2018	22657	Pioneer Press	Acct # 415245	100 · 4M Fund/US Bank - General Fund	(123.60)
Bill	05/31/2018	0518415245	100 Gen'l Fd.B. Exp:B01 G & A:B1.4 Oth Exp:5555 Publishing & Printing	Legals:	5555 · Publishing & Printing	123.60
TOTAL						123.60
Bill Pmt -Ch...	06/19/2018	22658	Ray Anderson & Sons		100 · 4M Fund/US Bank - General Fund	(300.00)
Bill	05/31/2018	2866	115 Bldg & Land Capital Fund.B. Exp:6004 Bldg Repair & Maint	Dumpster 1675 Stage Coach Trl (old garage)	6004 · Bldg Repair & Maintenance	150.00
Bill	05/31/2018	2867	115 Bldg & Land Capital Fund.B. Exp:6004 Bldg Repair & Maint	Dumpster 1675 Stage Coach Trl (old garage)	6004 · Bldg Repair & Maintenance	150.00
TOTAL						300.00

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Type	Date	Num	Name	Memo	Account	Original Amount
Bill Pmt -Ch...	06/19/2018	22659	River Valley Printing	Cust No. 1483	100 · 4M Fund/US Bank - General Fund	(290.00)
Bill	05/31/2018	6245	100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5560 Newsletter	1250 4-pg newsletters	5560 · Newsletter Expenses	290.00
TOTAL						290.00
Bill Pmt -Ch...	06/19/2018	22660	Rumpca Excavating Inc		100 · 4M Fund/US Bank - General Fund	(1,900.30)
Bill	05/31/2018	13790	100 Gen'l Fd:B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:5820 Gravel Road ...	lime rock	5820 · Gravel Road Maintenance	1,900.30
TOTAL						1,900.30
Bill Pmt -Ch...	06/19/2018	22661	US Bank (2017A Tmp Imp Bd)	Acct No. 0045210NS	100 · 4M Fund/US Bank - General Fund	(450.00)
Bill	05/31/2018	5001752	805 Downtown Imp Debt Service:7740 2017A Dwtwn Tmp Imp Bond Issue Exp	Afton MN GO Abatement Bonds 2017A Admin Fee 5/1/18 to 4/30/18	7740 · 2017A Dwtwn Imp Bonds Adm Exp	450.00
TOTAL						450.00
Paycheck	05/31/2018	201806001	Meade, Debra J	Direct Deposit	100 · 4M Fund/US Bank - General Fund	0.00
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5007 Intern/Office Asst W...	Direct Deposit	5007 · Intern/Office Assistant Wages	1,081.50
				Direct Deposit	2302 · PERA Payable - Staff	(70.30)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5007 Intern/Office Asst W...	Direct Deposit	5053 · PERA Contribution - Employer	81.11
				Direct Deposit	2302 · PERA Payable - Staff	(81.11)
				Direct Deposit	2210 · Federal Withholding	(113.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5007 Intern/Office Asst W...	Direct Deposit	5051 · Social Security Tax - Employer	67.05
				Direct Deposit	2205 · Soc Sec Payable - Employer	(67.05)
				Direct Deposit	2204 · Social Security W/H - Employee	(67.05)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5007 Intern/Office Asst W...	Direct Deposit	5052 · Medicare Tax - Employer	15.68
				Direct Deposit	2213 · Medicare Payable - Employer	(15.68)
				Direct Deposit	2212 · Medicare W/H - Employee	(15.68)
				Direct Deposit	2208 · MN State Withholding	(34.00)
				Direct Deposit	2110 · Direct Deposit Liabilities	(781.47)
TOTAL						0.00
Paycheck	05/31/2018	201806002	Yoho, Julie D	Direct Deposit	100 · 4M Fund/US Bank - General Fund	0.00
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5008 Office Manager Wag...	Direct Deposit	5008 · Office Manager Wages	1,900.08
				Direct Deposit	2302 · PERA Payable - Staff	(123.51)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5008 Office Manager Wag...	Direct Deposit	5053 · PERA Contribution - Employer	142.51
				Direct Deposit	2302 · PERA Payable - Staff	(142.51)
				Direct Deposit	2210 · Federal Withholding	(119.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5008 Office Manager Wag...	Direct Deposit	5051 · Social Security Tax - Employer	117.81
				Direct Deposit	2205 · Soc Sec Payable - Employer	(117.81)
				Direct Deposit	2204 · Social Security W/H - Employee	(117.81)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5008 Office Manager Wag...	Direct Deposit	5052 · Medicare Tax - Employer	27.55
				Direct Deposit	2213 · Medicare Payable - Employer	(27.55)
				Direct Deposit	2212 · Medicare W/H - Employee	(27.55)
				Direct Deposit	2208 · MN State Withholding	(66.00)
				Direct Deposit	2110 · Direct Deposit Liabilities	(1,446.21)
TOTAL						0.00
Paycheck	05/31/2018	201806003	Moorse, Ronald J	Direct Deposit	100 · 4M Fund/US Bank - General Fund	0.00
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Administrator Wages...	Direct Deposit	5004 · Administrator Salary	3,839.58
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Administrator Wages...	Direct Deposit	5053 · PERA Contribution - Employer	287.97
				Direct Deposit	2302 · PERA Payable - Staff	(287.97)
				Direct Deposit	2302 · PERA Payable - Staff	(249.57)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Administrator Wages...	Direct Deposit	5037 · Flexible Benefits	1,100.00
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Administrator Wages...	Direct Deposit	5018 · Insurance Benefits	28.35

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Type	Date	Num	Name	Memo	Account	Original Amount
			100 Gen'l Fd.B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Administrator Wages...	Direct Deposit	2325 · Madison Life ST & LT Disability	(28.35)
				Direct Deposit	2325 · Madison Life ST & LT Disability	(108.81)
				Direct Deposit	2210 · Federal Withholding	(838.00)
			100 Gen'l Fd.B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Administrator Wages...	Direct Deposit	5051 · Social Security Tax - Employer	306.25
				Direct Deposit	2205 · Soc Sec Payable - Employer	(306.25)
				Direct Deposit	2204 · Social Security W/H - Employee	(306.25)
			100 Gen'l Fd.B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Administrator Wages...	Direct Deposit	5052 · Medicare Tax - Employer	71.62
				Direct Deposit	2213 · Medicare Payable - Employer	(71.62)
				Direct Deposit	2212 · Medicare W/H - Employee	(71.62)
				Direct Deposit	2208 · MN State Withholding	(278.00)
				Direct Deposit	2110 · Direct Deposit Liabilities	(3,087.33)
TOTAL						0.00
Liability Che...	05/30/2018	201806004	QuickBooks Payroll Service	Created by Payroll Service on 05/28/2018	100 · 4M Fund/US Bank - General Fund	(5,320.26)
			100 Gen'l Fd.B. Exp:B01 G & A:B1.4 Oth Exp:5505 Bank/IRS Fees/Sales Tax	Fee for 3 direct deposit(s) at \$1.75 each	5505 · Bank/IRS/Sales Tax	5.25
			QuickBooks Payroll Service	Created by Payroll Service on 05/28/2018	2110 · Direct Deposit Liabilities	5,315.01
TOTAL						5,320.26
Liability Che...	05/31/2018	201806005	PERA (Staff)	3030-01 210990	100 · 4M Fund/US Bank - General Fund	(1,136.97)
				3030-01 210990	2302 · PERA Payable - Staff	527.88
				3030-01 210990	2302 · PERA Payable - Staff	609.09
TOTAL						1,136.97
Liability Che...	05/31/2018	201806006	IRS (US Treasury)	41-1290668	100 · 4M Fund/US Bank - General Fund	(2,725.44)
				41-1290668	2210 · Federal Withholding	1,192.00
				41-1290668	2213 · Medicare Payable - Employer	145.32
				41-1290668	2212 · Medicare W/H - Employee	145.32
				41-1290668	2205 · Soc Sec Payable - Employer	621.40
				41-1290668	2204 · Social Security W/H - Employee	621.40
TOTAL						2,725.44
Liability Che...	05/31/2018	201806007	MN Dept of Revenue	5050730	100 · 4M Fund/US Bank - General Fund	(442.00)
				5050730	2208 · MN State Withholding	442.00
TOTAL						442.00
Bill Pmt -Ch...	06/01/2018	201806008	Spencer D Klover (DD)	Videographer \$25.00/hour	100 · 4M Fund/US Bank - General Fund	(381.25)
Bill	05/31/2018	Video May2018	100 Gen'l Fd.B. Exp:B01 G & A:B1.2 Prof Serv:5120 Contract - Video Meetings	15.25 hours @ \$25	5120 · Contract - Video Meetings	381.25
TOTAL						381.25
Check	05/31/2018	201806009	QuickBooks Payroll Service	Created by Direct Deposit Service on 05/30/2018	100 · 4M Fund/US Bank - General Fund	(1.75)
			100 Gen'l Fd.B. Exp:B01 G & A:B1.4 Oth Exp:5505 Bank/IRS Fees/Sales Tax	Fee for 1 direct deposit(s) at \$1.75 each	5505 · Bank/IRS/Sales Tax	1.75
TOTAL						1.75
Bill Pmt -Ch...	05/31/2018	201806010	US Bank [EFT] Equip Finance	Acct# 1473396 Contract # 500-0466085-000	100 · 4M Fund/US Bank - General Fund	(230.00)
Bill	05/31/2018	356453100	100 Gen'l Fd.B. Exp:B01 G & A:B1.4 Oth Exp:5516 Copier Lease	Ricoh C4503 copier lease S/N E175MC60291	5516 · Copier Lease	230.00

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Type	Date	Num	Name	Memo	Account	Original Amount
TOTAL						230.00
Bill Pmt -Ch...	05/31/2018	201806011	Comcast {EFT} (8772 10 572 0001508)	Account # 8772 10 572 0001508	100 · 4M Fund/US Bank - General Fund	(299.55)
Bill	05/31/2018	053118	100 Gen'l Fd:B. Exp:B01 G & A:B1.4 Oth Exp:5565 Telephone	Comcast Business Internet and Voice	5565 · Telephone	299.55
TOTAL						299.55
Bill Pmt -Ch...	05/31/2018	201806012	CP Energy {EFT} 6217601	Meter # M19702480474 Account No. 6217601-1	100 · 4M Fund/US Bank - General Fund	(157.14)
Bill	05/31/2018	053118	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6045 City Garage Expense	1675 Stagecoach Trl S: City Garage	6045 · City Garage Expense	157.14
TOTAL						157.14
Bill Pmt -Ch...	05/31/2018	201806013	CP Energy {EFT} 8000015314	Acct No. 8000015314-0	100 · 4M Fund/US Bank - General Fund	(161.98)
Bill	05/31/2018	053118	100 Gen'l Fd:B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:5855 Gas Lamps - ...	5280051 & 5297140 Meter M19810528546 & M19981171295	5855 · Gas Lamps - Operating Costs	161.98
TOTAL						161.98
Bill Pmt -Ch...	05/31/2018	201806014	Xcel Energy {EFT} (51-0895 3451)	Acct: 51-0895345-1 Meter# 000071246886	100 · 4M Fund/US Bank - General Fund	(23.43)
Bill	05/31/2018	053118	800 City InfraStructure Imp Fd:B. Exp:8891 DwnTown Prop Purch/Exp	Eastwood - Septic Property 2318 St Croix Trl S Meter# 96987678 Premises...	8891 · DNR Flood Imp - Prop Purch/Exp	23.43
TOTAL						23.43
Bill Pmt -Ch...	05/31/2018	201806015	Xcel Energy {EFT} (51-11935 1802)		100 · 4M Fund/US Bank - General Fund	(138.60)
Bill	05/31/2018	053118	100 Gen'l Fd:B. Exp:B05 Parks & Recreation:6135 Park Maintenance	Acct No. 51-0011119351802 Park Restroom: 3418 St Croix Trl S. Meter 2...	6135 · Park Maintenance	138.60
TOTAL						138.60
Bill Pmt -Ch...	05/31/2018	201806016	Xcel Energy {EFT} (51-11957 7713)		100 · 4M Fund/US Bank - General Fund	(100.98)
Bill	05/31/2018	053118	115 Bldg & Land Capital Fund:B. Exp:6022 Septic System Operations	Acct No. 51-0011957771-3 : 3293 SAINT CROIX TRL S. Meter 7626901...	6022 · Septic System Operations	100.98
TOTAL						100.98
Bill Pmt -Ch...	05/31/2018	201806017	Xcel Energy {EFT} (51-11957 8190)		100 · 4M Fund/US Bank - General Fund	(304.20)
Bill	05/31/2018	053118	115 Bldg & Land Capital Fund:B. Exp:6022 Septic System Operations	Acct No. 51-00119578190 : Lift Station 15995 UPPER 34TH ST S. Meter ...	6022 · Septic System Operations	304.20
TOTAL						304.20
Bill Pmt -Ch...	05/31/2018	201806018	Xcel Energy {EFT} (51-11983 9027)	Acct No. 51-0011983902-7	100 · 4M Fund/US Bank - General Fund	(538.74)
Bill	05/31/2018	053118	115 Bldg & Land Capital Fund:B. Exp:6022 Septic System Operations	Acct No. 51-0011983902-7 Pumphouse for Water Treatment: 2318 St Croi...	6022 · Septic System Operations	538.74
TOTAL						538.74
Bill Pmt -Ch...	05/31/2018	201806019	Xcel Energy {EFT} (51-5247 6229)	201 Project: 4105 River Rd Meter No. 0098359441	100 · 4M Fund/US Bank - General Fund	(72.86)
Bill	05/31/2018	053118	400 201 Project Fund:B. Exp:5915 201 Project Maintenance	201 Project: 4105 River Rd Meter No. 0098359441	5915 · 201 Project Maintenance	72.86
TOTAL						72.86
Bill Pmt -Ch...	05/31/2018	201806020	Xcel Energy {EFT} (51-5371 3569)	15891 34th St. S: Automatic Protective Lighting Service	100 · 4M Fund/US Bank - General Fund	(16.86)

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Type	Date	Num	Name	Memo	Account	Original Amount
Bill	05/31/2018	053118	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6020 Electricity - Xcel Energy	15891 34th St. S: Automatic Protective Lighting Service	6020 · Electricity	16.86
TOTAL						16.86
Bill Pmt -Ch...	05/31/2018	201806021	Xcel Energy {EFT} (51-5700 4296)	Acct #51-5700429-6 Meter #0077765464	100 · 4M Fund/US Bank - General Fund	(193.50)
Bill	05/31/2018	053118	100 Gen'l Fd:B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:5850 Street Lighting	3033 St. Croix Trail S Meter #77765464 Premises #303084797	5850 · Street Lighting	193.50
TOTAL						193.50
Bill Pmt -Ch...	05/31/2018	201806022	Xcel Energy {EFT} (51-6223 9212)	Acct No. 51-6223921-2 Street Lighting	100 · 4M Fund/US Bank - General Fund	(209.35)
Bill	05/31/2018	053118	100 Gen'l Fd:B. Exp:B03 Strts, Rehab & Pub Wks:B3.1 Streets:5850 Street Lighting	Street Lighting Service	5850 · Street Lighting	209.35
TOTAL						209.35
Bill Pmt -Ch...	05/31/2018	201806023	Xcel Energy {EFT} (51-6257 8029)	3420 St. Croix Trl S Meter #0096987678	100 · 4M Fund/US Bank - General Fund	(90.36)
Bill	05/31/2018	053118	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6020 Electricity - Xcel Energy	Town Square Park 3420 St. Croix Trl S Meter #96987678 Premises 30332...	6020 · Electricity	90.36
TOTAL						90.36
Bill Pmt -Ch...	05/31/2018	201806024	Xcel Energy {EFT} (51-6852 6052)	Acct #51-6852605-2 Install No. 184509 & 184508	100 · 4M Fund/US Bank - General Fund	(43.85)
Bill	05/31/2018	053118	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6020 Electricity - Xcel Energy	Automatic Protective Light Service Install No. 184509 & 184508	6020 · Electricity	43.85
TOTAL						43.85
Bill Pmt -Ch...	05/31/2018	201806025	Xcel Energy {EFT} (51-7576 3714)	Acct#51-7576371-4 Meter #19818068	100 · 4M Fund/US Bank - General Fund	(113.04)
Bill	05/31/2018	053118	100 Gen'l Fd:B. Exp:B04 Bldgs & Land:6045 City Garage Expense	City Garage 1675 Stagecoach Trl S: Acct#51-7576371-4 Meter #19818068 ...	6045 · City Garage Expense	113.04
TOTAL						113.04
Paycheck	06/14/2018	201806026	Meade, Debra J	Direct Deposit	100 · 4M Fund/US Bank - General Fund	0.00
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5007 Intern/Office Asst W...	Direct Deposit	5007 · Intern/Office Assistant Wages	1,176.00
				Direct Deposit	2302 · PERA Payable - Staff	(76.44)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5007 Intern/Office Asst W...	Direct Deposit	5053 · PERA Contribution - Employer	88.20
				Direct Deposit	2302 · PERA Payable - Staff	(88.20)
				Direct Deposit	2210 · Federal Withholding	(122.00)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5007 Intern/Office Asst W...	Direct Deposit	5051 · Social Security Tax - Employer	72.91
				Direct Deposit	2205 · Soc Sec Payable - Employer	(72.91)
				Direct Deposit	2204 · Social Security W/H - Employee	(72.91)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5007 Intern/Office Asst W...	Direct Deposit	5052 · Medicare Tax - Employer	17.05
				Direct Deposit	2213 · Medicare Payable - Employer	(17.05)
				Direct Deposit	2212 · Medicare W/H - Employee	(17.05)
				Direct Deposit	2208 · MN State Withholding	(39.00)
				Direct Deposit	2110 · Direct Deposit Liabilities	(848.60)
TOTAL						0.00
Paycheck	06/14/2018	201806027	Yoho, Julie D	Direct Deposit	100 · 4M Fund/US Bank - General Fund	0.00
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5008 Office Manager Wag...	Direct Deposit	5008 · Office Manager Wages	1,505.76
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5008 Office Manager Wag...	Direct Deposit	5008 · Office Manager Wages	392.08
			550 Special Activities Fund:N. Elections:6347 Election Expense	Direct Deposit	6347 · Elections Expense	241.28
				Direct Deposit	2302 · PERA Payable - Staff	(139.04)
			100 Gen'l Fd:B. Exp:B01 G & A:B1.1 Wages & Benefits:5008 Office Manager Wag...	Direct Deposit	5053 · PERA Contribution - Employer	142.34
			550 Special Activities Fund:N. Elections:6347 Election Expense	Direct Deposit	5053 · PERA Contribution - Employer	18.09
				Direct Deposit	2302 · PERA Payable - Staff	(160.43)

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Type	Date	Num	Name	Memo	Account	Original Amount
			100 Gen'l Fd.B. Exp:B01 G & A:B1.1 Wages & Benefits:5008 Office Manager Wag...	Direct Deposit	2210 · Federal Withholding	(146.00)
			550 Special Activities Fund:N. Elections:6347 Election Expense	Direct Deposit	5051 · Social Security Tax - Employer	117.66
				Direct Deposit	5051 · Social Security Tax - Employer	14.96
				Direct Deposit	2205 · Soc Sec Payable - Employer	(132.62)
			100 Gen'l Fd.B. Exp:B01 G & A:B1.1 Wages & Benefits:5008 Office Manager Wag...	Direct Deposit	2204 · Social Security W/H - Employee	(132.62)
			550 Special Activities Fund:N. Elections:6347 Election Expense	Direct Deposit	5052 · Medicare Tax - Employer	27.51
				Direct Deposit	5052 · Medicare Tax - Employer	3.50
				Direct Deposit	2213 · Medicare Payable - Employer	(31.01)
				Direct Deposit	2212 · Medicare W/H - Employee	(31.01)
				Direct Deposit	2208 · MN State Withholding	(78.00)
				Direct Deposit	2110 · Direct Deposit Liabilities	(1,612.45)
TOTAL						0.00
Paycheck	06/14/2018	201806028	Moorse, Ronald J	Direct Deposit	100 · 4M Fund/US Bank - General Fund	0.00
			100 Gen'l Fd.B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Administrator Wages...	Direct Deposit	5004 · Administrator Salary	3,839.58
			100 Gen'l Fd.B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Administrator Wages...	Direct Deposit	5053 · PERA Contribution - Employer	287.97
				Direct Deposit	2302 · PERA Payable - Staff	(287.97)
				Direct Deposit	2302 · PERA Payable - Staff	(249.57)
			100 Gen'l Fd.B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Administrator Wages...	Direct Deposit	5037 · Flexible Benefits	1,100.00
				Direct Deposit	2210 · Federal Withholding	(838.00)
			100 Gen'l Fd.B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Administrator Wages...	Direct Deposit	5051 · Social Security Tax - Employer	306.25
				Direct Deposit	2205 · Soc Sec Payable - Employer	(306.25)
				Direct Deposit	2204 · Social Security W/H - Employee	(306.25)
			100 Gen'l Fd.B. Exp:B01 G & A:B1.1 Wages & Benefits:5004 Administrator Wages...	Direct Deposit	5052 · Medicare Tax - Employer	71.62
				Direct Deposit	2213 · Medicare Payable - Employer	(71.62)
				Direct Deposit	2212 · Medicare W/H - Employee	(71.62)
				Direct Deposit	2208 · MN State Withholding	(278.00)
				Direct Deposit	2110 · Direct Deposit Liabilities	(3,196.14)
TOTAL						0.00
Paycheck	06/14/2018	201806029	Bend, Richard H	Direct Deposit	100 · 4M Fund/US Bank - General Fund	0.00
			100 Gen'l Fd.B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor & Council Wa...	Direct Deposit	5002 · Mayor & Council Wages	300.00
				Direct Deposit	2303 · PERA Payable - Council	(15.00)
			100 Gen'l Fd.B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor & Council Wa...	Direct Deposit	5053 · PERA Contribution - Employer	15.00
				Direct Deposit	2303 · PERA Payable - Council	(15.00)
			100 Gen'l Fd.B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor & Council Wa...	Direct Deposit	5052 · Medicare Tax - Employer	4.35
				Direct Deposit	2213 · Medicare Payable - Employer	(4.35)
				Direct Deposit	2212 · Medicare W/H - Employee	(4.35)
				Direct Deposit	2110 · Direct Deposit Liabilities	(280.65)
TOTAL						0.00
Paycheck	06/14/2018	201806030	Ross, Stanley A	Direct Deposit	100 · 4M Fund/US Bank - General Fund	0.00
			100 Gen'l Fd.B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor & Council Wa...	Direct Deposit	5002 · Mayor & Council Wages	200.00
				Direct Deposit	2303 · PERA Payable - Council	(10.00)
			100 Gen'l Fd.B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor & Council Wa...	Direct Deposit	5053 · PERA Contribution - Employer	10.00
				Direct Deposit	2303 · PERA Payable - Council	(10.00)
			100 Gen'l Fd.B. Exp:B01 G & A:B1.1 Wages & Benefits:5002 Mayor & Council Wa...	Direct Deposit	5052 · Medicare Tax - Employer	2.90
				Direct Deposit	2213 · Medicare Payable - Employer	(2.90)
				Direct Deposit	2212 · Medicare W/H - Employee	(2.90)
				Direct Deposit	2110 · Direct Deposit Liabilities	(187.10)
TOTAL						0.00
Liability Che...	06/13/2018	201806031	QuickBooks Payroll Service	Created by Payroll Service on 06/11/2018	100 · 4M Fund/US Bank - General Fund	(6,133.69)
			100 Gen'l Fd.B. Exp:B01 G & A:B1.4 Oth Exp:5505 Bank/IRS Fees/Sales Tax	Fee for 5 direct deposit(s) at \$1.75 each	5505 · Bank/IRS/Sales Tax	8.75

City of Afton
Claims to be Approved
 May 16 through June 19, 2018

Type	Date	Num	Name	Memo	Account	Original Amount
			QuickBooks Payroll Service	Created by Payroll Service on 06/11/2018	2110 · Direct Deposit Liabilities	6,124.94
TOTAL						6,133.69
Liability Che...	06/19/2018	201806032	PERA (Council)	3030-51 207620	100 · 4M Fund/US Bank - General Fund	(110.00)
				3030-51 207620	2303 · PERA Payable - Council	55.00
				3030-51 207620	2303 · PERA Payable - Council	55.00
TOTAL						110.00
Liability Che...	06/19/2018	201806033	PERA (Staff)	3030-01 210990	100 · 4M Fund/US Bank - General Fund	(1,150.89)
				3030-01 210990	2302 · PERA Payable - Staff	534.34
				3030-01 210990	2302 · PERA Payable - Staff	616.55
TOTAL						1,150.89
Liability Che...	06/19/2018	201806034	IRS (US Treasury)	41-1290668	100 · 4M Fund/US Bank - General Fund	(2,763.50)
				41-1290668	2210 · Federal Withholding	1,211.00
				41-1290668	2213 · Medicare Payable - Employer	160.04
				41-1290668	2212 · Medicare W/H - Employee	160.04
				41-1290668	2205 · Soc. Sec Payable - Employer	616.21
				41-1290668	2204 · Social Security W/H - Employee	616.21
TOTAL						2,763.50
Liability Che...	06/19/2018	201806035	MN Dept of Revenue	5050730	100 · 4M Fund/US Bank - General Fund	(452.00)
				5050730	2208 · MN State Withholding	452.00
TOTAL						452.00

RESOLUTION 2018-28

CITY OF AFTON
WASHINGTON COUNTY, MINNESOTA

A RESOLUTION APPROVING 4M FUND TRANSFERS FOR MAY, 2018

BE IT RESOLVED THAT the City Council of the City of Afton, County of Washington, Minnesota, authorizes the transfer of the following sums of money between the City's 4M Fund Accounts, as detailed in Exhibit A – 4M Fund Transfers – Month of MAY, 2018.

ADOPTED BY THE CITY COUNCIL OF THE CITY OF AFTON THIS 19TH DAY OF JUNE, 2018.

SIGNED:

Richard Bend, Mayor

ATTEST:

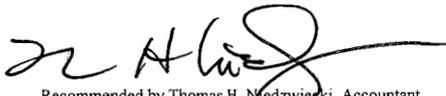
Ronald J. Moorse, City Administrator

Motion by:
Second by:
Palmquist:
Richter:
Ross:
Nelson:
Bend:

City of Aston
Exhibit A: 4M Fund Transfers

		Month of:	May-18		
4M Fund Accounts					
#	<u>From</u>	<u>To</u>	<u>Amount</u>	<u>Comments</u>	
1	City Infra-Structure Improvement Fund (35001-114)	General (35001-101)	\$162,458.50	May18 Downtown Project Expense	
2	General (35001-101)	City Infra-Structure Improvement Fund (35001-114)	\$103,757.18	Downtown Project Revenue (Various Sources)	
3	City Infra-Structure Improvement Fund (35001-114)	General (35001-101)	\$450.00	Admin Exp on Downtown Debt & Assessments	
4	Street Improvements Fund (35001-116)	General (35001-101)	\$316,211.72	May18 Street Imp Fd Exp	
5	Road Debt Service Fd (35001-109)	General (35001-101)	\$500.00	Admin Exp on Road Bonds	
6	Bldg & Land Cap (35001-104)	General (35001-101)	\$11,675.49	May18 PW Garage, Deputy Facility, Septic Operations	
7	General (35001-101)	Bldg & Land Cap (35001-104)	\$6,300.00	May18 Septic Operations Receipts	
8	General (35001-101)	Special Activities Fund (35001-106)	\$9.15	May18 Spec Act Fd Revenue	
9	Special Activities Fund (35001-106)	General (35001-101)	\$11,323.02	May18 Spec Act Fd Expense	
10	General (35001-101)	201 Project Fund (35001-103)	\$94.84	May18 201 Project Revenue	
11	201 Project Fund (35001-103)	General (35001-101)	\$172.86	May18 201 Project Expense	
12	Park Reserve Fund (35001-102)	General (35001-101)	\$3,884.63	May18 Park Expenses	
13	General (35001-101)	City Dock Fund (35001-110)	\$3,850.00	2018 City Dock Lease Pymt	
14	Park Reserve Fund (35001-102)	General (35001-101)	\$62.85	May18 Park Fund Expenses	
15	Special Reserve Fund (MN-01-0001-2001)	General and/or Disaster Funds	\$100,000.00	Temporary Cash Flow Transfer	

Temporary transfer to cover Cash Flow needs until 1st half general property taxes are received in July. While we are seeking approval at this time, the actual transfer won't be made until it is actually needed and only in the amount needed.


 Recommended by Thomas H. Niedzwiecki, Accountant
 File: Aston 2018 Bank Transfers.xlsm Worksheet: May18 6/13/2018

CITY OF AFTON
DRAFT PLANNING COMMISSION MINUTES
June 4, 2018

- 1
2
3
4
-
- 5 1. **CALL TO ORDER** – Chair Kris Kopitzke called the meeting to order at 7:02 PM
6
7
8
- 9 2. **PLEDGE OF ALLEGIANCE** – was recited.
10
11
- 12 3. **ROLL CALL** – Present: Chair Kris Kopitzke, Lucia Wroblewski, Mark Nelson, Roger Bowman, Sally
13 Doherty, Justin Sykora, James Langan, Annie Perkins. A Quorum was present. Absent was Scott Patten
14 (excused).
15 **ALSO IN ATTENDANCE** – City Council member Joe Richter, City Administrator Ron Moorse, City Clerk
16 Julie Yoho
17
- 18 4. **APPROVAL OF AGENDA** –
19 **Motion/Second: Wroblewski/Nelson to approve agenda. Passed 8-0.**
20
- 21 5. **APPROVAL OF MINUTES** –
22 A. May 7, 2018
23 **Motion/Second: Wroblewski/Langan To approve the minutes of the May 7, 2018 Planning
24 Commission meeting with changes noted. Passed 8-0.**
25
- 26 6. **REPORTS AND PRESENTATIONS** – none
27
- 28 7. **PUBLIC HEARINGS** –
29 A. Afton Marina & Yacht Club Inc. Application for a Conditional Use Permit for a Restaurant at 16071 31st
30 Street
31
32 Chair Kopitzke opened the public hearing at 7:05 pm.
33
34 Administrator Moorse provided the following summary:
35 The Afton Marina and Yacht Club, Inc. has requested approval of a conditional use permit to allow the
36 establishment of a seasonal restaurant upon its marina site located at 16071 31st Street South. The
37 restaurant is proposed to occupy 2,700 square feet of an existing boat and slip repair building which
38 measures approximately 9,400 square feet in size. Specifically, the restaurant would occupy the eastern
39 portion of the building which is provided views of adjacent St. Croix River.
40
41 City Planner Bob Kirmis gave a summary of his report. He pointed out that the primary issue is the access
42 from 32nd St. Alternative accesses discussed in the report are not supported by the marina.
43 Brad Aho, Afton Marina Treasurer, provided background information on the marina and the proposed
44 restaurant. They would like to have a second entrance for safety.
45 John, Lumberyard Pub. Stated he will work with Windmill to address their concerns as much as possible.
46 He expects different spikes in traffic, along with foot and boat traffic coming in to restaurant. He said the
47 parking lot could be closed to vehicles during peak boat launch times.
48 Rich, Attorney for Windmill Marina. Stated they are opposed to the CUP and the proposal. Windmill
49 maintains that portion of 32nd Street as a boat launch area, not public road. Afton marina is proposing to use
50 private roadway. For 50 years the access off 31st street has worked for Afton marina; they can access off
51 their own property. 32nd street is the busiest street in Afton. A full traffic study is needed. There also is a
52 gas tank and holding tank on the border.
53 Joe, Windmill Marina, spoke against the CUP and described typical traffic patterns and congestion. They
54 have an agreement to operate the boat launch for the community. Provided photos showing traffic
congestion. Noted that 32nd street goes at an angle toward the river.
Bev Aho, Afton Marina. Spoke in support of the CUP. Stated they are requesting to use the public right of
way.

55 Tamara Peterson, Afton Marina. Spoke in support of the CUP request. Windmill could reverse traffic circle
56 flow to help ease congestion.
57 DeDee Armstrong, local resident. Stated that this will impact on the people living here in town.
58 Ted, Windmill Marina asked if the road is capable of handling additional traffic? When would study be
59 available?
60 City Engineer Nick Guilliams replied that counts were done over Memorial Day; but need to be analyzed.
61 Ted asked about drainage
62 Guilliams replied that as part of design they will need VCWD and culvert permits. Traffic study not complete
63 yet.
64 Glen Bowman, Afton Marina, stated that a preliminary study done for the culvert is in progress.
65 Joe, Windmill Marina, stated they have paid for maintenance and improvements for past 40 yrs. on that road.
66 Brad Aho, Afton Marina, spoke in support of the second access road.
67 Kevin Kelling Afton Marina; spoke in support of the CUP.
68 DeDee Armstrong stated her specific concerns are regarding traffic and parking.
69 Beth Nelson, 2990 Itasca Ave S. St Mary's Point; asked about impervious surface next to the river and how
70 the runoff will be mitigated.
71
72 **Motion/Second Doherty/Bowman To close public hearing. Passed 8-0.**
73
74 Public hearing closed at 8:23pm
75
76 Wroblewski asked why hasn't Afton Marina addressed a different access point, or fixed the gate if it doesn't
77 function well? Why is there no alternative? Questions on traffic estimates? Getting a CUP isn't a right,
78 concerns have to be mitigated.
79 Nelson asked what kind of road we need on 32nd for cars to pass boat traffic to get into driveway.
80 Guilliams replied that it is a 2-way street. Vehicles would have to wait in line or illegally pass. Road would
81 remain 2-way traffic.
82 Perkins stated that the 32nd St photos had boats parked along it. It was not being used as a 2 way road. CUP
83 requires 32nd st to be sufficient to accommodate increased traffic. A formal traffic study is needed.
84 Kopitzke stated that it is a city street built to standards, but it is not used as a normal road. Public street, yet
85 not used as public street.
86 Administrator Moorse stated that it is a public ROW, the public has a right to use. The marina agreement
87 indicates hasn't operated as a public street; also the ROW is at an angle.
88 Perkins asked why are options B & C in the planning report off the table? They have 34 acres to work with
89 and can modify the entrance.
90 Bowman stated he hasn't heard a good explanation on why the other entrance won't work. How much traffic
91 is too much on 32nd? Also consider the pedestrian traffic impacts. The restaurant mentioned closing the
92 parking lot at peak times – a parking lot is required for a CUP.
93 Sykora agreed that closing the parking lot isn't going to work.
94 Bowman don't see solution
95 Doherty stated that it is a land locked parcel. Same ownership but different parcels. Could approve with
96 conditions for city to figure out how to do it safely, complete traffic study and work with both marinas.
97 Bowman asked about timing. (Mid July is 60 days)
98 Doherty stated she would move to recommend approval of the CUP with conditions listed. It is an approved
99 use and no variance is needed.
100 Kopitzke asked about the responsibility for the kitchen equipment if owners change.
101 Bowman asked about light pollution if there is a wall of windows facing the river.
102 Wroblewski asked why can't the entrance come in from the other way?
103 Brad Aho answered that it was considered and needs 2/3 majority to approve change in marina bylaws.
104 Perkins asked about the marina bylaws; if the restaurant benefits the marina, they should be easy to change.
105 Aho replied that it is private property, the owners buy in.

- 106 Perkins asked about the driveway application. Moose replied that it was submitted then rolled into this
107 application.
108 Doherty asked about food equipment design.
109 Bowman asked about outside dining?
110 Langan asked if the CUP is approved and parcel is sold off, is the CUP transferable? Does it go with
111 property? Moose replied that it is a restaurant CUP.
112 Langan stated that in the future he could see that parcel being be sold off
113 Doherty asked that if it is sold, does that change any of the requirements of conforming to the ordinance?
114 Bowman asked if a CUP can be seasonal?
115 Wroblewski asked if the CUP can be approved with conditions or denied with no conditions. What is the
116 best way to approach?
117 Kirmis replied it is best to add more conditions. There is nothing about seasonal use right now.
118

119 **Motion/Second Doherty/Kopitzke To recommend approval of the Conditional Use Permit for a**
120 **restaurant at 16071 31st St with 14 conditions provided below, plus additional.**

- 121 1. The Planning Commission provide recommendation and the City Council determine the preferred
122 access location to the restaurant site (32nd Street South, 31st Street South or a combination thereof which
123 corresponds to peak demand times).
124 2. The following access-related conditions shall apply:
125 A. All recommendations of the City Engineer related to driveway and/or street improvements and
126 traffic analysis/traffic management shall be satisfied.
127 B. Any costs associated with the improvement of 32nd Street South, if required, shall be borne by the
128 applicant.
129 C. If a new access to 32nd Street South is deemed acceptable by City Officials, such access shall be
130 subject to driveway permit processing.
131 D. An opportunity shall be provided for emergency vehicles to access the restaurant site from 32nd
132 Street South.
133 E. Project development plans shall be modified as necessary to reflect the approved site access
134 location (or locations).
135 3. Information be provided by the applicant which documents the exterior building appearance of the
136 restaurant and related finish materials.
137 4. The City Engineer and/or Washington County Department of Public Health provide comment and
138 recommendation regarding the adequacy of existing well and septic systems and any modifications
139 which are necessary to accommodate the proposed use.
140 A. Conform with city's and county's recommendation on connecting to city sewer
141 5. The applicant provide proof to the City that new boat slips have been approved by the official
142 governing authority and are to be legally established.
143 6. City Officials find the proposed hours of restaurant operation (11:00 am to 10:00 pm, seven days a
144 week) to be acceptable.
145 7. All newly erected site signage shall comply with the applicable provisions of Section 12-210 of the
146 Zoning Ordinance, be subject to review by the City's Design Review/Heritage Preservation
147 Commission and be subject to sign permit.
148 8. The submitted site plan shall be modified to identify a trash handling area. The trash handling area
149 shall be located such that it will be accessible to refuse pick-up vehicles.
150 9. Trash handling receptacles shall be located in an enclosure such that they are screened from view of
151 public rights-of-way and neighboring properties.
152 10. The site plan shall be modified to identify a loading area which provides ample maneuvering space for
153 delivery vehicles.
154 11. The amount of impervious surface coverage upon the subject site shall not be increased.
155 12. Outdoor dining activities shall not be allowed except via the processing of a conditional use permit
156 amendment.

- 157 13. Issues related to site grading and drainage shall be subject to comment and recommendation by the
158 City Engineer, including water quality best management practices.
159 14. Comments of other City Staff.
160 15. DNR approval must be received for intended us including all aspects relative to runoff containment
161 16. Lighting must conform with Afton ordinances, the DNR, and relevant river organizations.
162

163 Discussion

164 Doherty stated that the 3 big issues are traffic management, that all costs be borne by the applicant, and that
165 the new access is deemed acceptable subject to driveway permit.

166 Bowman stated that we are making a decision without full information on traffic due to time constraints.

167 Sykora stated that the other options have not been fully explored. This is an approved use, but other options
168 need to be explored.

169 Kopitzke stated that it doesn't require a variance, and it is a public street.

170 Doherty agreed that there are other ways to solve the problem, but this is a separate parcel that has rights

171 Perkins pointed out that no variance is required, as long as 32nd street can accommodate the traffic

172 Kopitzke stated that Windmill Marina can't block a public street from other uses

173 Nelson stated that the motion should be phrased as a recommendation to the council. Doherty accepted.

174 **Motion Vote**

175 **4 Aye, 4 Nay. Split recommendation goes to council.** (Doherty, Nelson, Koptizke, Perkins Aye; Langan,
176 Wroblewski, Sykora, Bowman Nay)
177

- 178 B. Ordinance 01-2018, An Ordinance Amendment regarding allowed uses, design standards, landscape
179 requirements and exterior storage in the City's Industrial zones (I1-A, I1-B and I1-C)
180

181 Administrator Moose provided the following summary: The ordinance amendment reflects revisions to
182 the list of uses allowed in the Industrial zones, clarifying exterior storage regulations, and updating design
183 standards and landscape requirements, based on feedback from both the Planning Commission and City
184 Council.
185

186 Chair Kopitzke opened the public hearing at 9:06 pm

187 No comments were received

188 **Motion/Second Doherty/Wroblewski To close public hearing. Passed 8-0.**

189 Public hearing closed at 9:07 pm
190

191 Perkins stated we should require pollinator friendly plantings and non-turf grass rather than recommend.

192 Moose stated that the planning commission can recommend and bring to the council. He will look into
193 existing guidelines.

194 Sykora asked about allowing fuel storage tanks, and that not allowing may limit uses too much.

195 Bowman asked about height and setback requirements, change setback to 10'.

196 Moose stated there is a 35' setback now

197 Discussion over heights

198 **Motion/Second Nelson/Wroblewski To recommend the City Council to approve the ordinance
199 amendment with changes discussed.**

200 Discussion

201 Langan stated that an interior height of 40' interior is recommended.

202 Sykora stated he would recommend 25% for natural habitat plantings.

203 Perkins stated it could be written as "natural habitat as defined by xx".

204 Doherty stated that it may be hard to come up with specs for stronger terms about native plantings, have staff
205 look into recommendations. Friendly amendment / accepted.

206 **Motion Vote 8-0**
207

208 **8. NEW BUSINESS - none**

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9. OLD BUSINESS –

A. Update on City Council Actions

1. Council highlights from the May 15, 2018 Council meeting
Council member Richter provided a summary of the Council meeting.

10. ADJOURN

Motion/Second Langan/Wroblewski To adjourn. Passed 8-0.

Meeting adjourned 9:33pm

Respectfully submitted by:

Julie Yoho, City Clerk

To be approved on July 2, 2018 as (check one): Presented: _____ or Amended: _____

City of Afton

3033 St. Croix Trl, P.O. Box 219

Afton, MN 55001

Meeting Date June 19, 2018

Council Action Memo

To: Mayor Bend and Members of the City Council
 From: Ron Moorse, City Administrator
 Date: June 13, 2018
 Re: Afton Marina and Yacht Club, Inc./Boatyard Grill Application for a Conditional Use Permit for a Restaurant at 16071 31st - **Resolution 2018-29**

Attached is the Planning Consultant's report regarding the Afton Marina and Yacht Club, Inc./Boatyard Grill Application for a Conditional Use Permit for a Restaurant at 16071 31st Street. The report includes a number of exhibits provided by the applicant. Also attached are two reports from the City Engineer, one regarding stormwater, street and sewer items and one regarding a traffic study on 32nd Street. Lastly, information submitted by the Windmill Marina regarding the proposed driveway access to 32nd Street from Afton Marina is also attached.

Traffic Study Results

The attached report from City Engineer Sean Delmore provides the results of a traffic study concerning the impacts of restaurant-related traffic on 32nd Street that was conducted during the three-day Memorial Day Holiday weekend. The report concludes that the restaurant is expected to generate 12 trips during the peak traffic hour on a Saturday, which would only slightly increase the traffic on 32nd Street from 98 vehicles to 110 vehicles during the peak hour. Traffic impacts are expected to be very minor if the Marina constructs an access from 32nd Street to the proposed restaurant, as existing volumes are relatively low and no queuing issues were present in the traffic video that was analyzed. While the Windmill Marina has expressed concern about the impacts of reducing the opportunity to use double stacking of car/boat trailer combinations in the 32nd Street right-of-way, the double stacking currently can only be done back to Pike Avenue and the 32nd Street entrance to the Afton House Inn. The attached distance figure indicates 225' from Pike to the east side of the proposed entrance. This distance would equate to about 4 vehicles with trailers.

Emergency Vehicle Access

Fire Chief Jim Stanley has indicated that the existing access to Afton Marina at 31st Street has always been adequate and an additional access point for emergency vehicle access is not needed.

Planning Commission Discussion and Recommendation

The Planning Commission had a split vote (4-4) on a motion to recommend approval of the CUP with the conditions listed below. While the Commission was generally supportive of the restaurant use, the key concerns were related to access and traffic management and the construction of the driveway. Also, the Commission discussed that, if the CUP is approved, the approval should include a condition that the kitchen for the restaurant needs to be a mobile kitchen that can readily be moved during a flood event.

Conditions Included in the Planning Commission Motion

1. The Planning Commission provide recommendation and the City Council determine the preferred access location to the restaurant site (32nd Street South, 31st Street South or a combination thereof which corresponds to peak demand times).
2. The following access-related conditions shall apply:

- A. All recommendations of the City Engineer related to driveway and/or street improvements and traffic analysis/traffic management shall be satisfied.
 - B. Any costs associated with the improvement of 32nd Street South, if required, shall be borne by the applicant.
 - C. If a new access to 32nd Street South is deemed acceptable by City Officials, such access shall be subject to driveway permit processing.
 - D. An opportunity shall be provided for emergency vehicles to access the restaurant site from 32nd Street South.
 - E. Project development plans shall be modified as necessary to reflect the approved site access location (or locations).
3. Information be provided by the applicant which documents the exterior building appearance of the restaurant and related finish materials.
 4. The City Engineer and/or Washington County Department of Public Health provide comment and recommendation regarding the adequacy of existing well and septic systems and any modifications which are necessary to accommodate the proposed use.
 - A. Conform with City's and county's recommendation on connecting to city sewer
 5. The applicant provide proof to the City that new boat slips have been approved by the official governing authority and are to be legally established.
 6. City Officials find the proposed hours of restaurant operation (11:00 am to 10:00 pm, seven days a week) to be acceptable.
 7. All newly erected site signage shall comply with the applicable provisions of Section 12-210 of the Zoning Ordinance, be subject to review by the City's Design Review/Heritage Preservation Commission and be subject to sign permit.
 8. The submitted site plan shall be modified to identify a trash handling area. The trash handling area shall be located such that it will be accessible to refuse pick-up vehicles.
 9. Trash handling receptacles shall be located in an enclosure such that they are screened from view of public rights-of-way and neighboring properties.
 10. The site plan shall be modified to identify a loading area which provides ample maneuvering space for delivery vehicles.
 11. The amount of impervious surface coverage upon the subject site shall not be increased.
 12. Outdoor dining activities shall not be allowed except via the processing of a conditional use permit amendment.
 13. Issues related to site grading and drainage shall be subject to comment and recommendation by the City Engineer, including water quality best management practices.
 14. Comments of other City Staff.
 15. DNR approval must be received for intended use including all aspects relative to runoff containment
 16. Lighting must conform with Afton ordinances, the DNR, and relevant river organizations.

Resolutions

The Planning Commission had a split vote (4-4) on a motion to recommend approval of the CUP application. Attached is a resolution of approval and a resolution of denial for the Council's consideration.

Council Action Requested:

Motion regarding the adoption of a resolution regarding the Afton Marina and Yacht Club Inc. /Boatyard Grill application for a CUP for a restaurant at 16071 31st Street, with findings, and conditions if required.



NORTHWEST ASSOCIATED CONSULTANTS, INC.

4800 Olson Memorial Highway, Suite 202, Golden Valley, MN 55422
Telephone: 763.231.2555 Facsimile: 763.231.2561 planners@nacplanning.com

PLANNING REPORT

TO: Afton Planning Commission

FROM: Bob Kirmis

DATE: May 24, 2018

SUBJECT: Afton - Afton Marina (Boatyard Grill) Conditional Use Permit

CASE NO: 280.02 - 18.02

Date Application Determined Complete:	May 22, 2018
Planning Commission Meeting Date:	June 4, 2018
City Council Meeting Date:	June 19, 2018
60-day Review Deadline:	July 21, 2018

BACKGROUND

The Afton Marina and Yacht Club, Inc. has requested approval of a conditional use permit to allow the establishment of a seasonal restaurant upon its marina site located at 16071 31st Street South. The restaurant is proposed to occupy 2,700 square feet of an existing boat and slip repair building which measures approximately 9,400 square feet in size. Specifically, the restaurant would occupy the eastern portion of the building which is provided views of adjacent St. Croix River.

The restaurant is intended to serve marina members, seasonal boat traffic and community residents. Also, to be noted is that a sit-down menu, full bar service and live, indoor musical entertainment is to be provided.

The subject site is zoned, VHS - C, Village Historic Site Commercial within which both marinas and restaurants are allowed as conditional uses. To accommodate the proposed restaurant use, the processing of a conditional use permit is necessary.

In addition to the base VHS - C zoning designation, the subject site also lies within the Shoreland Management and FF, Flood Fringe Overlay Districts.

Attached for Reference:

- Exhibit A: Site Location
- Exhibit B: Applicant Narrative
- Exhibit C: Aerial Photograph of Marina Site
- Exhibit D: Survey of Marina Site
- Exhibit E: Aerial Photograph of Restaurant Site
- Exhibit F: Survey of Restaurant Site
- Exhibit G: Restaurant Site / Parking Plan
- Exhibit H: Restaurant Floor Plan
- Exhibit I: Restaurant Sign Plan

Note: Exhibit references within the applicant's narrative have been "re-labeled" as planning report exhibits

ISSUES

Conditional Use Permit Processing. The processing of a conditional use permit is necessary to accommodate the proposed restaurant use. The purpose of a conditional use permit process is to provide the City with a reasonable degree of discretion in determining the suitability of certain designated uses upon the general welfare, public health and safety.

In making this determination, the City may consider the nature of the adjoining land or buildings, the effect the use may have upon traffic into and from the site or on any adjoining roads, as well as other factors deemed appropriate in determining the effect a proposed use will have upon general welfare, public health and safety.

Also, as part of the conditional use permit process, the City has the ability to impose certain conditions which are intended to mitigate potential negative impacts associated with a proposed use.

Existing Structure. The restaurant is intended occupy a portion of an existing boat and slip repair building located near the marina's southern boundary (32nd Street South). The building has been part of the marina campus since the 1960's and has accommodated a number of uses over the years. These uses include boat sales, a marina patron clubhouse and most recently, a boat and boat slip repair shop.

While the building's existing floor elevation (688.4') lies above the ordinary high-water level of the St. Croix River (680'), it does not meet applicable structure setback requirements from the river. According to Section 12-637 of the Zoning Ordinance, structures within VHS zoning districts may not be constructed within 100 feet of the ordinary high-water level of the St. Croix River (680 feet). It is estimated that the existing structure (within which the restaurant is proposed) exhibits a setback of approximately 60 feet. As a result, the building is considered legally nonconforming by reason of setback and may not be expanded.

In recognition of the building's legal nonconforming status, no expansions to the existing building envelope are planned (including decks).

The applicant has indicated that boat and slip repair-related materials which need to be removed from the building (to accommodate the proposed restaurant use) are to be stored either at the Lumberyard Pub or at a nearby storage facility.

Access. In consideration of the conditional use permit application, a finding should be made that traffic generated by the proposed use is within the capabilities of the streets which serve the subject property.

The restaurant is proposed to be accessed from the south via a driveway from 32nd Street South. To be noted is that the segment of 32nd Street South which borders the restaurant presently serves a boat launch lane for the adjacent Windmill Marina. In this regard, traffic concerns exist related to the potential “dual use” of the roadway by restaurant patrons and vehicle/boat trailer combinations awaiting launch into the river, particularly on busy weekend days. Taking into account the historical use of 32nd Street South by the Windmill Marina, it is not believed that traffic generated by the proposed restaurant use is within the capabilities of the street as it presently exists. Prior to approval of an unrestricted access from 32nd Street, a traffic analysis study will need to be conducted to determine the impacts of adding traffic from the restaurant to a street that is already congested at peak times.

In consideration of restaurant access, three primary alternatives appear to exist as summarized below.

Option A (32nd Street South). This option involves the creation of a new driveway access to 32nd Street as proposed by the applicant.

Positive aspects of this option include the following:

- Adjacency of public street right-of-way to the restaurant use.
- Minimal disruption of internal site activities would occur upon the Afton Marina property.
- An opportunity for emergency vehicle access (via 32nd Street South) would be provided.

Negative aspects of this option include the following:

- Significant impacts to the Windmill Marina’s boat launching activities would likely result.
- A new 32nd Street South access would add additional vehicle traffic upon an already congested street.
- Improvements to 32nd Street South and a traffic management plan may be required which could impact project timing and cost.
- Construction of a new driveway to serve the restaurant use would impact an existing drainageway located along the north side of the right-of-way.
- The timing of permitting for the driveway by the Valley Branch Watershed

District could impact project timing

Option B (31st Street South). This option involves the use of the Afton Marina's existing driveway access to 31st Street South.

Positive aspects of this option include the following:

- The 31st Street South access presently exists.
- Access to the restaurant site via 31st Street South would have no impact upon the existing traffic congestion on 32nd Street or the operations on the Windmill Marina site to the south.
- Expenses and additional processing time associated with the construction of a new driveway along 32nd Street South would be avoided.

Negative aspects of this option include the following:

- An access drive measuring approximately 800 in length would be provided. Such driveway length is somewhat inconvenient and not ideal for potential emergency vehicle access.
- May have negative impacts to Afton Marina operations.

Option C (32nd Street South and 31st Street South). This option involves the creation of a new driveway along 32nd Street South as a primary restaurant access, with 31st Street South being used as a secondary access (when traffic congestion due to Windmill Marina's boat launching activities are at peak demand).

Positive aspects of this option include the following:

- Adjacency of public street right-of-way to the restaurant use.
- Only occasional disruption of internal site activities upon the Afton Marina property are expected.
- Significant impacts to the Windmill Marina's boat launching activities (at peak use times) could be avoided.
- An opportunity for emergency vehicle access via 32nd Street South would be provided.
- Representatives of the Afton Marina and the Windmill Marina would need to work together to formulate a traffic management plan and define roles and responsibilities.
- To expedite the opening of the restaurant, the 31st Street South access could be used as the primary site access until such time as construction work on the new 32nd Street South driveway is complete.

Negative aspects of this option include the following:

- A new 32nd Street South access would add additional vehicle traffic upon an

- already congested street.
- Improvements to 32nd Street South and a traffic management plan may be required which could impact timing and project cost.
 - At certain times, disruption of internal site activities upon the Afton Marina property may take place.
 - Representatives of the Afton Marina and the Windmill Marina would need to work together to formulate a traffic management plan and define roles and responsibilities.
 - Construction of a new driveway along 32nd Street South would impact an existing drainageway along the north side of the right-of-way.
 - The timing of permitting for the driveway by the Valley Branch Watershed District could impact project timing

Note: To be noted is that representatives of the Boatyard Grill restaurant have expressed a willingness to close the proposed 32nd Street South restaurant access during the morning hours and until 2:00 p.m. on days when significant congestion upon the roadway is anticipated (i.e. Memorial Day, Independence Day and Labor Day holiday weekends).

Understandably, representatives of both the Afton Marina and the Windmill Marina wish to minimize impacts which restaurant-related traffic would have upon their operations.

Planning Staff believes that Option C above represents a reasonable compromise between both interests. This issue should however, be subject to recommendation by the Planning Commission and determination by the City Council.

Setbacks. Building setback requirements in VHS Districts are limited to a 100-foot setback from the ordinary high-water level (OHWL) of the river and a 40-foot setback from bluff lines.

As previously noted, the proposed restaurant building exhibits an approximate 60-foot setback from the ordinary high-water level of the St. Croix River. Also, to be noted is that a building setback of 163 feet exists from the south property line (the 32nd Street South right-of-way) and a 170-foot setback exists from the west property line.

Off-Street Parking

Parking Supply. As shown on the submitted site/parking plan (Exhibit G), a new parking lot is proposed directly south of the restaurant building.

According to the Ordinance, a restaurant is required to provide one parking stall for each 2 ½ seats based upon maximum design capacity. According to the applicants, the restaurant's dining room is to be designed for a maximum capacity of 94 persons. Utilizing such capacity (94 persons), a total of 38 off-street parking stalls are required. As shown on the submitted site/parking plan, a total of 42 spaces are proposed which exceeds the minimum supply requirement of the Ordinance.

Consistent with applicable American Disability Act requirements, the parking lot includes two parking stalls to be devoted to use by the handicapped.

Parking Lot Design. Parking stalls and the drive aisle within the parking lot have been found to meet or exceed the minimum dimensional requirements of the Ordinance (Section 12-196).

Parking Lot Surfacing. According to Section 12-196.A.4 of the Ordinance, parking areas for non-residential uses must be surfaced in asphalt, concrete or a substitute surface approved by the City Engineer. According to the applicant, the existing gravel parking area located on the south side of the restaurant building is to be resurfaced in asphalt.

Recognizing that the parking lot is located in close proximity to the St. Croix River, the conditional use permit process provides an opportunity to examine stormwater runoff and determine if certain improvements can be made to improve water quality. As a condition of conditional use permit approval, the City Engineer should provide comment and recommendation related to stormwater management improvements.

Building Design. While it is understood that no exterior structural alterations to the existing building are proposed, some information should be provided by the applicant to document the exterior building appearance of the restaurant and related finish materials.

Impervious Surface Coverage. The area in which the parking lot is proposed is presently an impervious surface and no expansion of the building is proposed. Therefore, no increase in the amount of impervious surface coverage is proposed as part of the application. As a condition of conditional use permit approval, it is recommended that the amount of impervious surface coverage not be increased.

Fencing. As shown on the submitted site plan, the applicants wish to construct a fence along the south building line of the restaurant to separate restaurant activities from Marina operations to the north. A gate is proposed within the fence to allow for the passage of emergency and authorized vehicles.

The acceptability of the proposed fence (and fence gate) is directly related to access. If for instance, primary access to the restaurant were to be provided via 31st Street South, the erection of such fence may not be appropriate.

Sewer and Water Service. Considering the proposed change in use (from boat and boat slip repair to a restaurant), it is important that facilities are in place to accommodate likely increased water demands of the restaurant. As a condition of conditional use permit approval, the City Engineer and/or Washington County Department of Public Health should provide comment and recommendation regarding the adequacy of existing well and septic systems and any modifications which are

necessary to accommodate the proposed use. This could include the connection of the restaurant to the new City sanitary sewer system, which is now available.

Boat Slips. It appears that additional boat slips are being proposed to accommodate restaurant patrons who are to access the restaurant by boat. The City of Afton does not have the authority to approve or deny structures erected within the riverway.

As a condition of conditional use permit approval however, it is recommended that the applicant provide the City with proof that such structures have been approved by the official governing authority and are to be legally established.

Noise / Outdoor Dining. As noted previously, musical entertainment provided at the restaurant is occur indoors. In this regard, no noise-related impacts are anticipated.

It is also understood that no outdoor dining is proposed as part of the conditional use permit application. Thus, exterior noise associated with such activity is also not considered an issue. Should outdoor music or accessory outdoor dining be proposed at some future point however, the processing of a conditional use permit amendment would be necessary.

Hours of Operation. As part of conditional use permit processing, the City has the ability to impose limits on hours of business operation. According to the applicant, the restaurant's hours of operation will be 11:00 am to 10:00 pm, seven days a week. As a condition of conditional use permit approval, such business hours should be found to be acceptable to City Officials.

Site Lighting. No changes to existing exterior lighting are proposed as part of the conditional use permit request. The applicant believes that existing, wall-mounted light fixtures upon the building will be sufficient to support the operation of the restaurant.

If new or significantly modified lighting is proposed at some future point, the processing of a conditional use permit amendment will be necessary.

Signage. The applicants wish to erect a single sign above the east doors of the restaurant building. According to the applicant, the sign will be visible to river traffic, but it will not be illuminated.

It appears that a wall sign is proposed which will replace a sign which advertises the previous use.

As a condition of conditional use permit approval, all newly erected site signage must comply with the applicable provisions of Section 12-210 of the Zoning Ordinance, be subject to review by the City's Design Review/Heritage Preservation Commission and be subject to sign permit.

Trash Enclosure. The submitted site plan does not identify an exterior trash handling area. As a condition of conditional use permit approval, the submitted site plan should be modified to identify a trash handling area. The trash handling area should be located such that it will be accessible to refuse pick-up vehicles.

In addition, it is recommended that trash handling receptacles be located in an enclosure such that they are screened from view of public rights-of-way and neighboring properties.

Deliveries. It is anticipated that the proposed restaurant will periodically receive deliveries. Restaurants and bars are commonly serviced by a variety of vendors and delivery vehicles (i.e. panel trucks, beverage trucks, and semi-trailers).

As a condition of conditional use permit approval, the site plan should be modified to identify a loading area which provides ample maneuvering space for delivery vehicles.

Landscaping. No new landscaping is proposed as part of the conditional use permit application.

Grading and Drainage. Issues related to site grading and drainage should be subject to comment and recommendation by the City Engineer.

RECOMMENDATION

Of primary issue in the consideration of the conditional use permit request is that of site access. Specifically, concerns exist related to the proposed shared use of 32nd Street South at peak use time periods with the Windmill Marina and congestion issues which may result.

Based on the preceding review, Planning Staff recommends approval of the requested conditional use permit to allow a restaurant in a VHS-C zoning district subject to the following conditions:

1. The Planning Commission provide recommendation and the City Council determine the preferred access location to the restaurant site (32nd Street South, 31st Street South or a combination thereof which corresponds to peak demand times).
2. The following access-related conditions shall apply:
 - A. All recommendations of the City Engineer related to driveway and/or street improvements and traffic analysis/traffic management shall be satisfied.
 - B. Any costs associated with the improvement of 32nd Street South, if required, shall be borne by the applicant.

- C. If a new access to 32nd Street South is deemed acceptable by City Officials, such access shall be subject to driveway permit processing.
 - D. An opportunity shall be provided for emergency vehicles to access the restaurant site from 32nd Street South.
 - E. Project development plans shall be modified as necessary to reflect the approved site access location (or locations).
3. Information be provided by the applicant which documents the exterior building appearance of the restaurant and related finish materials.
 4. The City Engineer and/or Washington County Department of Public Health provide comment and recommendation regarding the adequacy of existing well and septic systems and any modifications which are necessary to accommodate the proposed use.
 5. The applicant provide proof to the City that new boat slips have been approved by the official governing authority and are to be legally established.
 6. City Officials find the proposed hours of restaurant operation (11:00 am to 10:00 pm, seven days a week) to be acceptable.
 7. All newly erected site signage shall comply with the applicable provisions of Section 12-210 of the Zoning Ordinance, be subject to review by the City's Design Review/Heritage Preservation Commission and be subject to sign permit.
 8. The submitted site plan shall be modified to identify a trash handling area. The trash handling area shall be located such that it will be accessible to refuse pick-up vehicles.
 9. Trash handling receptacles shall be located in an enclosure such that they are screened from view of public rights-of-way and neighboring properties.
 10. The site plan shall be modified to identify a loading area which provides ample maneuvering space for delivery vehicles.
 11. The amount of impervious surface coverage upon the subject site shall not be increased.
 12. Outdoor dining activities shall not be allowed except via the processing of a conditional use permit amendment.

13. Issues related to site grading and drainage shall be subject to comment and recommendation by the City Engineer, including water quality best management practices.

14. Comments of other City Staff.

cc. Ron Moore, City Administrator
Nick Guilliams, City Engineer



PLANNING REPORT ADDENDUM

TO: Afton Planning Commission

FROM: Bob Kirmis

DATE: June 4, 2018

SUBJECT: Afton - Afton Marina (Boatyard Grill) Conditional Use Permit

CASE NO: 280.02 - 18.02

The intent of this addendum is to clarify and/or provide additional information related to the Afton Marina (Boatyard Grill) conditional use permit application. Such information relates specifically to the issue of access to the proposed restaurant as discussed in the planning report dated May 24, 2018.

In a conference call held on this date, Beverly Aho who serves as legal council for the Afton Marina, advised City Administrator Moose and Planning Consultant Kirmis of the following:

1. The applicants, as part of this CUP application submission, have requested that access be provided to the restaurant **only** via 32nd Street. Alternative access Options B and C in the referenced planning report were suggested by City Staff (in response to potential traffic congestion concerns) during earlier discussions but are not feasible alternatives for the applicants and are **not** supported by the applicants.
2. Afton Marina owns four parcels of property. The parcel of property where the restaurant is to be located is PID # 2302820220003 ("*003"). That parcel is landlocked to the north and to the west and abuts the river to the East.
3. The only public road access to *003 is via 32nd Street, which abuts this parcel on its southern-most boundary.
4. 31st Street does not abut *003. Rather, the public road, 31st Street ends to its east at Pike Street. To the east of Pike Street, is a private driveway that is owned, maintained and used by Afton Marina members, only. The first parcel east of Pike Street is PID #2302820220001, which includes the main marina office. Further to the East, is a small parcel that includes Afton Marina's main

gate and also includes a single-family residential house, PID #2302820220004. Traveling further east on the marina's private driveway, allows entrance to *003, for Afton Marina members only.

5. The main gate allows access by key card or code only. The gate is expensive to maintain and is not intended to accommodate public use.
6. The main gate is for one-way traffic only (in or out) and is only 18 feet in width. Access to the restaurant, pursuant to Afton City code, is a two-way driveway and requires a minimum of 22 feet in width. The driveway proposed in the conditional use permit application from 32nd Street is 22 feet wide and will accommodate two-way traffic going into and out of the parking area.
7. The Afton Marina's by-laws prohibit its real estate from being used for purposes such as public access to a restaurant from 31st Street. For that reason, the lease between the marina and the restaurant also states that vehicle access for the restaurant will be via 32nd Street. Further, the conditional use permit application only references access from 32nd Street for vehicle traffic.
8. As shown on the diagram in the conditional use permit application, a fence is proposed west of the building that will separate the restaurant parking area (south of the building) from the main marina area (north of the building). Only emergency/authorized vehicles will be allowed to cross through a gate in the fence and between the two areas. All Afton Marina members will continue to use the private gate for access, while restaurant patrons will use 32nd Street access.
9. Access from 32nd Street has been requested by Afton Marina independently of the restaurant's use, and is necessary for emergency, fire, and safety reasons as a second entrance to the marina property. Further, the Washington County Fire Boat is now moored at Afton Marina and access from 32nd Street will provide direct access for emergency personnel to the fire boat.
10. Thus, for all the above reasons, representatives of the Afton Marina and the restaurant do not consider the potential site access alternatives B and C as referenced in the planning report to be viable. Rather, the access for the restaurant being considered is via 32nd Street as included in the CUP application.
11. The following notation, as provided on page 5 of the planning report under Option C (32nd Street and 31st Street), should be relocated under Option A (32nd Street).

Note: To be noted is that representatives of the Boatyard Grill restaurant have expressed a willingness to close the proposed 32nd Street South restaurant access during the morning hours and until 2:00 p.m. on days when significant congestion upon the roadway is anticipated (i.e. Memorial Day, Independence Day and Labor Day holiday weekends).

To be understood is that the noted closing of the 32nd Street access is not intended to mean that 31st Street would be used as an alternative access. Rather, the result of such closure would mean that alternative off-site parking locations (for restaurant patrons) would need to be used.

12. The Afton Marina believes that traffic generated by the restaurant use is within the capabilities of 32nd Street and that potential congestion concerns noted by Planning Staff (in the May 24, 2018 planning report) are not warranted. Afton Marina also believes it has the same rights for the restaurant's patrons to use the public road, 32nd St, that abuts its property, as Windmill Marina's customers have. Afton Marina has also worked to mitigate potential congestion problems with the Windmill Marina, by the following:

- Location of the driveway from 32nd Street will be at Afton Marina's western-most possible point allowed under Afton's City ordinance (10' from property boundary), so it is the furthest possible point from Windmill Marina's boat launch.
- Afton Marina will install a "Right-Turn-Only" or "No-Left-Turn" sign when exiting the parking lot such that no traffic leaving onto 32nd Street will be allowed to turn left toward Windmill Marina's boat launch.
- Restaurant seating is limited to 94 patrons. The Afton Marina expects that few patrons will arrive by automobile (and will access the restaurant via an alternative means).
- The restaurant will not open to the public before 11:00 am to alleviate congestion with Windmill Marina's early morning boat launch operations.
- Construction of the driveway to 32nd Street will occur during off-peak times and is expected to be completed in a few days, so it will not impact Windmill Marina's boat launch operations.
- The restaurant has agreed that it will re-direct traffic elsewhere for parking in the rare event that the Windmill Marina's launch area is congested.

As part of the Planning Commission's consideration of the Afton Marina (Boatyard Grill) conditional use permit application, the preceding items should be noted.

cc. Ron Moore, City Administrator
Nick Guilliams, City Engineer
Beverly Aho, Afton Marina Representative

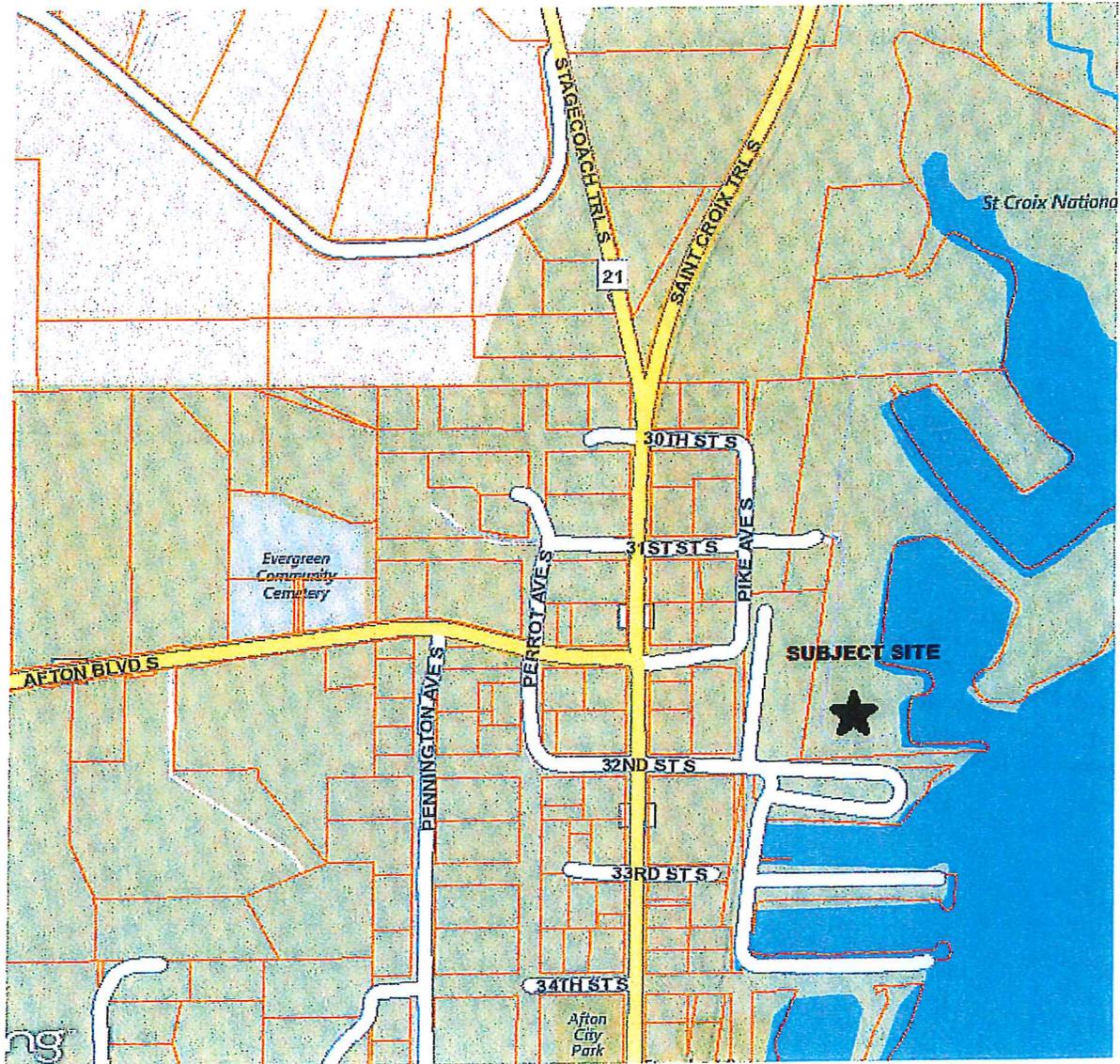


Exhibit A: Site Location

THE "BOATYARD GRILL" at the Afton Marina

The Afton Marina & Yacht Club, Inc. ("Marina") is a private, not for profit entity that owns four parcels of real property and has a general mailing address of 16071 31st Street South, in Afton, Minnesota. It was the first marina on the St. Croix River to receive the prestigious "Green Marina" certification for its best practices in protecting the environment, watershed and river, and recently celebrated its 50th year of operations. The Marina's primary function is to provide services and amenities to its members for environmental, educational, recreational, scientific and social purposes, and to own, promote, develop and maintain all matters relating to its real and personal property, including its buildings, docks containing 184 boat slips, grounds and other property.

In addition, the Marina provides a number of ancillary services to its members, the local boating community and others, including the operation of community meeting spaces, boat repair, fuel sales and dock repair. The Marina also maintains a number of buildings on its property through which it provides these services, including buildings that house its business office and its boat and slip repair operations. See: Exhibit A. At this time, the Marina is looking to extend the scope of its ancillary services to include food and beverage services by converting a portion of its boat and slip repair building ("Building") into a restaurant. To this end, the Marina, in January 2018, agreed to lease to Boatyard Grill, LLC ("Boatyard" or Boatyard Grill) 2,700 square feet of the Building. This space represents approximately 29% of the available square footage and is located at the east-end of the Building which will be used as a restaurant that would service Marina membership, seasonal boat traffic and the local Afton community beginning July 1, 2018.

On February 23, 2018, the Marina submitted a conditional use permit application to the City of Afton. See: Exhibit A. This application requested that the city issue a permit that would (1) allow for the use of the leased portion of the Building to be changed from a boat repair facility to a restaurant and (2) consent to allowing ingress and egress from the Marina's property on 32nd Street S via a proposed driveway on the southwest corner of said property.

On Friday, March 9, 2018, the City responded to the Marina's application with a request for additional information as is permitted by City Ordinance §12-78(E)(2). This request sought additional information on (1) whether the DNR was correct in concluding that a restaurant use was not permissible in the boat repair building (2) the design of the proposed driveway. See: Exhibit B.

In response to the information request, the DNR resolved the zoning issue by subsequently determining that the Marina is located in a flood fringe, rather than a floodway and, as a result, is not prohibited by applicable zoning ordinances from changing the use of the subject building to that of a restaurant. See: Exhibit C. The Marina provided the requested design information to the City regarding the driveway. Consequently, the City's first request for information has been

THE "BOATYARD GRILL"
at the Afton Marina

resolved.

During the months of April and May, representatives of the Boatyard and the Marina met with the City and resolved various concerns regarding the pending CUP application. The co-applicants hereby submit the information below in response to requests by the City, as a supplement to the pending CUP application.

1. LOCATION

The Marina is zoned VHS-C by the city of Afton. See: Exhibit F. This zoning designation allows for "a mix of commercial and residential uses within the old village consistent with the atmosphere of a rural village." Cafes and restaurants are permitted within this zoning district. Marinas are also permitted within VHS-C district so long as it operates within the scope of its conditional use permit, City Code City Code §§ 12-57(G) and 12-224(A), and the applicable mandates of the Lower St. Croix River Bluffland and Shoreland Management ordinance, §12-576 et seq. and the relevant floodplain ordinances, §12-901 et seq., specifically the flood fringe ordinances set out in §12-918.

In this case, since the Building resides within the Marina and the Marina is zoned VHS-C, it is permissible for the Marina to operate a restaurant on its property. This conclusion is not altered by the fact that the Marina is located within the floodplain that runs through the east side of the Downtown Village in Afton because the Building is located in the flood fringe section of the flood plain¹ and therefore its nonconforming uses are also governed by City Code §12-1005 (Permitted uses shall be those uses of land or structures listed as permitted uses in the underlying zoning use district(s)). Copies of the maps and Certificates of Survey required by Section 12-1011 are set forth in Exhibits A and G and provide the location of the Building within the Marina and the flood fringe, the applicable zoning designations and other information regarding the Building and the flood plain.

¹Pursuant to §12-917(B), the "Flood Fringe District shall include: 1) those areas that are designated as Zone AE on the Flood Insurance Rate Map adopted in Section 12-905 that lie outside of a delineated floodway; and 2) those areas designated as Zone AE on the Flood Insurance Rate Map as adopted in Section 12-905 that lie above the ordinary high water level of the St. Croix River as defined in Minnesota Statute 103G.005, subd. 14 and that lie below the 100-year flood elevation, except as further modified in Section 12-917 of this Article."

THE "BOATYARD GRILL"
at the Afton Marina

2. OPERATIONS

As the city is aware, BJS Restaurants, LLC is also the owner of the Lumberyard Pub. Utilizing the economies of scale that are presented by operating two distinct food service establishments close to one another, BJS Restaurants can easily convert the leased space within the Building into a fully functional restaurant and bar (the "Boatyard Grill") that will have a maximum capacity of 94, including tables and bar seating. The restaurant's summer hours of operation will be 11 am and 10:00 pm, seven (7) days a week.² It is anticipated that the Boatyard Grill will offer a full sit-down menu and fully-stocked bar, as well as, select take out items, such as coffee, cold drinks, muffins and croissants, and snacks. On various occasions, live musical entertainment will perform at the restaurant (for ambiance purposes only) and local sporting events will air on the restaurant's flat television screens.

The Building housing the leased space has been part of the Marina campus since the early 1960s and was part of the original marina owned by Minnetonka Boat Works. The Building has been home to a number of nonconforming uses, including boat sales and repair and a clubhouse for marina patrons. Furthermore, it currently employs a number of approved floodproofing techniques, including wall openings on two sides of the leased space and waterproofed floors. The Building is also covered under the Marina's flood insurance policy.

The site plan for the proposed restaurant is attached hereto as Exhibit H. As that plan shows, the leased space can be entered directly through the Building's east doors and patrons will be immediately greeted by a rectangular shaped bar that is situated in the middle of the space. Fourteen (14) tables will be interspersed around it for seated food service. In addition, it is estimated that twenty-two (22) patrons will be able to sit at the bar when enjoying a beverage of their choice or to eat a quick meal.

Behind the bar will be the kitchen and food preparation/storage areas. What makes this design unique is that all of the kitchen and bar equipment, save for the walk-in coolers/freezer and the stainless-steel sinks, will be constructed in modules so that each module can be removed from the building if a flood warning is issued. Boatyard Grill will be contracting with Edward Don & Company, Chicago, Illinois, to design and build the kitchen and the bar. The modules are currently being sourced and bids are only being accepted by vendors who have flood protect/FEMA experience.

² Hours may be adjusted if there is a demand for breakfast service.

THE "BOATYARD GRILL"
at the Afton Marina

In addition to the modular and mobile kitchen, the restaurant will also have:

- A. The dining area, designed for a maximum capacity of 94, will consist of tables, chairs and decorations that will allow for an easy stack and store if the need arises.
- B. Portable storage facilities will be assembled outside the flood plain for use as a storage facility for the tables and chairs.
- C. Large items that need to be removed from the Building will be stored either at Lumberyard Pub or a nearby temporary storage facility that is available for use by BJS Restaurants.
- D. Food, cooking utensils, glass and plate ware will be stored in such a manner that they can be quickly removed and transported by US Foods to a refrigerated storage location.

At this time, it is anticipated that the Building will not need major repairs or changes to its structure or footprint in order to accommodate the Boatyard Grill. Other than additional electrical outlets and improved wiring for television and internet service, the structural improvements will include improved ventilation systems and additional sinks in the bar and kitchen areas.³ It is anticipated that the cost of the structural changes to the Building will not exceed \$50,000, a number less than 50% of the \$160,000 appraised value for the Building.

With respect to lighting, it is anticipated that the lights currently affixed to the outside of the Building, and which currently exist at the Marina, will be sufficient to support the operation of the restaurant. If changes to the currently lighting plan are required, then the Marina and the Boatyard Grill will advise the City and seek a modification to the CUP as is required by law.

As for signage, the Boatyard Grill will be adding a single sign above the east doors of the Building. The sign will be visible to river traffic but will not be illuminated nor will it distract from the river's scenic qualities. The sign shall conform with City Code §12-210, et seq. and is illustrated on the Exhibit I.

The Building is currently plumbed and contains, running water, working sinks and toilet facilities. The Marina's well that services the Building is tested each year by Washington County and provides potable water to the Building. It is anticipated that the current water and septic system

³ The only new pieces of equipment that may not be removeable would be additional stainless-steel sinks and/or a walk-in refrigerator/freezer that will be required by the Department of Public Health to store and preserve perishable food stuffs.

THE "BOATYARD GRILL"
at the Afton Marina

servicing the Building shall be sufficient. If it is subsequently determined that the Building should be tied to the city septic system, the Marina will coordinate with the city to do so.

With respect to parking, the Marina will be blacktopping over the impervious surface area immediately south of the Building and thereby creating a parking lot that will be 200 ft x 80 feet and will accommodate 42 parking spaces. Each parking spot will be approximately 18 feet long and 9 ft wide, located in the center of the area and angled as shown on Exhibit B. After entering through the two-way driveway from 32nd St, vehicles will use a one-way, counter-clockwise access drive for parking spots and for entering and exiting the lot. These requirements meet or exceed the minimums set forth in City Code §12-916.

Finally, the Marina and the Boatyard Grill will comply with City Code §12-89, and the state rules incorporated therein, by working with the city's Zoning Administrator and all applicable county and state officials, with respect to the installation of additional docks near the east entrance of the Building.

3. ACCESS

The area of the parcel to be leased by the restaurant is shown on Exhibit B.⁴ A fence from the southern wall of the building across the property to the west will be constructed to separate the leased premises from the remaining general Marina area. A gate will be installed to allow emergency and authorized vehicles access through/to the entire Marina.

Access to the parking area is as shown on Exhibit B, via a proposed driveway.⁵ The parcel abuts the 32nd St S public right-of-way and is the parcel's sole access to a public street because the entire parcel, which includes the largest geographic area of the Marina, is land-locked to the north and to the west, and borders the river to the east. Thus, the most reasonable access point for this parcel is in its SW corner onto 32nd St. S. Utilizing access from 32nd St S is also consistent with Afton's City Ordinance, Chap. 12, Div. 2, Sec. 12-84 Access Required which states: "All lots or parcels

⁴ The driveway access to/from 32nd St S is independent of the specific 'use' being considered in the CUP application regarding the Boatyard Grill. The driveway will be constructed to meet the requirements established by the city for public and emergency vehicles.

⁵ City Code Sec. 12-1021(C)(4)(j) states that one factor that the City Council should consider when deciding on a CUP for property located in the floodplain is "[t]he safety of access to the property in times of flood for ordinary and emergency vehicles." As such, the 32nd Street access also satisfies this floodplain-specific consideration.

THE "BOATYARD GRILL"
at the Afton Marina

shall have direct adequate physical access for emergency or public safety vehicles...from...an existing improved city street...."⁶

Access by Non-Mechanized Means: Given the proximity of the restaurant to Afton Marina & Yacht Club, Inc.'s members to the north, Windmill Marina's members to the south, and the local community to the west, the Boatyard Grill anticipates that 50% of its customers will access the restaurant by non-mechanized transportation means.

Access by Boat: The Boatyard Grill has leased dockage from the Marina for the exclusive use of its customers to access the restaurant. It anticipates that 25% of its customers will access the restaurant by boat.

Access by Vehicle:⁷ The Boatyard Grill anticipates that approximately 25% of its patronage (approximately 25 cars) will enter and exit the parking lot over the course of its 11-hour service day. The highest traffic flow to the restaurant is anticipated between 12:30 pm – 2 pm (lunch service) and 4:30 pm – 6:30 pm (dinner service). This access will be via a new driveway as shown on Exhibit B, located in the SW corner of the Marina property onto 32nd St S. Traffic coming into the restaurant will flow east on 32nd St S and will turn left (north) into the restaurant parking lot. A *No-Left-Turn* or *Right-Turn Only* sign will be posted for traffic leaving the parking lot, so traffic leaving the Marina will only be allowed to turn right toward St. Croix Trail. No traffic leaving the Marina will be allowed to turn left and toward Windmill's boat ramp to eliminate interference with Windmill's customers.

As stated previously, the Boatyard Grill will open to the public at 11 am; thus, the Boatyard Grill's customers will not conflict with Windmill Marina's morning rush related to its for-profit boat launch operation.

⁶ The Marina has always needed a second, geographical disparate access to its property from 32nd Street S for emergency, safety and other purposes. With 184 slips enabling overnight accommodations and two rental homes, a second entrance to the Marina is consistent with fire, safety and emergency protocol. In addition, the Washington County Fire Boat is moored at the Marina. Access from 32nd St S will provide emergency responders with direct access to the Fire Boat.

⁷ Afton Marina is discussing an exchange of permanent easements with Windmill Marina ("Windmill") that would provide the public access to Afton Marina over and across Windmill's existing driveway from 32nd St S, its boat storage area, and into the Afton Marina parking area shown on Exhibit B. Any such agreement will be completed prior to June 4 to be reviewed by the City and, if approved for public, emergency and safety vehicles, Afton Marina will amend its driveway permit to reflect this modification.

THE "BOATYARD GRILL" at the Afton Marina

These two considerations, the Boatyard Grill's hours of operation and the right-turn-only leaving the Marina's parking lot, are intended to alleviate interference with current traffic patterns on 32nd Street S and provide both marinas with additional emergency access routes.

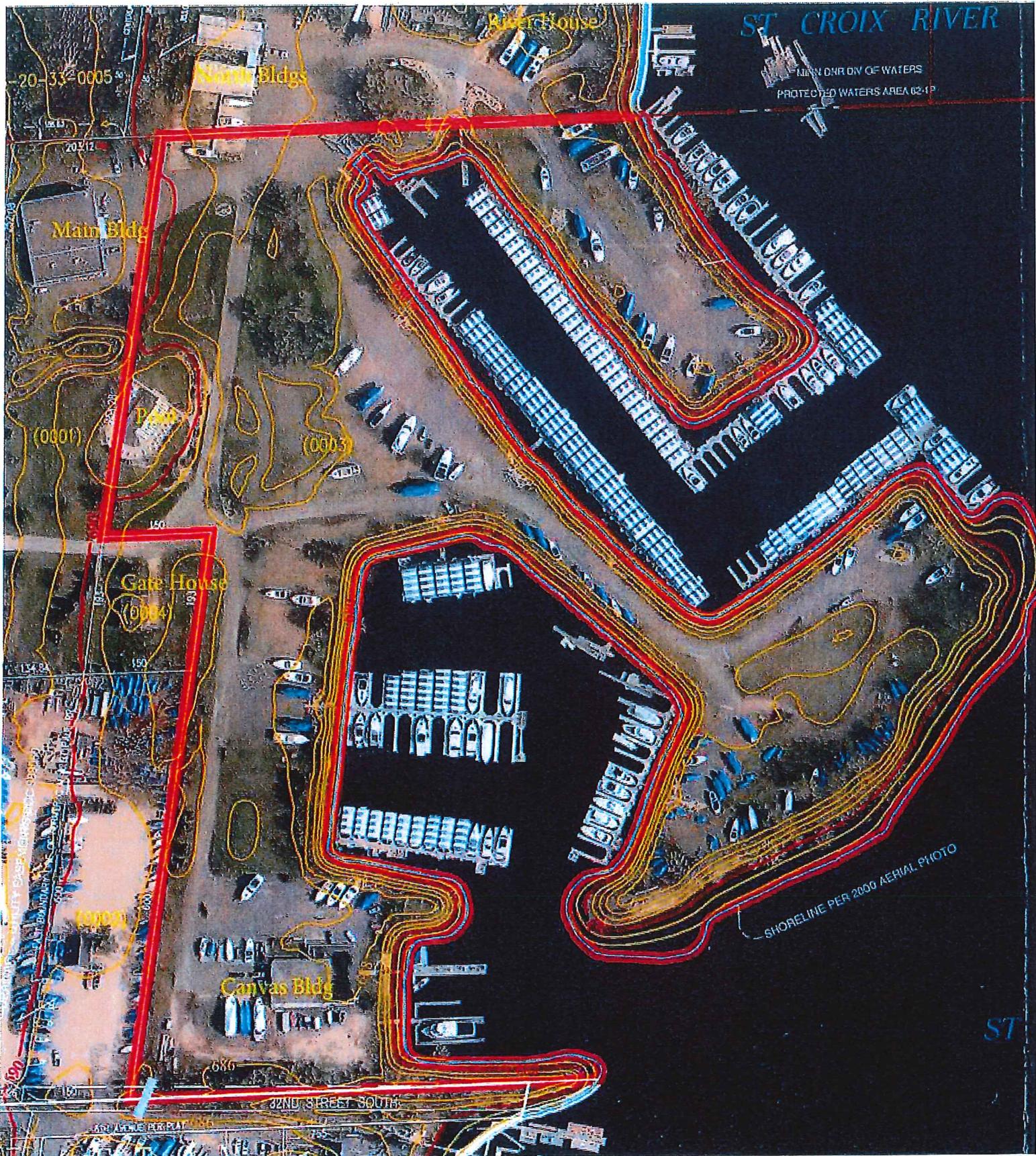
Members of Afton Marina & Yacht Club, Inc. ("Members") cannot use the 32nd St entrance into the general Marina area due to the fence that will separate the leased premises from the general marina area as shown on Exhibit B; Members will continue to utilize the main entry gate off 31st Street S for access to the Marina.

CONCLUSION

The Marina's conditional use permit application, as supplemented, should be granted as the change in use within the Building, is permitted under City Code §12-57 and will directly impact only 29% of a building that has (1) existed in the flood fringe for more than 50 years and (2) will require only minimal structural changes in order to operate the proposed restaurant. Furthermore, the design of the restaurant and its operational functionality is based on mobility and the need to be responsive to potential flooding-related issues.

The addition of the driveway from 32nd St. S will provide the public access to the Marina in a manner that is consistent with Afton City's ordinances and will provide a secondary access to the Marina consistent with emergency and safety protocols; in addition, it will provide Washington County emergency personnel direct access to the Washington County Fire Boat moored at the Marina.

The restaurant will provide both the Marina and the city of Afton with a new attraction that will increase both foot and boat traffic into the city and thereby support the objectives of the city's current development plan. Furthermore, if the restaurant meets its tentative opening date of July 1, 2018, it is the hope that it can participate and enhance the city's summer festivals and holiday celebrations.



Washington County

PARKS DEPARTMENT DIVISION
 111 Road North
 Minnesota 55082
 90
 111.washington.mn.us
 washington.mn.us/ourway

CONTOUR LEGEND

- 10 FOOT INTERVAL CONTOUR
- 2 FOOT INTERVAL CONTOUR

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LEGEND

- DNR PROTECTED WATERS
- DNR PROTECTED WETLAND
- DNR PROTECTED WATERCOURSE
- MUNICIPAL BOUNDARY
- PARK BOUNDARY



SCALE: 1 inch = 190 feet

Exhibit C

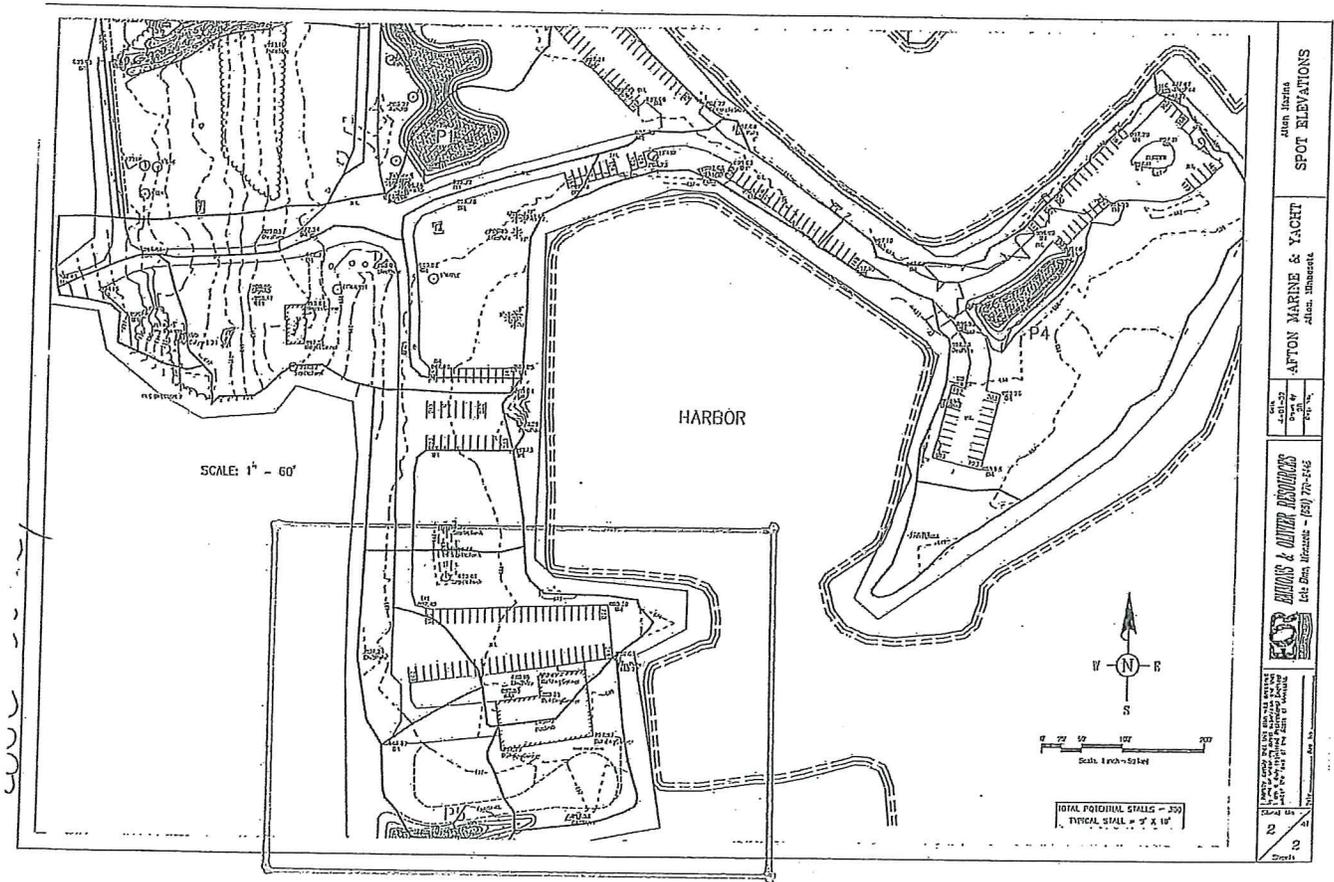


Exhibit D: Survey of Marina Site

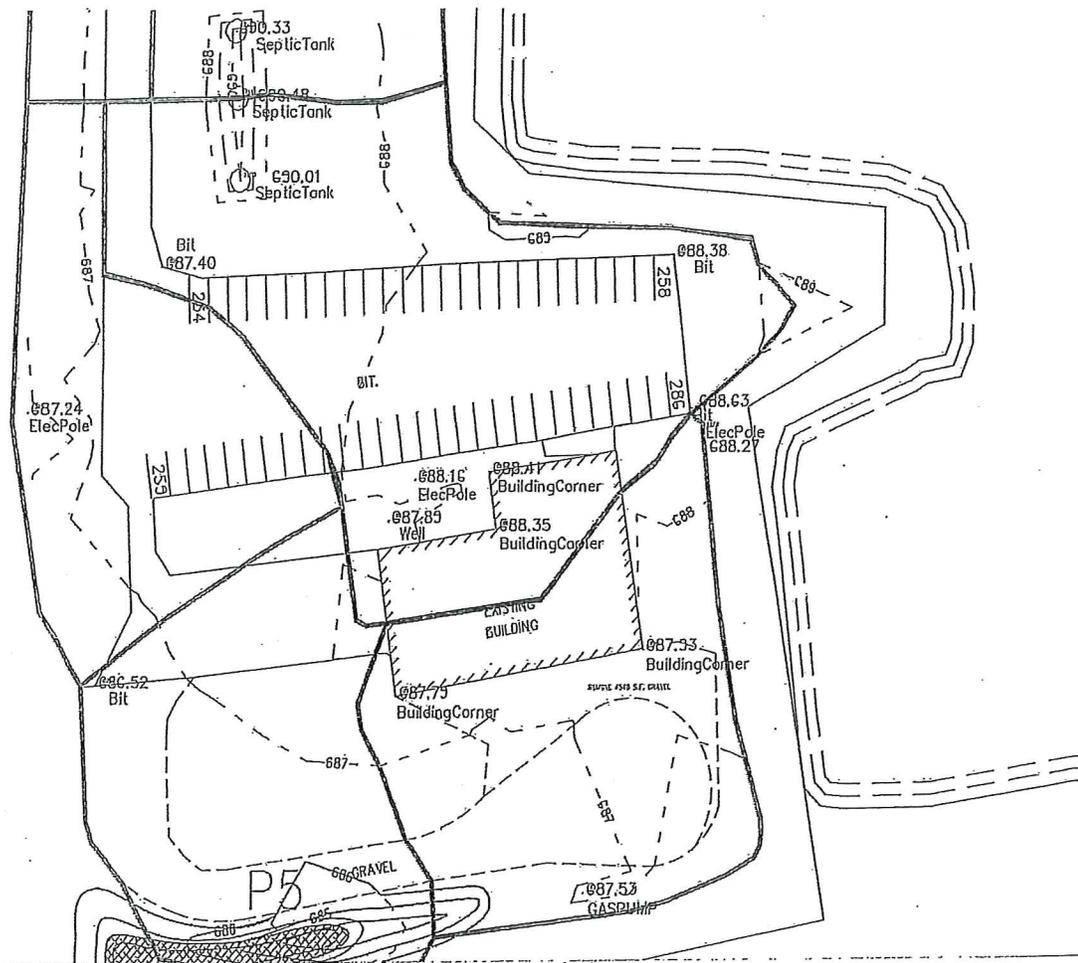


Exhibit F: Survey of Restaurant Site

Proposed Layout

RECEIVED
MAY 22 2018
CITY OF AFTON

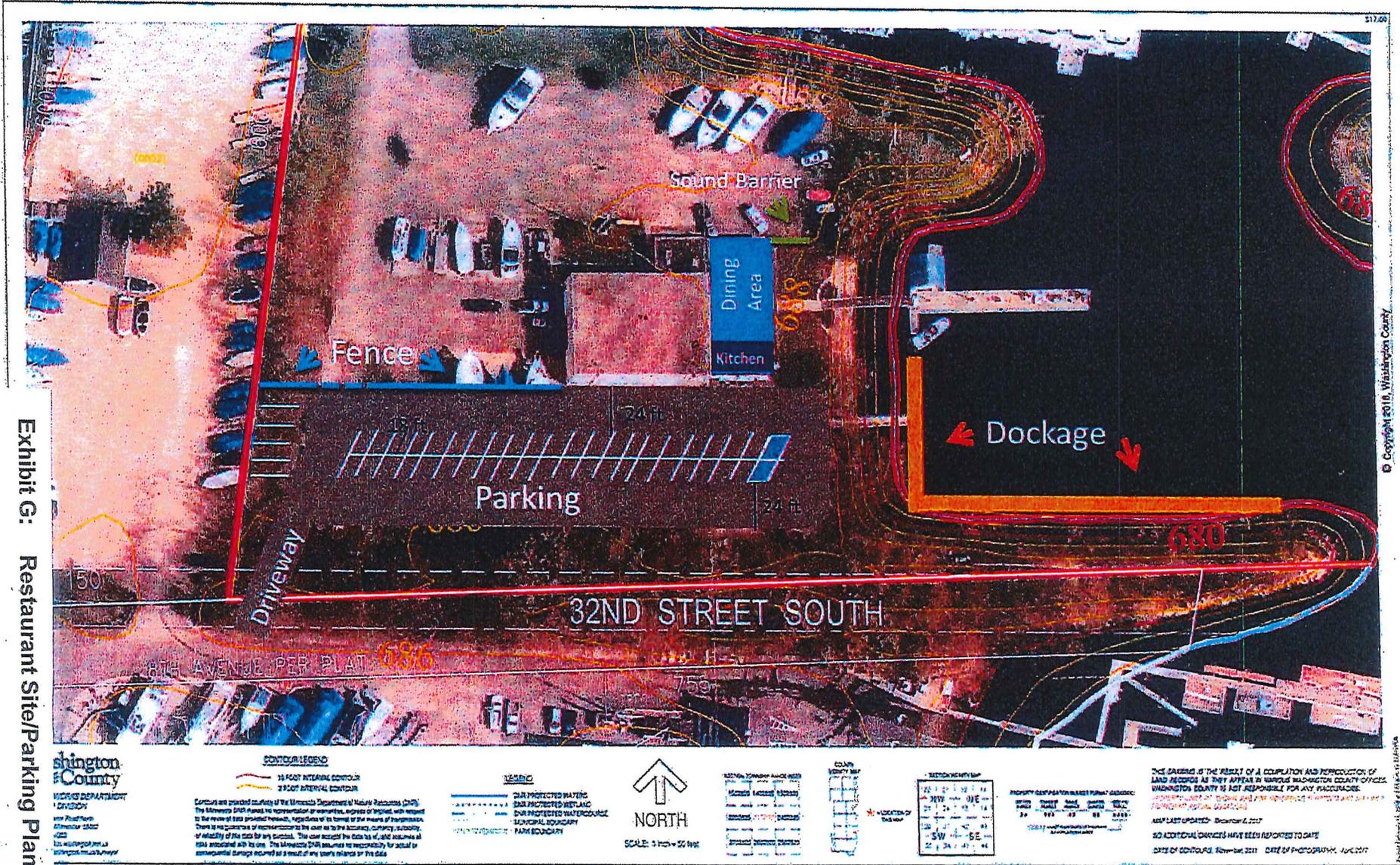


Exhibit G: Restaurant Site/Parking Plan

Washington County
NORTH CAROLINA
PLANNING DEPARTMENT
DIVISION

Copyright 2018, Washington County

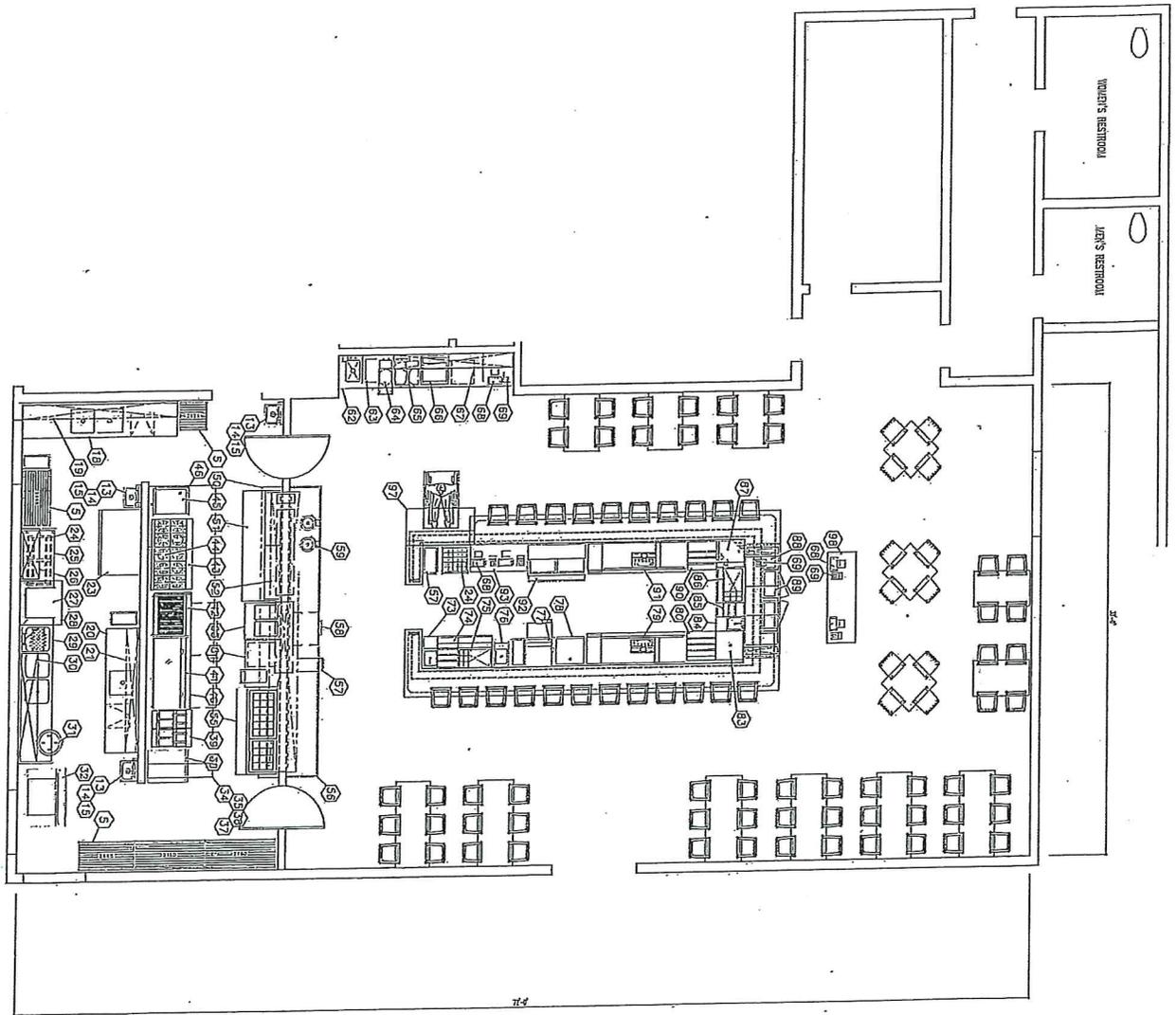


Exhibit H: Restaurant Floor Plan

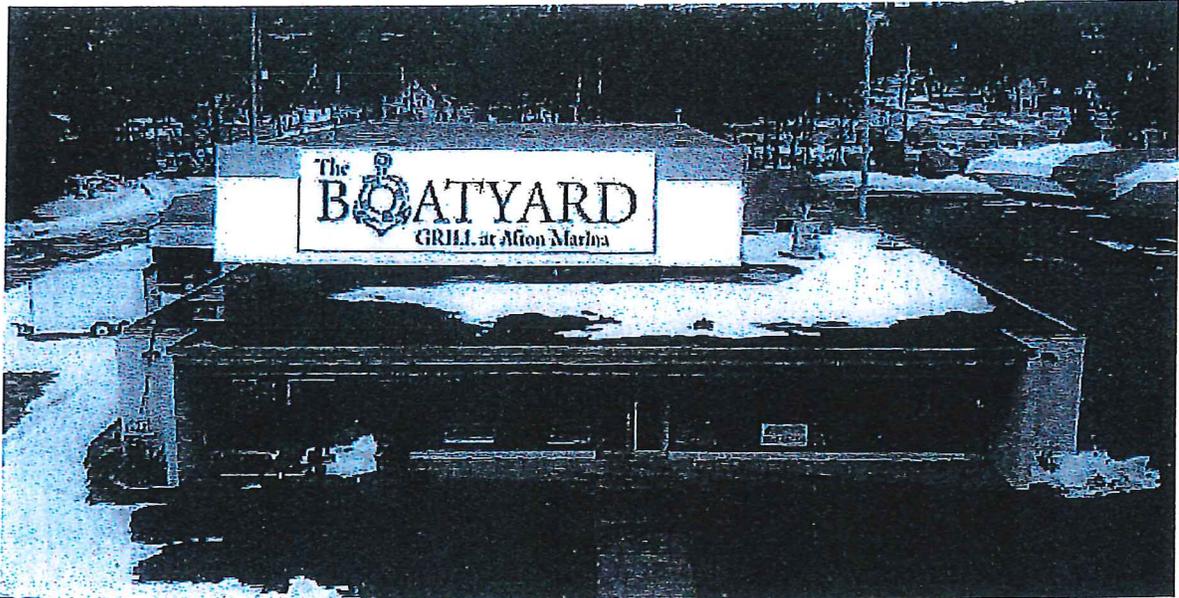


Exhibit I: Restaurant Sign Plan

RESOLUTION 2018-29

CITY OF AFTON
WASHINGTON COUNTY, MINNESOTA

A RESOLUTION APPROVING THE AFTON MARINA AND YACHT CLUB INC./ BOATYARD GRILL CONDITIONAL USE PERMIT FOR A RESTAURANT AT 16071 31ST STREET.

- WHEREAS,** the City of Afton is a municipal corporation organized and existing under the laws of the State of Minnesota; and,
- WHEREAS,** the City Council of the City of Afton has adopted zoning, subdivision, and building regulations as part of the Afton Code of Ordinances, to promote the orderly, economic, and safe development and utilization of land within the City; and,
- WHEREAS,** the Afton Marina and Yacht Club Inc./Boatyard Grill have made an application for a Conditional Use Permit for a restaurant at 16071 31st Street; and,
- WHEREAS,** City staff reviewed the request and drafted a report for consideration; and,
- WHEREAS,** the Planning Commission held a public hearing on the application at its regular meeting of June 4, 2018, and a motion for approval failed on a vote of 4-4-0; and,
- WHEREAS,** the City Council heard the request at its regular meeting on June 19, 2018, at which it considered all of the comments, concerns and recommendations of the Planning Commission and Zoning Administrator and the applicant.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Afton does hereby APPROVE the Afton Marina and Yacht Club Inc./Boatyard Grill application for a Conditional Use Permit for a restaurant at 16071 31st Street based on the findings and conditions as listed below:

Findings:

1. The proposed restaurant use is consistent with the land uses directed in the City's current (2030) and proposed (2040) Comprehensive Plans.
2. The City's VHS - C, Village Historic Site Commercial zoning designation (applicable to the subject site) makes a specific allowance for restaurant uses.
3. The restaurant use is an economic, social and physical asset to the City.
4. The applicant is proposing a 94-seat restaurant with a parking lot that meets parking requirements
5. The proposal does not include any additional lighting.
6. Access into the restaurant site is proposed through a new driveway from 32nd Street
7. Provided certain conditions are imposed, the restaurant use is compatible with land uses which exist in the area.
8. All applicable requirements of the City's Shoreland Management Ordinance, (intended to protect the St. Croix River corridor) shall be satisfied as conditions of conditional use permit approval.
9. The proposed restaurant conforms with all performance standards provided in the Afton Zoning Ordinance including, but not limited to, those related to off-street parking, shoreland management and flood fringe standards.
10. The proposed use will not overburden the City's utility service capacity.
11. The City Engineer has conducted a traffic study which indicated the type and volume of traffic generated by the proposed restaurant use will not have a significant negative impact on the capabilities of 32nd Street South (from which access to the restaurant is to be provided).

RESOLUTION 2018-29

12. Potential traffic conflicts within the 32nd Street South right-of-way can be adequately addressed and managed via the imposition of various conditions of conditional use permit approval, which are included in the list of conditions of approval
13. The proposed 32nd Street South access to the restaurant will result in improved emergency vehicle access to the Afton Marina site.
14. The amount of impervious surface coverage upon the subject site will not be increased.
15. While the City has allowed the Windmill Marina to improve and maintain a roadway in the 32nd Street right-of-way, the right-of-way continues to be a public right-of-way and all members of the public have perpetual rights of passage in the right-of-way.

Conditions of Approval:

1. The Planning Commission provide recommendation and the City Council determine the preferred access location to the restaurant site (32nd Street South, 31st Street South or a combination thereof which corresponds to peak demand times). The following access-related conditions shall apply:
 - a. All recommendations of the City Engineer related to driveway and/or street improvements and traffic analysis/traffic management shall be satisfied.
 - b. Any costs associated with the improvement of 32nd Street South, if required, shall be borne by the applicant.
 - c. If a new access to 32nd Street South is deemed acceptable by City Officials, such access shall be subject to driveway permit processing.
2. An opportunity shall be provided for emergency vehicles to access the restaurant site from 32nd Street South.
3. Project development plans shall be modified as necessary to reflect the approved site access location (or locations).
4. Information be provided by the applicant which documents the exterior building appearance of the restaurant and related finish materials.
5. The City Engineer and/or Washington County Department of Public Health provide comment and recommendation regarding the adequacy of existing well and septic systems and any modifications which are necessary to accommodate the proposed use.
 - A. Conform with City's and county's recommendation on connecting to city sewer
6. The applicant provide proof to the City that new boat slips have been approved by the official governing authority and are to be legally established.
7. City Officials find the proposed hours of restaurant operation (11:00 am to 10:00 pm, seven days a week) to be acceptable.
8. All newly erected site signage shall comply with the applicable provisions of Section 12-210 of the Zoning Ordinance, be subject to review by the City's Design Review/Heritage Preservation Commission and be subject to sign permit.
9. The submitted site plan shall be modified to identify a trash handling area. The trash handling area shall be located such that it will be accessible to refuse pick-up vehicles.
10. Trash handling receptacles shall be located in an enclosure such that they are screened from view of public rights-of-way and neighboring properties.
11. The site plan shall be modified to identify a loading area which provides ample maneuvering space for delivery vehicles.
12. The amount of impervious surface coverage upon the subject site shall not be increased.
13. Outdoor dining activities shall not be allowed except via the processing of a conditional use permit amendment.
14. Issues related to site grading and drainage shall be subject to comment and recommendation by the City Engineer, including water quality best management practices.
15. Comments of other City Staff.
16. DNR approval must be received for intended use including all aspects relative to runoff containment
17. Lighting must conform with Afton ordinances, the DNR, and relevant river organizations.
18. All appropriate provisions of the Afton Code of Ordinances shall be complied with for the duration of the permit.
19. Valley Branch Watershed District provisions and recommendations shall be met for the duration of the permit.

RESOLUTION 2018-29

20. City Engineer specifications and recommendations for the driveway and related culvert shall be met for the duration of the permit.
21. Mn/DOT requirements regarding the culvert shall be met.
22. Infiltration areas shall be constructed according to plans approved by the VBWD and the City Engineer.
23. Design, location, and specifications of all signs shall conform to the Afton Sign Ordinance. All signs shall require a permit to be issued by the Zoning Administrator.
24. Silt fences or other types of erosion control shall be properly installed prior to construction and shall be maintained in good condition until the construction is complete.
25. Non-compliance with the conditions of this permit shall be considered a violation; and, may result in revocation of this permit.
26. Compliance with conditions of this permit shall be monitored on a periodic basis. The conditions of this permit shall apply to the property described and shall not in any way, except as herein noted, be affected by any subsequent sale, lease, or other change in ownership.
27. Construction shall begin within one year of the date of issuance of this permit or the permit shall become null and void.
28. An Amended Conditional Use Permit shall be required for any future expansions or alterations.

ADOPTED BY THE CITY COUNCIL OF THE CITY OF AFTON THIS 19TH DAY OF JUNE, 2018.

SIGNED:

Richard Bend, Mayor

ATTEST:

Ronald J. Moore, City Administrator

Motion by:
Second by:
Palmquist:
Richter:
Ross:
Nelson:
Bend:

RESOLUTION 2018-29XX

**CITY OF AFTON
WASHINGTON COUNTY, MINNESOTA**

**A RESOLUTION DENYING THE AFTON MARINA AND YACHT CLUB INC./BOATYARD GRILL
CONDITIONAL USE PERMIT FOR A RESTAURANT AT 16071 31ST STREET.**

- WHEREAS,** the City of Afton is a municipal corporation organized and existing under the laws of the State of Minnesota; and,
- WHEREAS,** the City Council of the City of Afton has adopted zoning, subdivision, and building regulations as part of the Afton Code of Ordinances, to promote the orderly, economic, and safe development and utilization of land within the City; and,
- WHEREAS,** the Afton Marina and Yacht Club Inc./Boatyard Grill have made an application for a Conditional Use Permit for a restaurant at 16071 31st Street; and,
- WHEREAS,** City staff reviewed the request and drafted a report for consideration; and,
- WHEREAS,** the Planning Commission held a public hearing on the application at its regular meeting of June 4, 2018, and a motion to recommend approval failed on a vote of 4-4-0; and,
- WHEREAS,** the City Council heard the request at its regular meeting on June 19, 2018, at which it considered all of the comments, concerns and recommendations of the Planning Commission and Zoning Administrator and the applicant.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Afton does hereby DENY the Afton Marina and Yacht Club Inc./Boatyard Grill application for a Conditional Use Permit for a restaurant at 16071 31st Street based on the findings listed below:

Findings:

1. Lacking a traffic management plan, traffic congestion generated by both the restaurant use and the boat launching activities associated with the adjacent Windmill Marina use to the south will likely periodically negatively affect both the restaurant use and the boat launch use.
2. It has not been demonstrated that vehicles, including delivery vehicles, will be able to access the site via 32nd Street South without encroachment upon privately-owned Windmill Marina property to the south.
3. Alternative public street restaurant access via 31st Street South could be made available to the site.

RESOLUTION 2018-29XX

ADOPTED BY THE CITY COUNCIL OF THE CITY OF AFTON THIS 19TH DAY OF JUNE, 2018.

SIGNED:

Richard Bend, Mayor

ATTEST:

Ronald J. Moore, City Administrator

Motion by:
Second by:
Palmquist:
Richter:
Ross:
Nelson:
Bend:



Memorandum

To: Ron Moore, City Administrator
From: Nick Guilliams, City Engineer
Date: May 30, 2018
Re: Afton Marina CUP – Boatyard Grill

This memo is being provided to detail the list of items necessary to review the proposed CUP for the Boatyard Grill at Afton Marina from an engineering standpoint. This is preliminary review of the items that need to be provided. These items are subject to additional comments with subsequent submittals.

Procedural Comments:

1. Prior to the start of any construction, permits may need to be obtained from the following agencies:
 - a. Valley Branch Watershed District
 - b. City of Afton Driveway Permit

Stormwater Management Comments:

Culverts:

1. Provide culvert sizing calculations and hydrologic modeling

Water Treatment:

1. We recommend that one or more water quality features (rain gardens, etc.) be used to treat the surface runoff prior to discharging to the adjacent St. Croix River

Street Comments:

1. Show proposed driveway location, alignment, width, radius, and proposed road section. Proposed driveway must meet standards identified in the City of Afton Code of Ordinances.
2. Provide truck turning movements that shows how 32nd street will be impacted.
3. A traffic study will be prepared by the City's consulting engineer to collect weekend traffic data and analyze traffic operations on 32nd Street South. Trip generation for the development will be used to determine how the proposed driveway may impact future operations. This study will compare the impacts of the development with the proposed access as well as an alternate access off 31st Street South and will provide a recommendation on preferred site access given the impacts to the area.

Utility Comments:

Ron Moose, City of Afton
May 30, 2018
Page 2

1. We recommend that the new facility connect to the City's wastewater collection system. As part of connecting, the facility will need to provide a properly sized grease trap to pretreat the wastewater prior to discharging to the collection system.

Please let me know if you have any questions.

Sincerely,
WSB & Associates, Inc.



Memorandum

To: Ron Moose, City Administrator
From: Sean Delmore, PE, PTOE
Date: June 14, 2018
Re: Traffic Study for the Boatyard Grill at the Afton Marina

Introduction

WSB was asked to analyze the existing traffic operations near the Windmill Marina on 32nd Street, near the Afton Marina on 31st Street, and the potential impacts of a proposed development in the northeast quadrant of the 32nd Street and Pike Avenue. See **Figure 1** for the study location, video collection locations, proposed development access and surrounding roadway network. The City has also received documentation from the Windmill Marina that would suggest that there are periods of time on busy summer weekends that queues from the boat launch could extend past this entrance creating issues for the proposed access location.

Turning Movement Data

To get an accurate representation of existing traffic volumes during peak marina operation, video data was collected on 31st and 32nd Street over the Memorial Day Weekend May 25-29, 2018 (Data was collected from 11:30 am Friday to 7:00 am Tuesday). Analysis of video from 10:00 am to 4:00 pm at both marinas on 32nd Street and 31st Street were analyzed. Turning movement counts are provided in the Appendix. Saturday peak hour (10:30-11:30 am) traffic operations analysis display the following information.

32nd Street peak hour Saturday data:

- 98 vehicles
 - 72 vehicles without a boat/trailer
 - 26 vehicles with a boat/trailer
- 18 Pedestrians
- Distribution: 29% westbound, 71% eastbound
- Estimated weekend ADT: 1000 vehicles (during boat season)

31st Street peak hour Saturday data:

- 68 vehicles
 - 64 vehicles without a boat/trailer
 - 4 vehicles with a boat/trailer
- 7 Pedestrians
- Distribution: 29% westbound, 71% eastbound
- Estimated weekend ADT: 800 vehicles (during boat season)

Sunday peak hour (11:00 am-12:00 pm) volumes were also counted on 32nd Street to compare the two weekend days:

- 106 vehicles

- 85 vehicles without a boat/trailer
- 21 vehicles with a boat/trailer
- Distribution ADT: 31% westbound, 69% eastbound

The traffic count data shows that the 32nd Street access is slightly busier, and a large majority (87%) of the boat/trailer traffic uses that access to enter/exit the marina. The only visible queues in the video were caused by people stopping on 32nd Street and getting out of their vehicle to prepare their boat for launch, no operational issues were apparent at either access.

Proposed Development

The “Boatyard Grill” at the Afton Marina is the proposed development which will revise an existing building on the property. The site will consist of a 2700 square-foot restaurant and bar area, open 11:00 am to 10:00 pm, seven days a week. Trips were generated using the rates from the *Trip Generation Manual, 10th Edition* from the Institute of Transportation Engineers. **Table 1** shows the expected daily and peak hour trips generated by the development, as well as the reduction factor used. A 40’ single unit truck (for food and beverage deliveries) was modeled for turning movements at 32nd Street and the driveway access, as shown in **Figure 2**.

Table 1. Trip Generation

PROPOSED LAND USE AND TRIP GENERATION								
Site	Future Use	# of Units	Unit Type	ITE Code/Description	Peak Hr Trips			Saturday Trips
					In	Out	Total	
Afton Marina	Boatyard Grill, LLC	2.7	1000 SF	931 Quality Restaurant	18	12	30	243
Primary Trip Reduction*					(10.8)	(7.2)	(18.0)	(145.9)
TOTAL					7	5	12	97

Assumptions:

*40% of the trips are made specifically for visiting the restaurant (primary trips), 60% of trips are already accounted for by existing marina users.

The number of trips generated by the proposed development during the peak hour on a Saturday will add an insignificant number of vehicles to the 32nd Street access. Based on guidance from the Trip Generation Handbook, 3rd Edition, the number of trips generated was reduced based on a Primary Trip rate of 40% for a quality restaurant. 40% of the raw trip generation number (12 in the peak hour and 97 on an average Saturday) are expected to be new to the road trips which otherwise would not be using 32nd Street. The other 60% of the raw trip generation number are expected to be one of the following:

- Arriving to the marina area by boat
- Already at a marina for other purposes (launching a boat, accessing a boat in a slip)
- Arriving by foot or bicycle

Conclusion

The 12 trips generated by the restaurant would only slightly increase the traffic on 32nd Street from 98 vehicles to 110 vehicles during the peak hour on a Saturday. Traffic impacts are expected to be very minor if the development constructs an access from 32nd Street, as existing volumes are relatively low and no queuing issues were present in the video that was analyzed. The proposed driveway should be designed for to accommodate larger vehicles and delivery trucks. If larger vehicles are to be used for the site, the developer should provide detailed information on the vehicle and demonstrate how the vehicle will access the site.

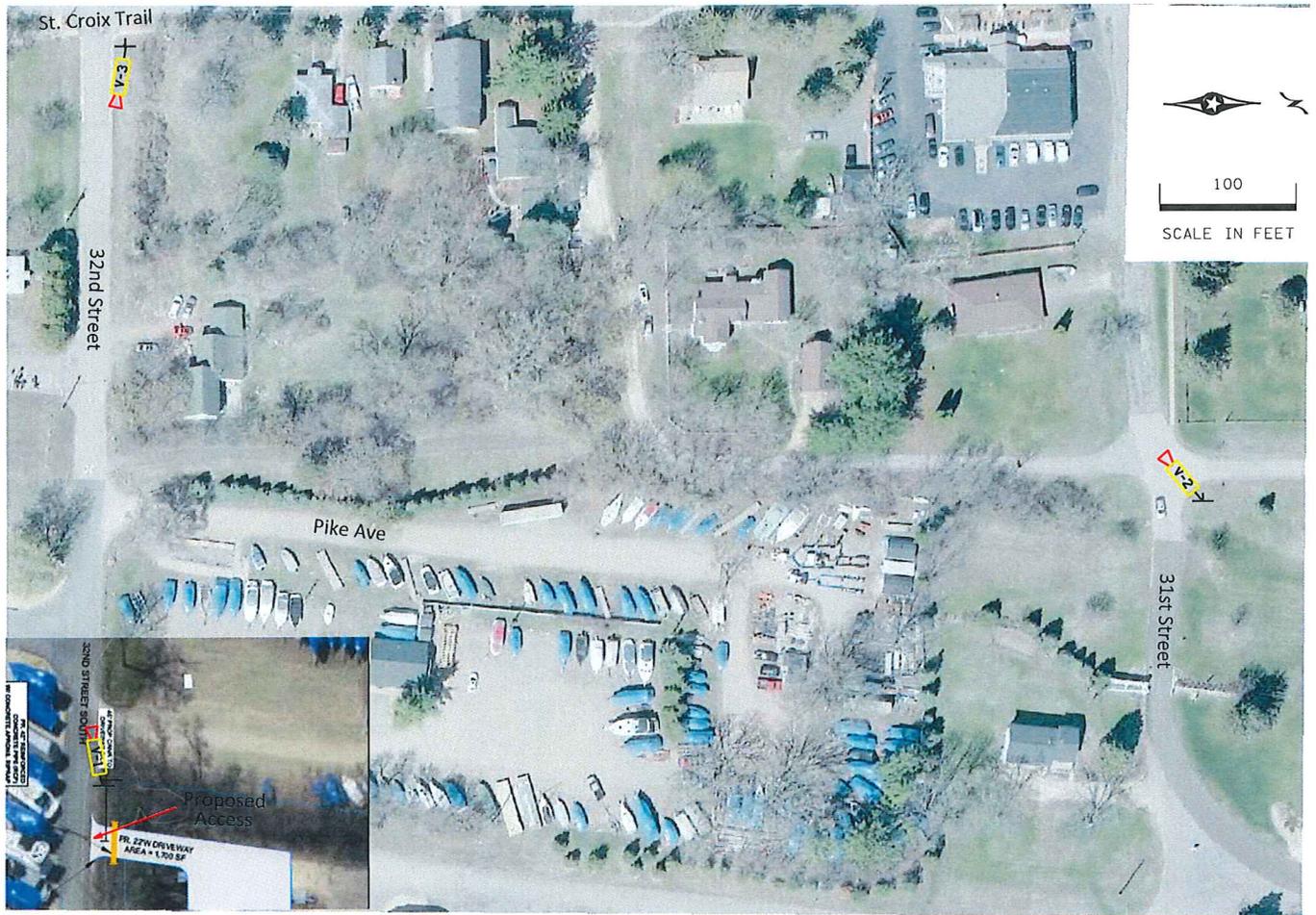


Figure 1- Study Area and Video Collection Locations

32nd Street | Afton, MN

Date: Printed: 6/8/2018
 File Name: C:\Users\p\OneDrive\Afton\Afton_Figure.dgn



Figure 2- Truck Turning Movements
SU-12M (SU-40)

32nd Street | Afton, MN

APPENDIX

WSB & Associates
701 Xenia Ave S
Minneapolis, MN

31st St
 10am - 4pm
 Afton Marina
 vehicles & vehicles with boat/trailers

File Name : 31st st-sat
 Site Code :
 Start Date : 5/26/2018
 Page No : 1

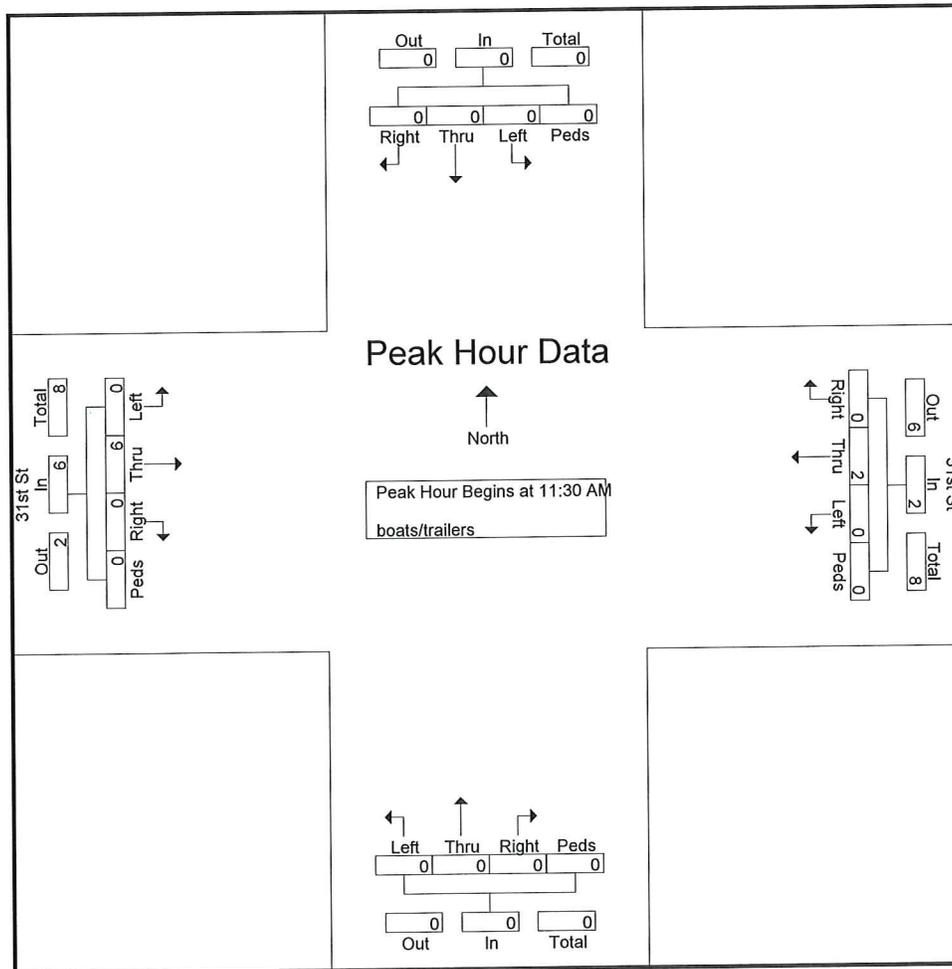
Start Time	From North					31st St From East					From South					31st St From West					Int. Total	
	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total		
	10:00 AM	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	0	0	0	0		0
10:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	0	0	1
10:45 AM	0	0	0	0	0	0	2	0	0	2	0	0	0	0	0	0	0	0	0	0	0	2
Total	0	0	0	0	0	0	3	0	0	3	0	0	0	0	0	0	1	0	0	0	0	4
11:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	2	0	0	0	0	2
11:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	0	0	1
11:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	2	0	0	0	0	2
Total	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	5	0	0	0	0	5
12:00 PM	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	0	2	0	0	0	0	3
12:15 PM	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	0	1	0	0	0	0	2
12:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	0	0	1
12:45 PM	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	1
Total	0	0	0	0	0	0	3	0	0	3	0	0	0	0	0	0	4	0	0	0	0	7
01:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	0	0	1
01:45 PM	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	1
Total	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	0	1	0	0	0	0	2
02:00 PM	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	1
02:30 PM	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	1
02:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	2	0	0	0	0	2
Total	0	0	0	0	0	0	2	0	0	2	0	0	0	0	0	0	2	0	0	0	0	4
03:00 PM	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	0	1
03:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	2	0	0	0	0	2
03:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	0	0	1
Total	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	0	3	0	0	0	0	4
Grand Total	0	0	0	0	0	0	10	0	0	10	0	0	0	0	0	0	16	0	0	0	0	26
Apprch %	0	0	0	0		0	100	0	0		0	0	0	0		0	100	0	0			
Total %	0	0	0	0		0	38.5	0	0	38.5	0	0	0	0		0	61.5	0	0		61.5	

WSB & Associates 701 Xenia Ave S Minneapolis, MN

31st St
10am - 4pm
Afton Marina
vehicles & vehicles with boat/trailers

File Name : 31st st-sat
Site Code :
Start Date : 5/26/2018
Page No : 2

Start Time	From North					31st St From East					From South					31st St From West					Int. Total
	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	
Peak Hour Analysis From 10:00 AM to 01:45 PM - Peak 1 of 1																					
Peak Hour for Entire Intersection Begins at 11:30 AM																					
11:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	1	1
11:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	2	0	0	2	2
12:00 PM	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	0	2	0	0	2	3
12:15 PM	0	0	0	0	0	0	1	0	0	1	0	0	0	0	0	0	1	0	0	1	2
Total Volume	0	0	0	0	0	0	2	0	0	2	0	0	0	0	0	0	6	0	0	6	8
% App. Total																					
PHF	.000	.000	.000	.000	.000	.000	.500	.000	.000	.500	.000	.000	.000	.000	.000	.000	.750	.000	.000	.750	.667



WSB & Associates
701 Xenia Ave S
Minneapolis, MN

31st St
 10am - 4pm
 Afton Marina
 vehicles & vehicles with boat/trailers

File Name : 31st st-sat
 Site Code :
 Start Date : 5/26/2018
 Page No : 1

Groups Printed- Cars +

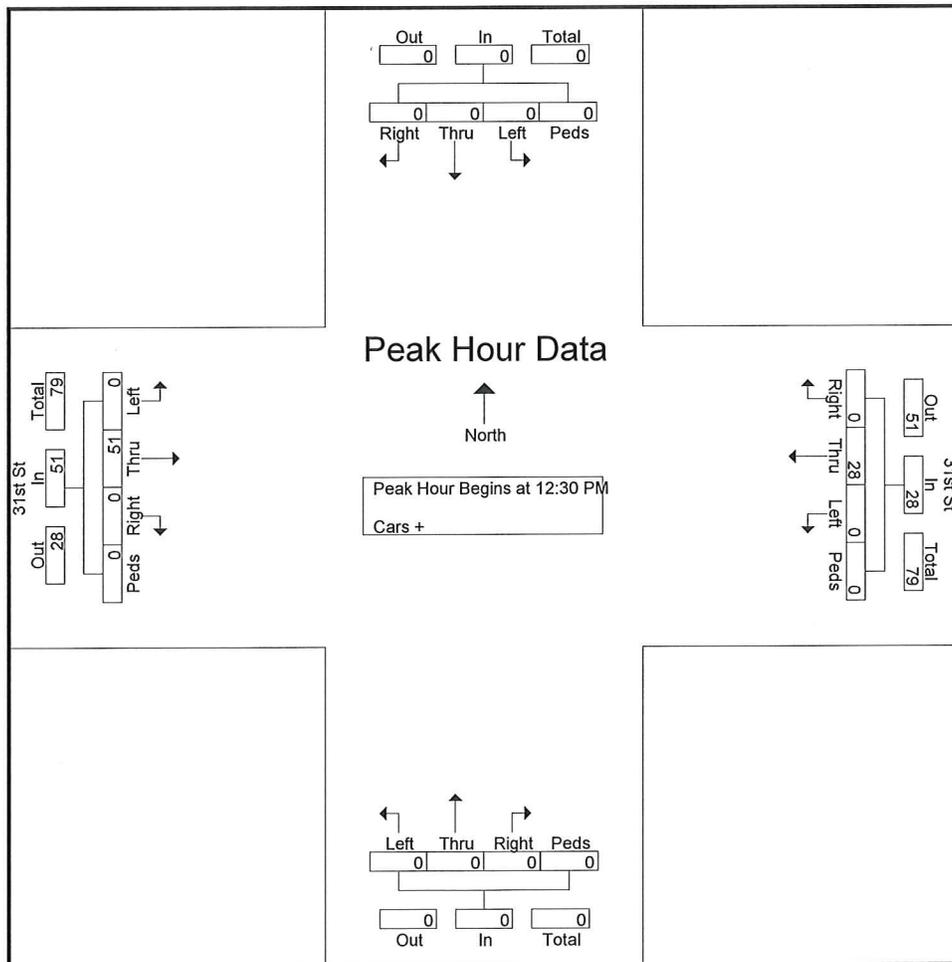
Start Time	From North					31st St From East					From South					31st St From West					Int. Total
	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	
10:00 AM	0	0	0	0	0	0	3	0	0	3	0	0	0	0	0	0	10	0	0	10	13
10:15 AM	0	0	0	0	0	0	3	0	0	3	0	0	0	0	0	0	14	0	0	14	17
10:30 AM	0	0	0	0	0	0	5	0	0	5	0	0	0	0	0	0	10	0	0	10	15
10:45 AM	0	0	0	0	0	0	5	0	0	5	0	0	0	0	0	0	13	0	0	13	18
Total	0	0	0	0	0	0	16	0	0	16	0	0	0	0	0	0	47	0	0	47	63
11:00 AM	0	0	0	0	0	0	4	0	0	4	0	0	0	0	0	0	11	0	0	11	15
11:15 AM	0	0	0	0	0	0	6	0	0	6	0	0	0	0	0	0	14	0	0	14	20
11:30 AM	0	0	0	0	0	0	5	0	0	5	0	0	0	0	0	0	12	0	0	12	17
11:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	12	0	0	12	12
Total	0	0	0	0	0	0	15	0	0	15	0	0	0	0	0	0	49	0	0	49	64
12:00 PM	0	0	0	0	0	0	5	0	0	5	0	0	0	0	0	0	7	0	0	7	12
12:15 PM	0	0	0	0	0	0	3	0	0	3	0	0	0	0	0	0	10	0	0	10	13
12:30 PM	0	0	0	0	0	0	5	0	0	5	0	0	0	0	0	0	20	0	0	20	25
12:45 PM	0	0	0	0	0	0	4	0	0	4	0	0	0	0	0	0	5	0	0	5	9
Total	0	0	0	0	0	0	17	0	0	17	0	0	0	0	0	0	42	0	0	42	59
01:00 PM	0	0	0	0	0	0	10	0	0	10	0	0	0	0	0	0	17	0	0	17	27
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01:30 PM	0	0	0	0	0	0	3	0	0	3	0	0	0	0	0	0	9	0	0	9	12
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Total	0	0	0	0	0	0	23	0	0	23	0	0	0	0	0	0	43	0	0	43	66
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02:30 PM	0	0	0	0	0	0	3	0	0	3	0	0	0	0	0	0	1	0	0	1	4
02:45 PM	0	0	0	0	0	0	5	0	0	5	0	0	0	0	0	0	7	0	0	7	12
Total	0	0	0	0	0	0	20	0	0	20	0	0	0	0	0	0	26	0	0	26	46
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03:30 PM	0	0	0	0	0	0	3	0	0	3	0	0	0	0	0	0	5	0	0	5	8
03:45 PM	0	0	0	0	0	0	6	0	0	6	0	0	0	0	0	0	7	0	0	7	13
Total	0	0	0	0	0	0	22	0	0	22	0	0	0	0	0	0	20	0	0	20	42
Grand Total	0	0	0	0	0	0	113	0	0	113	0	0	0	0	0	0	227	0	0	227	340
Apprch %	0	0	0	0		0	100	0	0		0	0	0	0		0	100	0	0		
Total %	0	0	0	0	0	0	33.2	0	0	33.2	0	0	0	0	0	0	66.8	0	0	66.8	

WSB & Associates
701 Xenia Ave S
Minneapolis, MN

31st St
 10am - 4pm
 Afton Marina
 vehicles & vehicles with boat/trailers

File Name : 31st st-sat
 Site Code :
 Start Date : 5/26/2018
 Page No : 2

Start Time	From North					31st St From East					From South					31st St From West					Int. Total
	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	Right	Thru	Left	Peds	App. Total	
Peak Hour Analysis From 10:00 AM to 01:45 PM - Peak 1 of 1																					
Peak Hour for Entire Intersection Begins at 12:30 PM																					
12:30 PM	0	0	0	0	0	0	5	0	0	5	0	0	0	0	0	0	20	0	0	20	25
12:45 PM	0	0	0	0	0	0	4	0	0	4	0	0	0	0	0	0	5	0	0	5	9
01:00 PM	0	0	0	0	0	0	10	0	0	10	0	0	0	0	0	0	17	0	0	17	27
01:15 PM	0	0	0	0	0	0	9	0	0	9	0	0	0	0	0	0	9	0	0	9	18
Total Volume	0	0	0	0	0	0	28	0	0	28	0	0	0	0	0	0	51	0	0	51	79
% App. Total																					
PHF	.000	.000	.000	.000	.000	.000	.700	.000	.000	.700	.000	.000	.000	.000	.000	.000	.638	.000	.000	.638	.731



WSB & Associates
701 Xenia Ave S
Minneapolis, MN

32nd St
 10am - 4pm
 Afton Marina
 boats/trailers

File Name : 32nd st-sat
 Site Code :
 Start Date : 5/26/2018
 Page No : 1

Groups Printed- boats/trailers

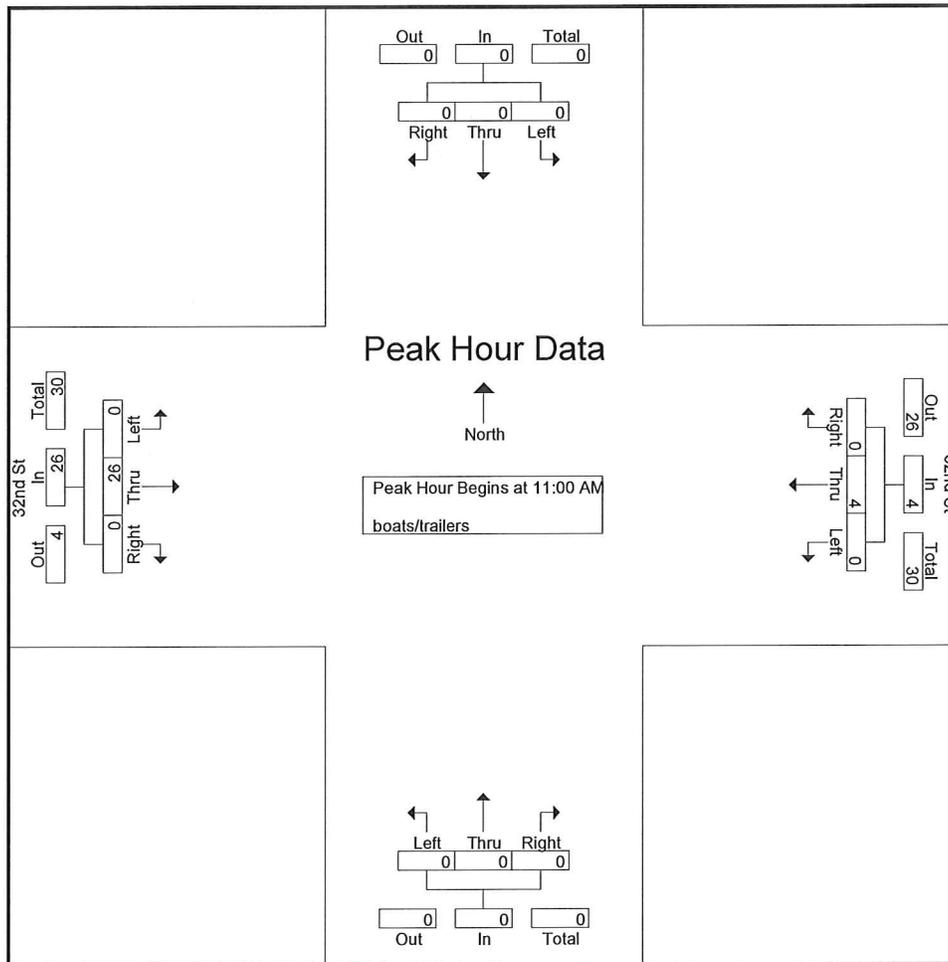
Start Time	From North				32nd St From East				From South				32nd St From West				Int. Total
	Right	Thru	Left	App. Total	Right	Thru	Left	App. Total	Right	Thru	Left	App. Total	Right	Thru	Left	App. Total	
10:00 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	8	0	8	8
10:15 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	3	0	3	3
10:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	5	0	5	5
10:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	5	0	5	5
Total	0	0	0	0	0	0	0	0	0	0	0	0	0	21	0	21	21
11:00 AM	0	0	0	0	0	2	0	2	0	0	0	0	0	5	0	5	7
11:15 AM	0	0	0	0	0	2	0	2	0	0	0	0	0	7	0	7	9
11:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	7	0	7	7
11:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	7	0	7	7
Total	0	0	0	0	0	4	0	4	0	0	0	0	0	26	0	26	30
12:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	4	0	4	4
12:15 PM	0	0	0	0	0	1	0	1	0	0	0	0	0	2	0	2	3
12:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	3	0	3	3
12:45 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	2	0	2	2
Total	0	0	0	0	0	1	0	1	0	0	0	0	0	11	0	11	12
01:00 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	3	0	3	3
01:15 PM	0	0	0	0	0	1	0	1	0	0	0	0	0	3	0	3	4
01:30 PM	0	0	0	0	0	1	0	1	0	0	0	0	0	2	0	2	3
01:45 PM	0	0	0	0	0	4	0	4	0	0	0	0	0	0	0	0	4
Total	0	0	0	0	0	6	0	6	0	0	0	0	0	8	0	8	14
02:00 PM	0	0	0	0	0	1	0	1	0	0	0	0	0	2	0	2	3
02:15 PM	0	0	0	0	0	1	0	1	0	0	0	0	0	1	0	1	2
02:30 PM	0	0	0	0	0	2	0	2	0	0	0	0	0	0	0	0	2
02:45 PM	0	0	0	0	0	2	0	2	0	0	0	0	0	1	0	1	3
Total	0	0	0	0	0	6	0	6	0	0	0	0	0	4	0	4	10
03:00 PM	0	0	0	0	0	3	0	3	0	0	0	0	0	1	0	1	4
03:15 PM	0	0	0	0	0	3	0	3	0	0	0	0	0	0	0	0	3
03:30 PM	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	1	1
03:45 PM	0	0	0	0	0	2	0	2	0	0	0	0	0	1	0	1	3
Total	0	0	0	0	0	8	0	8	0	0	0	0	0	3	0	3	11
Grand Total	0	0	0	0	0	25	0	25	0	0	0	0	0	73	0	73	98
Apprch %	0	0	0	0	0	100	0	100	0	0	0	0	0	100	0	100	
Total %	0	0	0	0	0	25.5	0	25.5	0	0	0	0	0	74.5	0	74.5	

WSB & Associates
701 Xenia Ave S
Minneapolis, MN

32nd St
 10am - 4pm
 Afton Marina
 boats/trailers

File Name : 32nd st-sat
 Site Code :
 Start Date : 5/26/2018
 Page No : 2

Start Time	From North				32nd St From East				From South				32nd St From West				Int. Total
	Right	Thru	Left	App. Total	Right	Thru	Left	App. Total	Right	Thru	Left	App. Total	Right	Thru	Left	App. Total	
Peak Hour Analysis From 10:00 AM to 03:45 PM - Peak 1 of 1																	
Peak Hour for Entire Intersection Begins at 11:00 AM																	
11:00 AM	0	0	0	0	0	2	0	2	0	0	0	0	0	5	0	5	7
11:15 AM	0	0	0	0	0	2	0	2	0	0	0	0	0	7	0	7	9
11:30 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	7	0	7	7
11:45 AM	0	0	0	0	0	0	0	0	0	0	0	0	0	7	0	7	7
Total Volume	0	0	0	0	0	4	0	4	0	0	0	0	0	26	0	26	30
% App. Total	0	0	0		0	100	0		0	0	0		0	100	0		
PHF	.000	.000	.000	.000	.000	.500	.000	.500	.000	.000	.000	.000	.000	.929	.000	.929	.833



WSB & Associates
701 Xenia Ave S
Minneapolis, MN

32nd St
 10am - 4pm
 Afton Marina
 vehicles

File Name : 32nd st-sat
 Site Code :
 Start Date : 5/26/2018
 Page No : 1

Groups Printed- Cars +

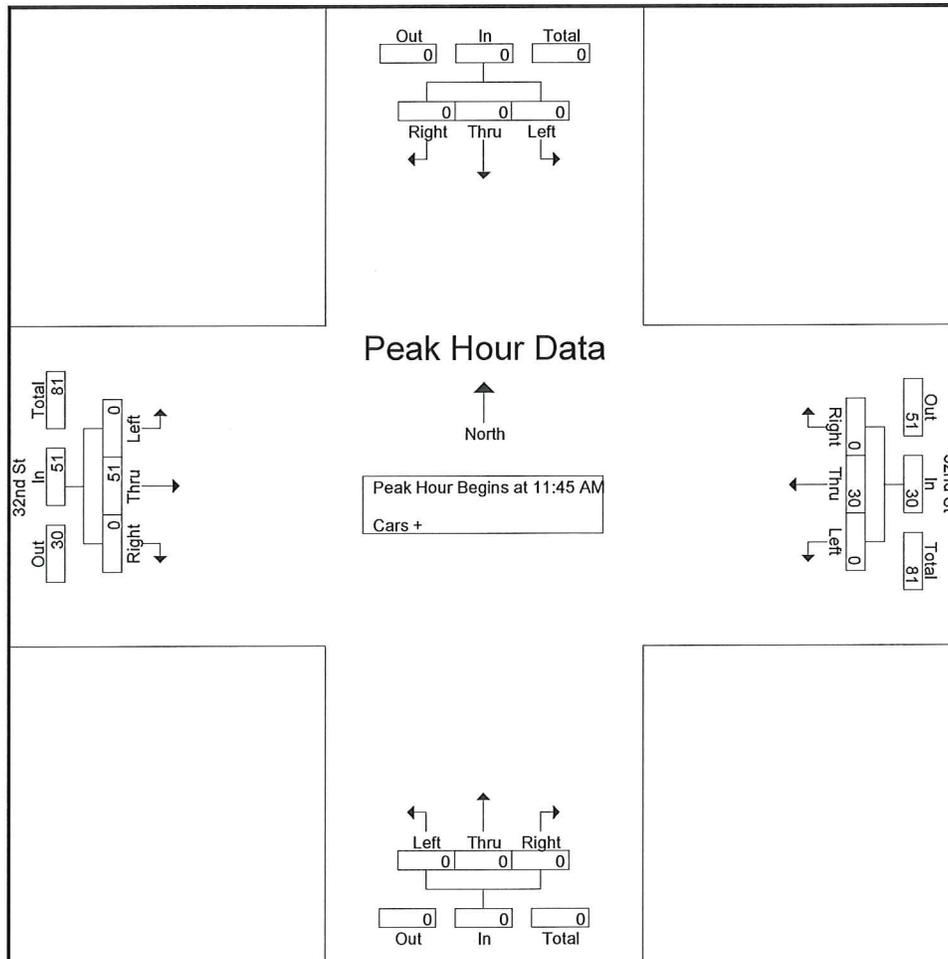
Start Time	From North				32nd St From East				From South				32nd St From West				Int. Total
	Right	Thru	Left	App. Total	Right	Thru	Left	App. Total	Right	Thru	Left	App. Total	Right	Thru	Left	App. Total	
10:00 AM	0	0	0	0	0	4	0	4	0	0	0	0	0	10	0	10	14
10:15 AM	0	0	0	0	0	2	0	2	0	0	0	0	0	13	0	13	15
10:30 AM	0	0	0	0	0	7	0	7	0	0	0	0	0	12	0	12	19
10:45 AM	0	0	0	0	0	6	0	6	0	0	0	0	0	16	0	16	22
Total	0	0	0	0	0	19	0	19	0	0	0	0	0	51	0	51	70
11:00 AM	0	0	0	0	0	5	0	5	0	0	0	0	0	11	0	11	16
11:15 AM	0	0	0	0	0	6	0	6	0	0	0	0	0	9	0	9	15
11:30 AM	0	0	0	0	0	2	0	2	0	0	0	0	0	11	0	11	13
11:45 AM	0	0	0	0	0	6	0	6	0	0	0	0	0	14	0	14	20
Total	0	0	0	0	0	19	0	19	0	0	0	0	0	45	0	45	64
12:00 PM	0	0	0	0	0	6	0	6	0	0	0	0	0	14	0	14	20
12:15 PM	0	0	0	0	0	13	0	13	0	0	0	0	0	11	0	11	24
12:30 PM	0	0	0	0	0	5	0	5	0	0	0	0	0	12	0	12	17
12:45 PM	0	0	0	0	0	1	0	1	0	0	0	0	0	11	0	11	12
Total	0	0	0	0	0	25	0	25	0	0	0	0	0	48	0	48	73
01:00 PM	0	0	0	0	0	6	0	6	0	0	0	0	0	14	0	14	20
01:15 PM	0	0	0	0	0	8	0	8	0	0	0	0	0	10	0	10	18
01:30 PM	0	0	0	0	0	8	0	8	0	0	0	0	0	15	0	15	23
01:45 PM	0	0	0	0	0	4	0	4	0	0	0	0	0	6	0	6	10
Total	0	0	0	0	0	26	0	26	0	0	0	0	0	45	0	45	71
02:00 PM	0	0	0	0	0	5	0	5	0	0	0	0	0	6	0	6	11
02:15 PM	0	0	0	0	0	7	0	7	0	0	0	0	0	10	0	10	17
02:30 PM	0	0	0	0	0	10	0	10	0	0	0	0	0	8	0	8	18
02:45 PM	0	0	0	0	0	6	0	6	0	0	0	0	0	12	0	12	18
Total	0	0	0	0	0	28	0	28	0	0	0	0	0	36	0	36	64
03:00 PM	0	0	0	0	0	7	0	7	0	0	0	0	0	9	0	9	16
03:15 PM	0	0	0	0	0	9	0	9	0	0	0	0	0	7	0	7	16
03:30 PM	0	0	0	0	0	5	0	5	0	0	0	0	0	5	0	5	10
03:45 PM	0	0	0	0	0	16	0	16	0	0	0	0	0	7	0	7	23
Total	0	0	0	0	0	37	0	37	0	0	0	0	0	28	0	28	65
Grand Total	0	0	0	0	0	154	0	154	0	0	0	0	0	253	0	253	407
Apprch %	0	0	0	0	0	100	0	100	0	0	0	0	0	100	0	100	
Total %	0	0	0	0	0	37.8	0	37.8	0	0	0	0	0	62.2	0	62.2	

WSB & Associates 701 Xenia Ave S Minneapolis, MN

32nd St
10am - 4pm
Afton Marina
vehicles

File Name : 32nd st-sat
Site Code :
Start Date : 5/26/2018
Page No : 2

Start Time	From North				32nd St From East				From South				32nd St From West				Int. Total
	Right	Thru	Left	App. Total	Right	Thru	Left	App. Total	Right	Thru	Left	App. Total	Right	Thru	Left	App. Total	
Peak Hour Analysis From 10:00 AM to 03:45 PM - Peak 1 of 1																	
Peak Hour for Entire Intersection Begins at 11:45 AM																	
11:45 AM	0	0	0	0	0	6	0	6	0	0	0	0	0	14	0	14	20
12:00 PM	0	0	0	0	0	6	0	6	0	0	0	0	0	14	0	14	20
12:15 PM	0	0	0	0	0	13	0	13	0	0	0	0	0	11	0	11	24
12:30 PM	0	0	0	0	0	5	0	5	0	0	0	0	0	12	0	12	17
Total Volume	0	0	0	0	0	30	0	30	0	0	0	0	0	51	0	51	81
% App. Total	0	0	0	0	0	100	0	100	0	0	0	0	0	100	0	100	
PHF	.000	.000	.000	.000	.000	.577	.000	.577	.000	.000	.000	.000	.000	.911	.000	.911	.844



AGREEMENT

THIS AGREEMENT, made and entered into as of this 29th day of November, 1982, by and between WINDMILL MARINA, INC., a Minnesota corporation, hereinafter referred to as "Windmill", and the CITY OF AFTON, a municipal corporation, hereinafter referred to as "City".

W I T N E S S E T H:

Windmill owns and operates Windmill Marina, a watercraft marina located on the St. Croix River between 32nd Street and 34th Street in the City of Afton, Minnesota. Windmill Marina is comprised of watercraft docks and boat slips and various improvements and equipment related to the operation of a watercraft marina. Windmill has entered into a purchase agreement for the sale of Windmill Marina to the Windmill Marina Association, Inc., a Minnesota non-profit corporation (hereinafter referred to as "Association").

In order to facilitate the effective operation of Windmill Marina, Windmill and the Association have requested that the City realign 33rd Street lying east of Front Street generally to the middle of the existing peninsula between Windmill Marina boat slips. Windmill and the Association have requested further that the City lease to Windmill and the Association 33rd Street as realigned.

City has agreed to realign 33rd Street and to enter into a lease as requested in exchange for Windmill's undertaking of certain actions for the benefit of the City and its citizens as hereinafter set forth.

NOW THEREFORE, in consideration of the premises and the mutual obligations of the parties hereto, each of them does hereby covenant and agree with the others as follows:

1. Realignment of 33rd Street. City and Windmill shall realign 33rd Street lying east of Front Street in the City of Afton to the location of Proposed Easement "A" described on Exhibit A, attached hereto and made a part hereof, by means of the following procedure:

- a. City shall conduct all necessary legal proceedings to vacate that portion of 33rd Street lying east of Front Street north of the north line of Proposed Easement "A" as extended to the St. Croix River.
- b. Upon the completion of such vacation proceedings, Windmill shall convey to City by quit claim deed in the form attached hereto as Exhibit B, and made a part hereof, an easement for purposes of road, utility and access to the St. Croix River over, under, and across the area designated as Proposed Easement "A" on the attached Exhibit A.

Windmill shall pay all costs of said realignment, including, but not limited to, costs in connection with the above-described vacation and costs of recording the quit claim deed.

2. Lease of Portion of Realigned 33rd Street.

Upon the completion of such vacation proceedings and the conveyance above-described, City and Windmill shall enter into a lease providing for the use of a portion of realigned 33rd Street substantially in the form attached hereto as Exhibit C and made a part hereof. No portion of the public right of way subject to the lease shall be deemed improved

by the City as a public street at this time and the City does not hereby undertake to perform any maintenance of a right of way. Windmill shall have the right to assign all of its right, title and interest as lessee under the lease to the Association.

3. Use and Maintenance of Existing Roadways on Portions of 32nd, 33rd, and 34th Streets and Front Street. Windmill may, at its option, add gravel to roadways currently existing on realigned 33rd Street as well as to roadways currently located on the following described rights of way:

Those parts of 32nd Street and 34th Street lying east of the east line of Front Street and that part of Front Street lying between the north line of 32nd Street and the south line of 34th Street.

Windmill is not hereby required to upgrade these roadways and is prohibited from constructing or installing any improvements or fixtures of a temporary or permanent nature on such roadways or otherwise altering the condition of the roadways without the prior written consent of the City. It is agreed and understood that no portion of these rights of way shall be deemed improved by the City as a public street at the present time. Notwithstanding the foregoing, the rights of way are public rights of way, and Windmill, its successors and assigns, together with all members of the public, have perpetual rights of passage in such rights of way.

4. Access Easements. Simultaneously with the execution of the lease above-described, Windmill shall convey to City by quit claim deed substantially in the form

attached hereto as Exhibit D and made a part hereof, easements for public street right of way purposes over and across a portion of the northwest corner of Block 6 and a portion of the southwest corner of Block 5 described on Exhibit A attached hereto as Proposed Easement "B" and Proposed Easement "C". Windmill shall pay the costs of recording said quit claim deed. City shall exercise its right to use these easements for access to Steamboat Park or the St. Croix River by vehicular traffic by giving the then owner of Windmill Marina written notice of such exercise; provided, however, that public access to 33rd Street from 32nd Street shall be permitted without such written notice. Upon the giving of such written notice, the City and the then owner of Windmill Marina shall negotiate an agreement to share maintenance of those portions of Front Street and 34th Street opened to and used by the public as a result of the exercise by the City of its right to use the easements.

5. 33rd Street Docks. Windmill agrees to remove its docks located in the St. Croix River at the east end of 33rd Street and to pay to the City the sum of \$25,000.00 for use by the City in connection with the construction of new docks at such location. Removal of the docks shall be completed no later than January 1, 1983. Payment of the \$25,000.00 shall be made in cash on the earlier of (i) January 31, 1983; or (ii) the closing on Windmill's sale of Windmill Marina to the Association. In the event January 31, 1983 precedes the above-described closing, Windmill may,

at Windmill's option, pay the \$25,000.00 by promissory note due and payable on or before February 13, 1983.

Windmill agrees further to partially assign or otherwise transfer to City its rights under the following permits as such permits relate to docks for ten (10) slips at the east end of 33rd Street as realigned pursuant to this Agreement: permit from the United States Army Corps of Engineers dated June 12, 1981 and permit from the Minnesota Department of Natural Resources dated March 10, 1981. City agrees to cooperate as necessary to effect such assignments. City acknowledges that such permits, as to the balance of the slips in Windmill Marina, will be assigned by Windmill to the Association.

It is agreed and understood that the City will cause to be constructed and installed docks containing ten (10) slips at the east end of 33rd Street (the "new docks"), which new docks shall be owned by the City and may be operated by the City or leased to a lessee of the City's choice together with the portion of realigned 33rd Street not leased to Windmill pursuant to the lease attached as Exhibit C (the "parking area"). Windmill agrees to permit the City to utilize its launching ramp to place the new docks in the water.

In connection with the operation of the new docks, Windmill shall maintain, repair, and replace telephone poles and electrical wires currently located on Windmill's property and realigned 33rd Street, which provide electrical

power for the area of the new docks and parking area.

Windmill shall install a meter or submeter to measure utility usage of lights servicing the new docks and parking area and shall bill the City monthly for such utility usage.

Replacement of lights and light bulbs shall be the responsibility of the City. In the event the City desires additional electrical power service for the new docks and parking area, all costs and expenses related to such increase in power shall be the sole responsibility of the City.

In the event the City by resolution of its City Council determines that the public interest no longer requires that the new docks and the parking area be made available to the general public and so long as there is no existing lease between the City and another party relating to the new docks and parking area, the City shall offer to Windmill its successors and assigns, the right to lease the docks and/or parking area for a purpose not inconsistent with the above-described permits.

It is agreed and understood that this paragraph 5 sets forth Windmill's obligations with respect to the new docks and that Windmill, its successors and assigns, shall have no other obligations related thereto, including, but not limited to, the obligation to pay any property taxes levied or assessed against said docks.

6. Launching Ramp. Windmill currently owns and operates a boat launching ramp and parking facilities on its property on the St. Croix River adjacent to 32nd Street.

Windmill shall maintain a boat launching ramp at said location and shall make such boat launching ramp and adjacent parking facilities available for use by the general public on a first-come-first-serve basis at fair and reasonable user's fees competitive with fees charged in the area for similar services. Such operation shall be subject to reasonable rules and regulations adopted by Windmill, its successors and assigns. Notwithstanding the foregoing, it is agreed and understood that Windmill, or its successors and assigns, is not obligated to permit the ramp or the parking facilities to be used by persons launching or picking up small boats by hand. In the event the City develops a public launch facility in Steamboat Park, Windmill's obligations under this paragraph 6 shall cease.

7. Launching Small Boats. Windmill agrees to permit members of the general public wishing to hand launch small boats not requiring a launching ramp to enter the marina property adjacent to 32nd Street via the existing roadway for purposes of turning around motor vehicles and hand launching and picking up small boats on the north side of the launching ramp described in paragraph 6 hereof. All such hand launching and picking up of small boats shall be subject to reasonable rules and regulations adopted by Windmill, its successors and assigns. All vehicles used for such launching or pickup shall be located on the marina property only for such period of time as may be necessary for such launching and pickup. In the event the City de-

velopes a public launch facility in Steamboat Park, Windmill's obligations under this paragraph 7 shall cease.

8. Enforcement of Agreement. The parties acknowledge that the rights to performance of the obligations of the others contemplated in this Agreement are special, unique and of an extraordinary character; and that in the event that any party violates or fails or refuses to perform any covenant, condition or provision made by it herein, the other parties may be without an adequate remedy at law. The parties agree, therefore, that in the event they violate, fail or refuse to perform any covenant, condition or provision made herein, the other parties, as the case may be, may, at their option, institute and prosecute an action to enforce performance of such covenant. No remedy conferred in this Agreement is intended to be exclusive and each shall be cumulative and shall be in addition to every other remedy. The election of any one or more remedies shall not constitute a waiver of any other remedy. It is agreed and understood that the Association, its successors and assigns, may enforce the rights and remedies of Windmill hereunder.

9. Severability. Any term of this Agreement which is illegal or unenforceable at law or in equity shall be deemed to be void and of no force and effect to the extent necessary to bring such term within the provisions of any such applicable law or laws, and such terms as so modified and the balance of the terms of the Agreement shall be fully enforceable.

10. Successors and Assigns. This Agreement shall bind and inure to the benefit of the respective parties, their successors and assigns. It is acknowledged and understood that Windmill intends to sell Windmill Marina to the Association, which sale shall include the transfer to the Association of Windmill's rights under this Agreement, and the assumption by the Association of the obligations of Windmill hereunder.

11. AMENDMENTS. This Agreement may be amended by mutual agreement of the parties hereto, their successors and assigns. Any such amendment shall be made by a written instrument duly executed by the parties hereto and shall be made a part of this Agreement.

IN WITNESS WHEREOF, the parties have executed this Agreement the day and year first above written.

WINDMILL

WINDMILL MARINA, INC.

By William A. Sklyouk
Its CEO

CITY


Donald G. Scheel, Mayor

Attest:


Margaret Thuma, Clerk

ADDENDUM TO AGREEMENT

This addendum made and entered into this 20 day of August, 1985, by and between, WINDMILL MARINA ASSOCIATION, INC., a Minnesota non-profit corporation, successor in interest to Windmill Marina, Inc.; and the CITY OF AFTON, a Municipal corporation.

WITNESSETH:

WHEREAS, Windmill Marina, Inc., and the City of Afton entered into an agreement dated NOV 29, 1982, regarding the re-alignment of 33rd Street, a lease of a portion of re-aligned 33rd Street and use and maintenance of existing roadways on portions of unimproved City streets, and other matters; and

WHEREAS, Windmill Marina Association, Inc., is the successor in interest to the rights and obligations of Windmill Marina, Inc., with respect to such agreement; and

WHEREAS, Windmill Marina Association, Inc., wishes to upgrade the roadways described in paragraph 3 of said agreement by blacktopping at its sole expense the roadways described therein and is hereby seeking City approval to do so.

NOW, THEREFORE, in consideration of the premises and the mutual obligations of the parties hereto and pursuant to paragraph 11 of said agreement providing for amendments thereto, Windmill Maria Association, Inc., as successor to Windmill Marina, Inc., and the City of Afton, do hereby covenant and agree with each other as follows:

1. Paragraph 3 of the agreement between Windmill Marina, Inc., and the City of Afton regarding use and maintenance of existing roadways on portions of 32nd, 33rd, and 34th Streets and Front Street may be amended to indicate that Windmill Marina Association, Inc., may, at its sole expense, and pursuant to plans and specifications approved by the City, blacktop the existing roadways on re-aligned 33rd Street and those parts of 32nd Street and 34th Street lying east of the east line of Front Street and that part of Front Street lying between the north line of 32nd Street and the south line of 34th Street.

2. The parties have negotiated an amended lease for a portion of re-aligned 33rd Street and intend to enter into that new lease in connection with this addendum.

3. All other provisions of paragraph 3 of said agreement and all other paragraphs of said agreement shall remain in full force and effect.

IN WITNESS WHEREOF, the parties have executed this agreement the day and year first above written.

WINDMILL MARINA ASSOCIATION,
INC.

By
Its

CITY OF AFTON

By: George Billmeyer, Mayor

ATTEST:

Linda Stancer
Linda Stancer, Clerk

STATE OF MINNESOTA)
) ss.
COUNTY OF WASHINGTON)

On this 4th day of September, 1985, before me, a Notary Public, within and for said County and State, personally appeared James Potts to me personally known, who, being duly sworn did say that he is the President of WINDMILL MARINA ASSOCIATION, INC., and that said instrument was signed in behalf of WINDMILL MARINA ASSOCIATION, INC., by authority of its Board of Directors and said President acknowledged said instrument to be the free act and deed of WINDMILL MARINA ASSOCIATION, INC.

Rachyn Olson
Notary Public

My commission expires 10/10/87

RECEIVED

JUN 13 2018

CITY OF AFTON

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BRIAN S. VIDAS
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June 13, 2018

The Honorable Richard Bend, Mayor of Afton
and Members of the Afton City Council
Afton City Hall
3033 Saint Croix Trail
Afton, MN 55001

**RE: Proposed Driveway Access to 32nd Street from Afton Marina & Yacht Club
Windmill Marina Association, Inc.
Our File No.: 18-075X**

Dear Mayor Bend and Members of the City Council:

Our office represents Windmill Marina Association, Inc (“Windmill Marina”), a not-for-profit corporation. As you know, Windmill Marina has been in operation for over 36 years offering its members and the public boat access to the St. Croix River. Windmill Marina prides itself on its long tenured history and its service to the community. It currently provides the only public access point and boat launch ramp to the St. Croix in the City of Afton. The purpose of this letter is to provide the City Council with Windmill Marina’s position on a driveway permit application submitted by Afton Marina & Yacht Club, Inc. (“Afton Marina”).

The 1982 Agreement

In 1982, Windmill Marina entered into an agreement with the City of Afton (the “City”) to “facilitate the effective operation of Windmill Marina” and to clarify its use of 32nd Street east of the levy (the “Agreement”).¹ The parties agreed that the parts of 32nd Street lying east of the east line of Front Street would be maintained by Windmill Marina and that “no portion of [the] rights of way [were to] be deemed improved by the City as a public street at that present time.” The Agreement has continued to be in full force and has only been amended once—in August 1985—when Windmill Marina sought approval to pave all roadway surfaces used by Windmill Marina east of the levy covered by the Agreement. Though the Agreement maintains a public right-of-way from 32nd Street over Windmill Marina’s property to the St. Croix, that was done to ensure public passage to the St. Croix River. It did not impair Windmill Marina’s rights as a private property owner or its rights to control and maintain the roadway and boat launch operations. Again, the purpose of the 32nd Street right of way agreement was to ensure public passage to the St. Croix River.

¹ A copy of the Agreement is enclosed as Exhibit “A.”

For your reference, a depiction of the area is as follows:

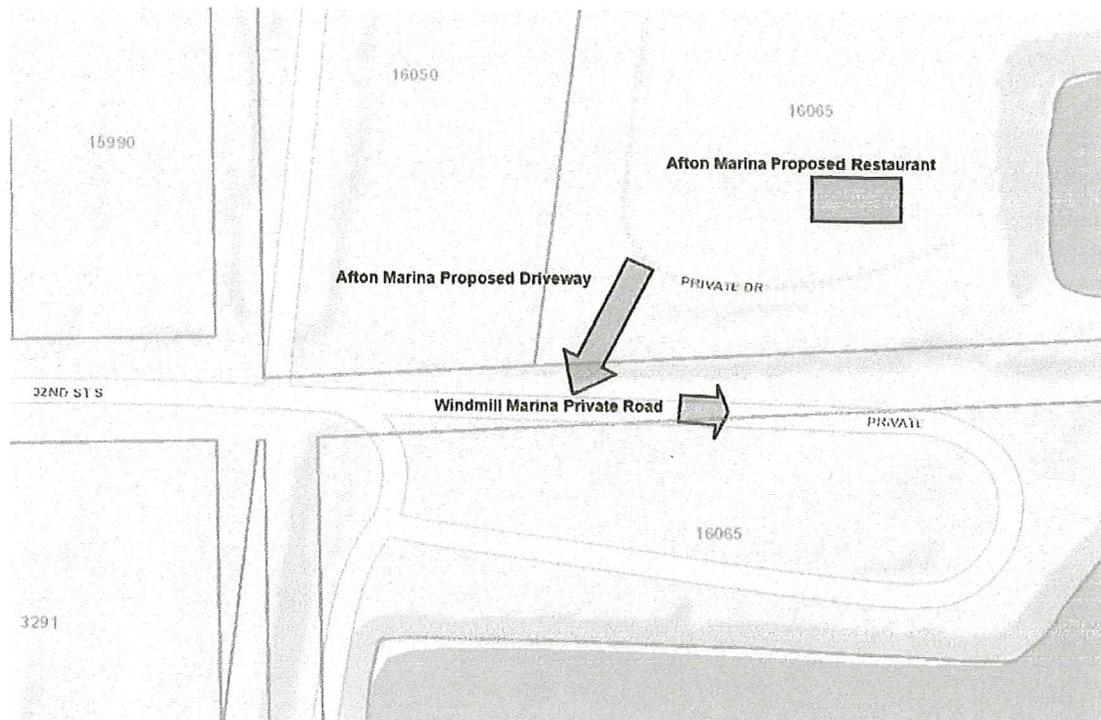


For the ensuing 36 years, Windmill Marina has maintained the roadways lying east of the levy as called for in the 1982 Agreement and has exercised control over all matters attendant to the roadways, including security, paving, maintenance and traffic control. The City of Afton has made no improvements to these roadways nor has it contributed to their maintenance. Indeed, Windmill Marina has had no expectation for the City to do so. Recently, when the City instituted its new sanitary sewer system, it did restore the asphalt on the portion of the roadway located on 32nd Street east of the levy back to its original condition, but this was done due to damage caused by the utility work. Other than this one occasion, the City has undertaken no maintenance activity on the portion of any right of way lying east of the levy.

In its management of these roadways, Windmill Marina employs dedicated staff and security to regulate traffic on the right of way. During its busy summer season, particularly on weekends and holidays, Windmill maximizes the use of the 32nd Street right of way by directing vehicles to utilize both sides of the roadway. This is necessary considering the relatively narrow width of the area and the number of vehicles which are seeking river access. In keeping with the spirit of the Agreement, Windmill Marina does its best to ensure that its members and the public can enjoy the marina and river to the fullest extent possible.

The Proposed Driveway Application

In March 2018, it came to Windmill Marina's surprise when it discovered that Afton Marina announced plans seeking a driveway permit from 32nd Street to access Windmill Marina's property. Afton Marina has stated that it wishes to establish access to a restaurant where its existing canvas shop is currently located. The following depicts the proposed driveway²:



Approving Afton Marina's driveway permit application would seriously undermine Windmill Marina's business and its efforts to provide public passage to the St. Croix. The traffic added by the restaurant patrons would exacerbate an already congested roadway and would interrupt the ebb and flow of Windmill Marina's boat launch activities. Moreover, it would place an additional financial burden on Windmill Marina to oversee additional traffic flow and to maintain the roadway entirely on its own, without any compensation from Afton Marina. Additional security measures would also be required to account for the additional commercial traffic traveling to and from the restaurant through Windmill Marina.

Importantly, Afton Marina has no legal right to access 32nd street via Windmill Marina's private property. Afton Marina already utilizes a private road that links to 31st Street. Afton Marina should continue utilizing its existing ingress/egress point via 31st Street, especially considering that 31st Street is much less utilized than 32nd Street. 32nd Street is one of the most congested roadways in all of Afton.

Afton Marina has argued that it is landlocked and that it should be entitled to access Windmill Marina's property. Such argument is without legal basis. 32nd Street east of the levy never has been an improved public street nor has Afton Marina ever had access to it. Afton Marina continues to have reasonably convenient and suitable access to abutting public streets. *See Yarmon v. Minn. Dep't of Transp.*, 2016 WL

² Source: Washington County Maps online:
<http://maps.co.washington.mn.us/WCGIS?MapExtent=3004247,294974,3007074,296517>

6077143 (Minn.App.Ct. Oct. 17, 2016); *Hendrickson v. State*, 267 Minn. 436, 127 N.W.2d 165 (Minn. 1964).

Afton Marina has failed to show how the proposed driveway is but more than a mere convenience. First, it is our understanding that Afton Marina is the owner of the adjacent parcels of land that abut the 30+ acre parcel containing its marina. Employees and guests seeking access to Afton Marina currently cross over two parcels of land from 31st Street:



Public records show that the two parcels, identified as parcel 16071 and 16053 on the map above, are each owned by Afton Marina & Yacht Club Inc., the same owner of the 30+ acre parcel at issue (identified as parcel 16065). Afton Marina simply cannot argue in good conscience that it is landlocked, since there is no separation of title among the three parcels that one must travel over to access the nearest public street. Afton Marina unilaterally controls its circumstance and can ensure reasonable access to the abutting roadways indefinitely by carving out a private right-of-way easement should they wish to sell one or more of their parcels to a third party in the future.

Second, the proposed driveway is not necessary since individuals have accessed Afton Marina by way of 31st Street with no issue for the past 60 years. There are no obstacles such as topography, houses, trees, zoning ordinances, or the need for extensive paving, that may create conditions where access over Windmill Marina's property is necessary. See *Magnusson v. Cossette*, 707 N.W.2d 738, 745 (citing *Rosendahl v. Nelson*, 408 N.W.2d 609, 611 (Minn.App. 1987)). The present boat and canvas repair

building has been accessed from 31st Street for over 50 years. Afton Marina has produced no traffic studies or other analyses demonstrating why 31st Street cannot continue to serve its future needs as it has done in the past. The argument that access cannot go over Afton Marina's property because its by-laws and terms of the lease prohibit it, is totally without merit since the applicant controls the amendment of the by-laws and the terms of the lease. The members of Afton Marina seek to enjoy the economic benefit of the lease and place the burden on Windmill Marina.

As an alternative, access to the restaurant could come from 31st Street and proceed over the westerly boundary of Afton Marina. If Afton Marina wishes to separate the access from the rest of its marina, it could construct a fence along the access roadway. 32nd Street east of the levy was not an "improved public street" in 1982 and continues to be maintained solely by Windmill Marina pursuant to the agreement between the City and Windmill Marina to this date. The City has the power to improve this area into a public street. But does the City then wish to assume the maintenance obligations? Since the street would dead end, there would have to be a 45-foot radius turnaround. Is this feasible? A public right of way is not the same as a public street. Minn. Stat. 237.162(3) (2017). The drafter of the 1982 agreement understood the difference.

Finally, Afton Marina has disingenuously argued that the proposed driveway permit is necessary due to health and safety concerns. There is no reason why emergency vehicles cannot access Afton Marina by way of 31st Street and the private road it currently utilizes as they have done in the past. Indeed, there hasn't been one instance in the past 60 years that emergency vehicles have needed to access Afton Marina by way of 32nd Street through Windmill Marina's property. A more convenient access point would be at the east end of 30th Street right next to the Sheriff's substation.

Conclusion

Though Windmill Marina has no opposition to the use of Afton Marina's building as a restaurant in principle, Afton Marina's proposal to encroach on Windmill Marina's private property cannot be permitted. 31st Street already affords more than adequate access to Afton Marina's property and the proposed restaurant location. There is no reason for Afton Marina to change the manner in which it has accessed its property for the past 60 years. Simply put, Afton Marina's proposal is one of mere convenience and for their sole economic benefit. Afton Marina wishes to maximize its profit and incur as little expense as possible. It seeks to do so by circumventing Windmill Marina's private property rights while at the same time forcing Windmill Marina to incur additional expenses. Afton Marina could easily utilize its existing mode of access through 31st Street and direct restaurant guests southerly along the western corridor, but doing so would come at increased cost that Afton Marina would prefer to avoid. Such financial preferences do not form a basis for encroaching on the private property rights afforded to Windmill Marina.

For these reasons, we respectfully request that the City Council consider Windmill Marina's interests and deny Afton Marina's proposed driveway permit application.

Very truly yours,



Richard J. Gabriel

RJG:BSV\18075X\1401LTR

Cc: Windmill Marina Board of Directors

AGREEMENT

THIS AGREEMENT, made and entered into as of this 29th day of November, 1982, by and between WINDMILL MARINA, INC., a Minnesota corporation, hereinafter referred to as "Windmill", and the CITY OF AFTON, a municipal corporation, hereinafter referred to as "City".

W I T N E S S E T H:

Windmill owns and operates Windmill Marina, a watercraft marina located on the St. Croix River between 32nd Street and 34th Street in the City of Afton, Minnesota. Windmill Marina is comprised of watercraft docks and boat slips and various improvements and equipment related to the operation of a watercraft marina. Windmill has entered into a purchase agreement for the sale of Windmill Marina to the Windmill Marina Association, Inc., a Minnesota non-profit corporation (hereinafter referred to as "Association").

In order to facilitate the effective operation of Windmill Marina, Windmill and the Association have requested that the City realign 33rd Street lying east of Front Street generally to the middle of the existing peninsula between Windmill Marina boat slips. Windmill and the Association have requested further that the City lease to Windmill and the Association 33rd Street as realigned.

City has agreed to realign 33rd Street and to enter into a lease as requested in exchange for Windmill's undertaking of certain actions for the benefit of the City and its citizens as hereinafter set forth.

NOW THEREFORE, in consideration of the premises and the mutual obligations of the parties hereto, each of them does hereby covenant and agree with the others as follows:

1. Realignment of 33rd Street. City and Windmill shall realign 33rd Street lying east of Front Street in the City of Afton to the location of Proposed Easement "A" described on Exhibit A, attached hereto and made a part hereof, by means of the following procedure:

- a. City shall conduct all necessary legal proceedings to vacate that portion of 33rd Street lying east of Front Street north of the north line of Proposed Easement "A" as extended to the St. Croix River.
- b. Upon the completion of such vacation proceedings, Windmill shall convey to City by quit claim deed in the form attached hereto as Exhibit B, and made a part hereof, an easement for purposes of road, utility and access to the St. Croix River over, under, and across the area designated as Proposed Easement "A" on the attached Exhibit A.

Windmill shall pay all costs of said realignment, including, but not limited to, costs in connection with the above-described vacation and costs of recording the quit claim deed.

2. Lease of Portion of Realigned 33rd Street.

Upon the completion of such vacation proceedings and the conveyance above-described, City and Windmill shall enter into a lease providing for the use of a portion of realigned 33rd Street substantially in the form attached hereto as Exhibit C and made a part hereof. No portion of the public right of way subject to the lease shall be deemed improved

by the City as a public street at this time and the City does not hereby undertake to perform any maintenance of a right of way. Windmill shall have the right to assign all of its right, title and interest as lessee under the lease to the Association.

3. Use and Maintenance of Existing Roadways on Portions of 32nd, 33rd, and 34th Streets and Front Street. Windmill may, at its option, add gravel to roadways currently existing on realigned 33rd Street as well as to roadways currently located on the following described rights of way:

Those parts of 32nd Street and 34th Street lying east of the east line of Front Street and that part of Front Street lying between the north line of 32nd Street and the south line of 34th Street.

Windmill is not hereby required to upgrade these roadways and is prohibited from constructing or installing any improvements or fixtures of a temporary or permanent nature on such roadways or otherwise altering the condition of the roadways without the prior written consent of the City. It is agreed and understood that no portion of these rights of way shall be deemed improved by the City as a public street at the present time. Notwithstanding the foregoing, the rights of way are public rights of way, and Windmill, its successors and assigns, together with all members of the public, have perpetual rights of passage in such rights of way.

4. Access Easements. Simultaneously with the execution of the lease above-described, Windmill shall convey to City by quit claim deed substantially in the form

attached hereto as Exhibit D and made a part hereof, easements for public street right of way purposes over and across a portion of the northwest corner of Block 6 and a portion of the southwest corner of Block 5 described on Exhibit A attached hereto as Proposed Easement "B" and Proposed Easement "C". Windmill shall pay the costs of recording said quit claim deed. City shall exercise its right to use these easements for access to Steamboat Park or the St. Croix River by vehicular traffic by giving the then owner of Windmill Marina written notice of such exercise; provided, however, that public access to 33rd Street from 32nd Street shall be permitted without such written notice. Upon the giving of such written notice, the City and the then owner of Windmill Marina shall negotiate an agreement to share maintenance of those portions of Front Street and 34th Street opened to and used by the public as a result of the exercise by the City of its right to use the easements.

5. 33rd Street Docks. Windmill agrees to remove its docks located in the St. Croix River at the east end of 33rd Street and to pay to the City the sum of \$25,000.00 for use by the City in connection with the construction of new docks at such location. Removal of the docks shall be completed no later than January 1, 1983. Payment of the \$25,000.00 shall be made in cash on the earlier of (i) January 31, 1983; or (ii) the closing on Windmill's sale of Windmill Marina to the Association. In the event January 31, 1983 precedes the above-described closing, Windmill may,

at Windmill's option, pay the \$25,000.00 by promissory note due and payable on or before February 13, 1983.

Windmill agrees further to partially assign or otherwise transfer to City its rights under the following permits as such permits relate to docks for ten (10) slips at the east end of 33rd Street as realigned pursuant to this Agreement: permit from the United States Army Corps of Engineers dated June 12, 1981 and permit from the Minnesota Department of Natural Resources dated March 10, 1981. City agrees to cooperate as necessary to effect such assignments. City acknowledges that such permits, as to the balance of the slips in Windmill Marina, will be assigned by Windmill to the Association.

It is agreed and understood that the City will cause to be constructed and installed docks containing ten (10) slips at the east end of 33rd Street (the "new docks"), which new docks shall be owned by the City and may be operated by the City or leased to a lessee of the City's choice together with the portion of realigned 33rd Street not leased to Windmill pursuant to the lease attached as Exhibit C (the "parking area"). Windmill agrees to permit the City to utilize its launching ramp to place the new docks in the water.

In connection with the operation of the new docks, Windmill shall maintain, repair, and replace telephone poles and electrical wires currently located on Windmill's property and realigned 33rd Street, which provide electrical

power for the area of the new docks and parking area.

Windmill shall install a meter or submeter to measure utility usage of lights servicing the new docks and parking area and shall bill the City monthly for such utility usage.

Replacement of lights and light bulbs shall be the responsibility of the City. In the event the City desires additional electrical power service for the new docks and parking area, all costs and expenses related to such increase in power shall be the sole responsibility of the City.

In the event the City by resolution of its City Council determines that the public interest no longer requires that the new docks and the parking area be made available to the general public and so long as there is no existing lease between the City and another party relating to the new docks and parking area, the City shall offer to Windmill its successors and assigns, the right to lease the docks and/or parking area for a purpose not inconsistent with the above-described permits.

It is agreed and understood that this paragraph 5 sets forth Windmill's obligations with respect to the new docks and that Windmill, its successors and assigns, shall have no other obligations related thereto, including, but not limited to, the obligation to pay any property taxes levied or assessed against said docks.

6. Launching Ramp. Windmill currently owns and operates a boat launching ramp and parking facilities on its property on the St. Croix River adjacent to 32nd Street.

Windmill shall maintain a boat launching ramp at said location and shall make such boat launching ramp and adjacent parking facilities available for use by the general public on a first-come-first-serve basis at fair and reasonable user's fees competitive with fees charged in the area for similar services. Such operation shall be subject to reasonable rules and regulations adopted by Windmill, its successors and assigns. Notwithstanding the foregoing, it is agreed and understood that Windmill, or its successors and assigns, is not obligated to permit the ramp or the parking facilities to be used by persons launching or picking up small boats by hand. In the event the City develops a public launch facility in Steamboat Park, Windmill's obligations under this paragraph 6 shall cease.

7. Launching Small Boats. Windmill agrees to permit members of the general public wishing to hand launch small boats not requiring a launching ramp to enter the marina property adjacent to 32nd Street via the existing roadway for purposes of turning around motor vehicles and hand launching and picking up small boats on the north side of the launching ramp described in paragraph 6 hereof. All such hand launching and picking up of small boats shall be subject to reasonable rules and regulations adopted by Windmill, its successors and assigns. All vehicles used for such launching or pickup shall be located on the marina property only for such period of time as may be necessary for such launching and pickup. In the event the City de-

velopes a public launch facility in Steamboat Park, Windmill's obligations under this paragraph 7 shall cease.

8. Enforcement of Agreement. The parties acknowledge that the rights to performance of the obligations of the others contemplated in this Agreement are special, unique and of an extraordinary character; and that in the event that any party violates or fails or refuses to perform any covenant, condition or provision made by it herein, the other parties may be without an adequate remedy at law. The parties agree, therefore, that in the event they violate, fail or refuse to perform any covenant, condition or provision made herein, the other parties, as the case may be, may, at their option, institute and prosecute an action to enforce performance of such covenant. No remedy conferred in this Agreement is intended to be exclusive and each shall be cumulative and shall be in addition to every other remedy. The election of any one or more remedies shall not constitute a waiver of any other remedy. It is agreed and understood that the Association, its successors and assigns, may enforce the rights and remedies of Windmill hereunder.

9. Severability. Any term of this Agreement which is illegal or unenforceable at law or in equity shall be deemed to be void and of no force and effect to the extent necessary to bring such term within the provisions of any such applicable law or laws, and such terms as so modified and the balance of the terms of the Agreement shall be fully enforceable.

10. Successors and Assigns. This Agreement shall bind and inure to the benefit of the respective parties, their successors and assigns. It is acknowledged and understood that Windmill intends to sell Windmill Marina to the Association, which sale shall include the transfer to the Association of Windmill's rights under this Agreement, and the assumption by the Association of the obligations of Windmill hereunder.

11. AMENDMENTS. This Agreement may be amended by mutual agreement of the parties hereto, their successors and assigns. Any such amendment shall be made by a written instrument duly executed by the parties hereto and shall be made a part of this Agreement.

IN WITNESS WHEREOF, the parties have executed this Agreement the day and year first above written.

WINDMILL

WINDMILL MARINA, INC.

By William A. Sklyouak
Its CEO

CITY


Donald G. Scheel, Mayor

Attest:


Margaret Thuma, Clerk

STATE OF MINNESOTA)
)ss.
COUNTY OF)

The foregoing instrument was acknowledged before me this 22nd day of November, 1982, by William R. Skluzacek, the President of Windmill Marina, Inc., on behalf of Windmill Marina, Inc.

Karen S. Riley
Notary Public



ADDENDUM TO AGREEMENT

This addendum made and entered into this 20 day of August, 1985, by and between, WINDMILL MARINA ASSOCIATION, INC., a Minnesota non-profit corporation, successor in interest to Windmill Marina, Inc.; and the CITY OF AFTON, a Municipal corporation.

WITNESSETH:

WHEREAS, Windmill Marina, Inc., and the City of Afton entered into an agreement dated Nov 29, 1982, regarding the re-alignment of 33rd Street, a lease of a portion of re-aligned 33rd Street and use and maintenance of existing roadways on portions of unimproved City streets, and other matters; and

WHEREAS, Windmill Marina Association, Inc., is the successor in interest to the rights and obligations of Windmill Marina, Inc., with respect to such agreement; and

WHEREAS, Windmill Marina Association, Inc., wishes to upgrade the roadways described in paragraph 3 of said agreement by blacktopping at its sole expense the roadways described therein and is hereby seeking City approval to do so.

NOW, THEREFORE, in consideration of the premises and the mutual obligations of the parties hereto and pursuant to paragraph 11 of said agreement providing for amendments thereto, Windmill Maria Association, Inc., as successor to Windmill Marina, Inc., and the City of Afton, do hereby covenant and agree with each other as follows:

1. Paragraph 3 of the agreement between Windmill Marina, Inc., and the City of Afton regarding use and maintenance of existing roadways on portions of 32nd, 33rd, and 34th Streets and Front Street may be amended to indicate that Windmill Marina Association, Inc., may, at its sole expense, and pursuant to plans and specifications approved by the City, blacktop the existing roadways on re-aligned 33rd Street and those parts of 32nd Street and 34th Street lying east of the east line of Front Street and that part of Front Street lying between the north line of 32nd Street and the south line of 34th Street.

2. The parties have negotiated an amended lease for a portion of re-aligned 33rd Street and intend to enter into that new lease in connection with this addendum.

3. All other provisions of paragraph 3 of said agreement and all other paragraphs of said agreement shall remain in full force and effect.

IN WITNESS WHEREOF, the parties have executed this agreement the day and year first above written.

WINDMILL MARINA ASSOCIATION,
INC.

By
Its

CITY OF AFTON

By: George Billmeyer, Mayor

ATTEST:

Linda Stancer
Linda Stancer, Clerk



Washington County
 PUBLIC WORKS DEPARTMENT
 SURVEY DIVISION
 11600 Myron Road North
 Shoreline, WA 98148
 (206) 426-4300
 survey@washcounty.gov
 www.washcounty.gov/survey

- LEGEND**
- DNR PROTECTED WATERS
 - DNR PROTECTED WETLAND
 - DNR PROTECTED INTERCOURSE
 - MUNICIPAL BOUNDARY
 - PARK BOUNDARY



SCALE: 1 inch = 100 feet

SECTION CORNER OF RANGE INDEX

1302500	1422500	1502500
2202500	2322500	2422500
2702500	2802500	2902500



SECTION NORTH MAP

30	22	12	2
23	14	4	
16	8		
9	2		
2			

LOCATION OF THIS MAP

PROPERTY IDENTIFICATION NAMES (OWNERS) (SECTION)

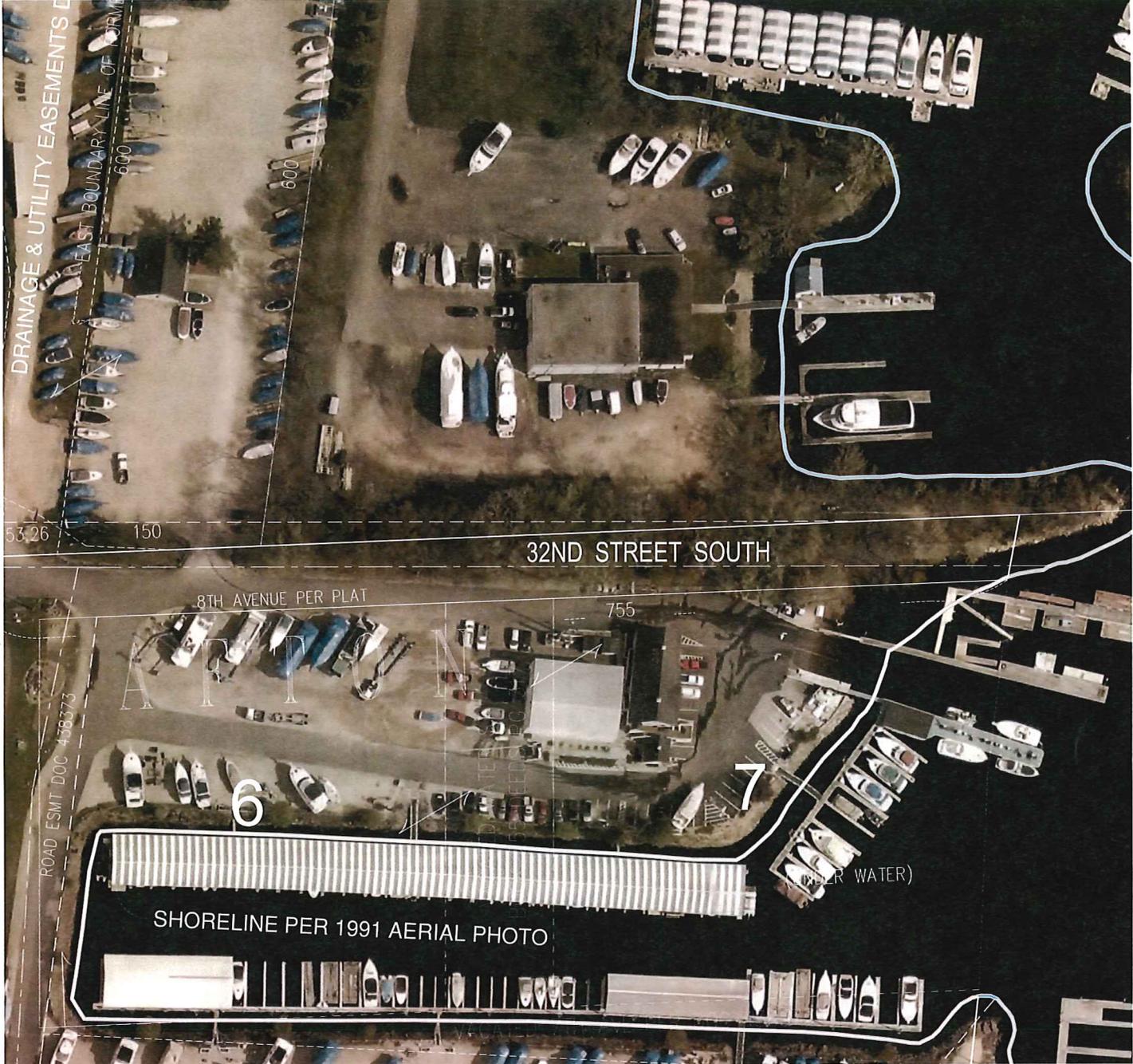
SECTION	OWNER	ADDRESS	PHONE	DATE
11	11	11	11	11

THIS DRAWING IS THE RESULT OF A COMPIATION AND REPRODUCTION OF LAND RECORDS AS THEY APPEAR IN VARIOUS WASHINGTON COUNTY OFFICES. INSURANCE COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES. PROPERTY LINES AS SHOWN ARE FOR REFERENCE PURPOSES AND MAY NOT REPRESENT ACTUAL LOCATIONS.

MAP LAST UPDATED: December 4, 2017

NO ADDITIONAL CHANGES HAVE BEEN REPORTED TO DATE

DATE OF CONTOURS: November, 2011 DATE OF PHOTOGRAPHY: April, 2017



Washington County
 PUBLIC WORKS DEPARTMENT
 SURVEY DIVISION
 11800 Myron Road North
 Silverton, Oregon 97532
 (503) 435-0300
 survey@dc.washington.or.us
 www.co.washington.or.us/survey

LEGEND
 DNR PROTECTED WATERS
 DNR PROTECTED WETLAND
 DNR PROTECTED WATERPOURSE
 MUNICIPAL BOUNDARY
 PARK BOUNDARY

NORTH
 SCALE: 1 inch = 40 feet

SECTION TOWNSHIP-RANGE INDEX

150200	142000	130200
150300	142100	130300
220200	202000	240200
220300	202100	240300
270200	202000	250200



SECTION VOUCHER MAP

22	23	24	25
12	13	14	15
23	24	25	26
32	33	34	35

PROPERTY IDENTIFICATION NUMBER FORMAT (REPRODUCED)

SECTION	TOWNSHIP	RANGE	QUARTER	BLK	PLAT
##	###	###	##	##	#####

EXAMPLE: 230214 230214 230214 230214 230214 230214

THIS DRAWING IS THE RESULT OF A COMPARISON AND REPRODUCTION OF LAND RECORDS AS THEY APPEAR IN VARIOUS WASHINGTON COUNTY OFFICES. WASHINGTON COUNTY IS NOT RESPONSIBLE FOR ANY INACCURACIES. PROPERTY LINES AS SHOWN ARE FOR REFERENCE PURPOSES AND MAY NOT REPRESENT ACTUAL LOCATIONS.
 MAP LAST UPDATED: December 6, 2017
 NO ADDITIONAL CHANGES HAVE BEEN REPORTED TO DATE
 DATE OF CONTOURS: November, 2011 DATE OF PHOTOGRAPHY: April, 2017

From: Sorensen, Jenifer (DNR) [<mailto:jenifer.sorensen@state.mn.us>]

Sent: Friday, June 08, 2018 12:21 PM

To: Ron Moorse

Cc: John Hanson (jhanson@barr.com); Murtada, Salam (DNR); Strauss, Ceil C (DNR); 'Nick Guilliams'; Ted Zinner

Subject: RE: Info On Floodplain Regulations

Ron –

This email is in response to Ted Zinner's request (below) for more information on FEMA floodplain requirements for installation of a culvert to create a driveway crossing to Afton Marina (UTM X:517301; Y:4972072). The location where the culvert would be placed is entirely below the Base Flood Elevation (BFE) for Lake St. Croix of 692 feet (NAVD 1988).

This site is located in a Zone AE floodplain zone, so the requirement for culvert installation is that the new culvert cannot have a flood level rise greater than 0.00 feet. A hydrologic/hydraulic analysis will need to be completed to demonstrate that there is a 0.00 foot rise in the regional flood level from construction of the proposed project.

If installation of the culvert would cause a flood level rise greater than 0.00 feet, then a [CLOMR from FEMA](#) would be required. A Conditional Letter of Map Revision (CLOMR) is FEMA's comment on a proposed project that would, upon construction, affect the hydrologic or hydraulic characteristics of a flooding source and thus result in the modification of the existing regulatory floodway, the effective Base Flood Elevations (BFEs), or the Special Flood Hazard Area (SFHA).

The CLOMR letter does not revise an effective FEMA flood map; instead, it indicates whether a project, if built as proposed, would be recognized by FEMA. FEMA charges a fee for processing a CLOMR to recover the costs associated with the review. Building permits cannot be issued based on a CLOMR, because a CLOMR does not change the FEMA flood map. Once a project has been completed, the community must request a revision to the Flood Insurance Rate Map (FIRM) to reflect the project. "As-built" certification and other data must be submitted to support the revision request.

In addition to the FEMA/state/local floodplain regulations, local stormwater management regulations would also apply.

Looking at a parcel map and aerial photo of the location, it is unclear to me if the culvert would be located on private property or on public property (City road ROW). I've got several questions related to this:

- Would the culvert be on City property? If so, wouldn't this crossing then be a part of the City road, rather than a driveway crossing?
- Who would maintain the culvert?
- Would the crossing meet City road crossing design requirements?
- Has justification been provided by the applicant for the need for this access, when there is already existing access?
- Would approval of this access be included in the Afton Marina's CUP, since the CUP would have to be amended to include the restaurant, if that is approved, and this access is being requested specifically to serve the restaurant?

From a riverway vegetation screening perspective: There is very limited vegetation screening in place at this location – both north and south of this vegetated drainage is developed with marinas and few trees. How much removal of vegetation screening would be required to construct the crossing and the paved parking lot?

Any change to the dock configuration at the Afton Marina would require an amendment to the Afton Marina's DNR public waters permit.

Please let me know if you have any questions on this information and my comments –

Jen

Jenifer Sorensen

East Metro Area Hydrologist (Ramsey and Washington Counties)
Division of Ecological and Water Resources

Minnesota Department of Natural Resources

1200 Warner Road
St Paul, MN 55106
Phone: 651-259-5754
Email: jenifer.sorensen@state.mn.us



Boat Storage

Launch Parking

Service Department

Office/Ship's Store

Boat Launch

Gas Dock

CITY Docks

G Dock

A Dock
B Docks

SOUTH HARBOR

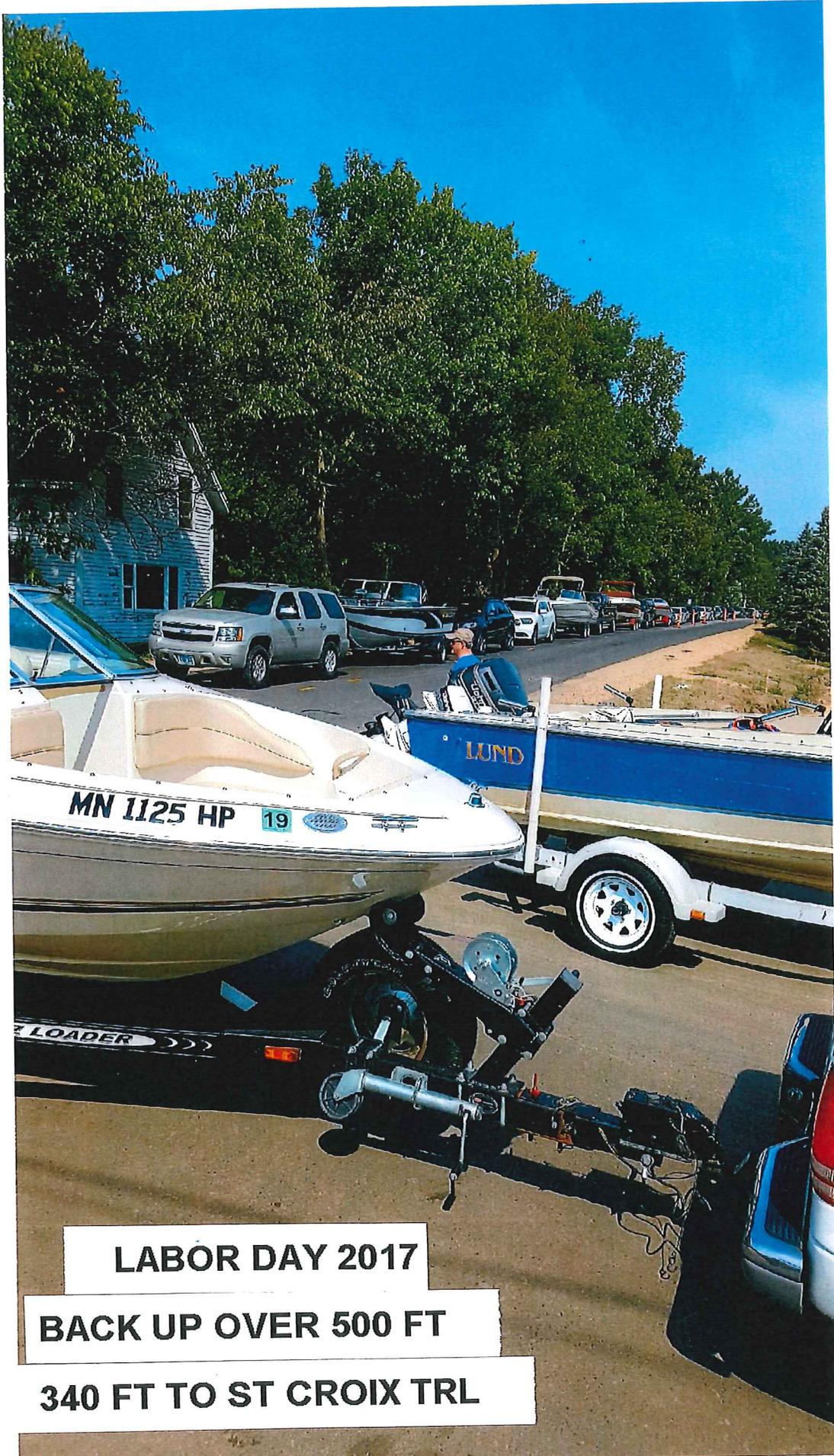
NORTH HARBOR



MEMORIAL DAY SAT 2018



MEMORIAL DAY SUN 2018



LABOR DAY 2017

BACK UP OVER 500 FT

340 FT TO ST CROIX TRL

City of Afton
3033 St. Croix Trl, P.O. Box 219
Afton, MN 55001

Meeting Date June 19, 2018

Council Action Memo

To: Mayor Bend and Members of the City Council
 From: Ron Moorse, City Administrator
 Date: June 14, 2018
 Re: Industrial Zone Ordinance Amendment

Ordinance Amendment

The attached ordinance amendment reflects revisions to the list of uses allowed in the Industrial zones, clarifying exterior storage regulations, and updating design standards and landscape requirements, based on feedback from both the Planning Commission and City Council.

Added and Deleted Uses

The ordinance amendment adds a number of allowed uses and deletes a number of allowed uses in the City's Light Industrial Zones. The lists of added and deleted uses are provided below.

Uses to be Added to the List of Allowed Uses in the Light Industrial Zones

- Data Center
- Laboratory, dental, medical
- Flex office (i.e. for engineers, architects, and similar)
- Office/warehouse (e-commerce - taking and fulfilling orders)
- Training facility (not commercial - operated by a company for its own employees)
- Business services (IT, accounting, etc.)
- Distribution center, 30,000 square feet or less in floor area
- Laboratory, research and development.

Uses to be Deleted from the list of Allowed Uses in the Light Industrial Zones

Note: Any currently allowed use that is currently operating that is deleted from the list of allowed uses would become legally nonconforming and would be allowed to continue but not to expand.

- Animal Impounding Facility (Delete only from allowed uses in the IIC Zone)
- Blacktop or crushing operations for Hwy construction (temp.)
- Exterior sales and storage (wholesale only)
- Garage, storage commercial (mini storage)
- Nursery, retail sale of plants
- Terminal, transportation/motor freight
- Transportation School
- Residential waterfront uses
- Residential S-F detached housing
- Riding stable
- Private swimming pool
- Private tennis courts

- Recreation equipment storage – private
- Arts and Crafts studio
- Nature Center
- Schools - Public

Revisions to Draft Ordinance Amendment

Based on feedback from both the Planning Commission and City Council, and advice from the City’s planning consultant and the County’s Economic Development Director, a number of revisions were made to the draft ordinance amendment. These revisions are outlined below.

- The limitation on overhead garage doors to 10% of the perimeter of the building exterior has been changed to allow overhead garage doors to make up 50% of the perimeter of the building exterior. Most of the uses currently allowed and proposed to be allowed require more overhead garage doors than would be allowed by the 10% limitation. Also, overhead garage doors are still required to be screened from public streets, with the exception of I-94. The properties along I-94 are double frontage lots (on both Hudson Road and I-94). Overhead garage doors will be required to be screened from Hudson Road, but not from I-94.
- The amount of fully screened exterior storage has been increased from 10% of the area of the principal building, based on a review of exterior storage requirements in other cities. The revised exterior storage language is as follows: The area of exterior storage may not exceed the lesser of 75% of the footprint of the building or 40% of the area of the lot on lots smaller than 5 acres. The area of exterior storage may not exceed 40% of the area of a lot that is 5 or more acres. Also, storage must be located to the rear or side of the principal building on the site.
- The language establishing a maximum size for tenant spaces in Business Services uses and Flex Office uses has been eliminated. The review and approval of tenant space sizes can be a condition of approval of these types of uses.
- The design standards that indicated the standards were encouraged have been changed to indicate the standards are required.
- Underground and above ground fuel storage tanks are prohibited, with the exception of a fuel storage tank incorporated into an emergency generator.

Additional revisions recommended by the Planning Commission

The Planning Commission, at its June 4, 2018 meeting, discussed and recommended the following additional revisions to the ordinance amendment, the first two of which are now reflected in the ordinance amendment.

- Require the use of native prairie grasses and pollinator-friendly vegetation rather than turf on a minimum of 25% of the green space on a site. The Planning Commission recommended a minimum of 25% to 50%, subject to feedback from the County Economic Development Director. The Economic Development Director suggested that 25% would be preferred because a larger percentage could result in enforcement issues regarding the maintenance of the vegetation.
- Increase the maximum height of structures on properties adjacent to I-94 from 35 feet to 50 feet. This would match the most current design requirements for distribution centers.
- Reduce the setback of structures from the right-of-way boundary of I-94 from 117 feet to 10 feet. Staff has reviewed this with the County Economic Development Director, who indicated that, while the reduced setback may be beneficial, pushing the structures back to the I-94 right-of-way would move the activity, exterior storage and overhead garage doors to the Hudson Road side of the building, which is not what is desired. Based on this, staff is recommending the setback remain unchanged at this time. It is important to note that the majority of the structure setback area can be used for parking, exterior storage, etc.

Additional Use Suggested to be Added

Council member Richter has suggested that a multi-story, climate controlled self-storage facility would be a good use in the Industrial zones. Photos of such a facility in Woodbury near Sam’s Club are attached. The

County Economic Development Director has indicated that this use would be a good use as long as it is defined as a multi-story, climate controlled facility with brick or similar exterior, as opposed to the metal mini-storage type of facility. This use has been reflected in the ordinance amendment, but could be removed if not supported by the Council.

Clarification of Exterior Storage and Screening Definitions and Requirements

- Exterior storage includes parking of motor freight trailers, school buses and equipment.
- Exterior storage-screened: Requires a wall made only of materials allowed to be used for the principal structure, requires vegetative screening of the wall, and limits the area of exterior storage. The area of exterior storage may not exceed the lesser of 75% of the footprint of the building or 40% of the area of the lot on lots smaller than 5 acres. The area of exterior storage may not exceed 40% of the area of a lot that is 5 or more acres. Also, storage must be located to the rear or side of the principal building on the site.

Definitions of Proposed Additional Allowed Uses

At the end of the ordinance amendment are definitions of the proposed additional allowed uses.

Nursery, Retail Sale of Plants

The code currently allows Nursery, retail sale of plants, in the I1-A and I1-B zones but not in the I1-C zone. This is the only retail use allowed in the Industrial zones. There are currently no Nursery, retail sale of plants uses in the Industrial zones. While the draft ordinance amendment deleted this use from the list of allowed uses in the Industrial zones, Planning Commission members believed it was a good fit for the Industrial Zones. However, the City Council directed that this use is not a good fit because it is a retail use and because it is a low value use. The proposed ordinance amendment deletes this use from the list of allowed uses.

Council Action Requested:

Motion to adopt Ordinance 01-2018, an ordinance amendment that reflects revisions to the list of uses allowed in the Industrial zones, clarifies exterior storage regulations, and updates design standards and landscape requirements.

Ordinance 01-2018

COUNTY OF WASHINGTON CITY OF AFTON

AN ORDINANCE AMENDING CHAPTER 12 REGARDING ALLOWED USES, DESIGN STANDARDS, LANDSCAPE REQUIREMENTS AND EXTERIOR STORAGE IN THE INDUSTRIAL ZONES

THE CITY COUNCIL OF THE CITY OF AFTON, MINNESOTA HEREBY ORDAINS:

The following sections of the Afton Code of Ordinances shall be amended by adding the **bold and underlined** language and deleting the strike-through language.

Sec. 12-134 Uses

Uses in the various districts shall be as follows:

- P = Permitted use
- A = Permitted accessory use
- A/C = Permitted accessory, conditional use permit required*
- C = Conditionally Permitted Use
- I = Interim Use Permit⁹⁰
- ADMIN = Administrative Permit Required
- N = Not allowed
- * = Except as otherwise noted

	Agricultural (A)	Rural Residential (R)	VHS- Residential (VHS-R)	VHS- Commercial (VHS-C)	Light Industrial (I1-A)	Light Industrial (I1-B)	Light Industrial (I1-C)	Marine Service (MS)
Agricultural, rural	P	P	N	N	P	P	P	N
Agricultural, suburban	P	P	N	N	P	P	P	N
Airports, airstrips, heliports	N	N	N	N	N	N	N	N
Animal impounding facility	N	N	N	N	P	P	C ⁹¹ N	N
Animals, commercial training	C	N	N	N	C	C	C ⁹²	N
Antennae or towers over 35 feet in height	C	C	N	N	C	C	N	N
Archery range, commercial	N	N	N	N	N	N	N	N
Armories, convention halls and similar uses	N	N	N	N	N	N	N	N
Auto/car wash	N	N	N	N	N	N	N	N
Auto reduction yard/junkyard	N	N	N	N	N	N	N	N
Auto repair	N	N	N	N	N	N	N	N
Automobile service station	N	N	N	N	N	N	N	N
Barbershop, beauty shops	N	N	N	C	N	N	N	N

	Agricultural	Rural	VHS-	VHS-	Light Industrial	Light Industrial	Light Industrial	Marine Service
	(A)	Residential	Residential	Commercial	(I1-A)	(I1-B)	(I1-C)	(MS)
		(R)	(VHS-R)	(VHS-C)				
Golf courses	C	N	N	N	N	N	N	N
Grading	See Sections 12-215, 12-216							
Greenhouses (commercial production only)	C	N	N	N	N	N	N	N
Guest house ⁹⁷	Deleted							
Gun clubs	N	N	N	N	N	N	N	N
Gun ranges	N	N	N	N	N	N	N	N
Home occupation	P	P	P	P	N	N	P N	N
Hotel (see Section 12-223)	N	N	N	C	N	N	N	N
Institutional housing	N	C	N	N	N	N	N	N
Junkyard	N	N	N	N	N	N	N	N
Kennels, private (see Section 12-55)	C	C	N	N	N	N	N	N
Kennels, commercial (see Section 12-55)	N	N	N	N	N	N	N	N
Land reclamation	See Section 12-215							
Live entertainment or dancing ⁹⁸	Deleted							
Laboratory-Medical, Dental	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>N</u>
Laboratory – R&D	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>N</u>
Lodging room (not more than two)	A	C	C	N	N	N	N	N
Manufacturing, heavy	N	N	N	N	N	N	N	N
Manufacturing, light industrial (maximum height 25 feet in I-1C) ⁹⁹	N	N	N	N	C	C	C	N
Marina (including boat rental) ¹⁰⁰	N	N	N	C	N	N	N	N
Medical uses	N	N	N	C	N	N	N	N
Mining, sand and gravel	N	N	N	N	N	N	N	N
Mobile home court/park	N	N	N	N	N	N	N	N
Motel	N	N	N	N	N	N	N	N
Multiple family dwellings (three or more units)	N	N	N	N	N	N	N	N
Nature center (public and private)	C	C	N	N	N	N	€ N	N
Nursery, retail sale of plants ¹⁰¹	S	N	N	N	€ N	€ N	N	N
Nursery, wholesale growing of plants	P	C	N	N	N	N	N	N

	Agricultural	Rural	VHS-	VHS-	Light Industrial	Light Industrial	Light Industrial	Marine Service
	(A)	Residential	Residential	Commercial	(I1-A)	(I1-B)	(I1-C)	(MS)
		(R)	(VHS-R)	(VHS-C)				
Nursery and garden supplies (wholesale)	C	N	N	N	C	C	C ¹⁰²	N
Offices (Maximum Height of 35 feet in I-1C) ¹⁰³	N	N	C	C	C ¹⁰⁴	C ¹⁰⁵	C	N
Offices, accessory	N	N	N	C	C	C	C	A
Office/Warehouse	<u>N</u>	<u>N</u>	<u>N</u>	<u>N</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>N</u>
Off-street loading	N	N	N	A	A	A	A/C ¹⁰⁶	A
Off-street parking	A	A	A	A	A	A	A/C ¹⁰⁷	N
Photo/art studio	N	N	N	C	N	N	N	N
Race tracks	N	N	N	N	N	N	N	N
*Recreation areas (commercial)	N	N	N	N	N	N	N	N
Recreation equipment storage (private)	A	A	A	A	N	N	A <u>N</u>	N
Reduction or processing of refuse, trash and garbage	N	N	N	N	N	N	N	N
Rental of cars, trailers, campers, trucks and similar equipment	N	N	N	N	N	N	N	N
Repair garage (commercial)	N	N	N	N	N	N	N	N
Repair shop (small appliances)	N	N	N	C	N	N	N	N
Research (see Section 12-55)	C	C	N	N	C	C	C	N
Research, agricultural	C	C	N	N	C	C	C	N
	NO CUP FOR HOMES							
Residential, multiple family	N	N	N	N	N	N	N	N
Residential, single-family detached ¹⁰⁸	P	P	P	P	N	N	P <u>N</u>	C
Residential waterfront uses	A	A	A	A	N	N	A <u>N</u>	N
Resorts	N	N	N	N	N	N	N	N
Rest or nursing home	N	N	N	N	N	N	N	N
Retail business	N	N	N	C	N	N	N	N
Retail business, accessory to office ¹⁰⁹	N	N	N	C	C	C	C	N
Retail sales of agricultural supplies	C	N	N	N	N	N	N	N

ORDINANCE 01-2018

	Agricultural	Rural	VHS-	VHS-	Light Industrial	Light Industrial	Light Industrial	Marine Service
	(A)	Residential	Residential	Commercial	(I1-A)	(I1-B)	(I1-C)	(MS)
		(R)	(VHS-R)	(VHS-C)				
Theater	N	N	N	C	N	N	N	N
Theater, drive-in	N	N	N	N	N	N	N	N
Townhouses	N	N	N	N	N	N	N	N
Trailer Parks	N	N	N	N	N	N	N	N
Truck & auto service station	N	N	N	N	N	N	N	N
Temporary farm dwelling (mobile home)	ADMIN	ADMIN	N	N	N	N	N ¹²⁰	N
Transportation School ¹²¹	N	N	N	N	N	C N	N	N
Used auto parts	N	N	N	N	N	N	N	N
Utility substation	C	C	C	C	C	C	C	C
Vegetative cutting	See Section 12-218							
Vehicle sales	N	N	N	N	N	N	N	N
Veterinary clinic	C	N	N	N	N	N	N	N
Warehousing	N	N	N	N	C ¹²²	C ¹²³	C ¹²⁴	N
Waterfront uses (commercial)	N	N	N	C	N	N	N	N
Waterfront uses (residential)	A	A	A	A	N	N	A N	N
Wholesale business	N	N	N	N	C ¹²⁵	C ¹²⁶	C ¹²⁷	N

Sec. 12-143. Light Industrial (I-1A), Light Industrial (I-1B), and Light Industrial (I-1C).

A. Purpose. The purpose of these districts is to preserve land along major traffic routes to be used by industrial uses that will provide a sound tax base for the City.

B. Permitted Uses. As permitted and regulated in Section 12-134.

C. Accessory uses. As permitted and regulated in Section 12-134.

D. Architectural Standards.

1. In the industrial zone, structures must be of fire resistive construction and exterior surfaces of all structures must be faced with brick, stone, architectural concrete (block), precast concrete, **EIFS/stucco panels**, or glass, of earthtones or other tones or colors in harmony with the natural characteristics of the area in which it is constructed and approved by the Design Review Commission, acting as the architectural standards committee.

1. **Architectural Review. Building design shall be reviewed and evaluated by the Design Review Commission, City Planner and/or Zoning Administrator.**
2. **Blank facades without windows and doors are prohibited.**
3. **All sides of structures shall have the same quality of architectural treatment.**

ORDINANCE 01-2018

4. Variety and creativity in building façade is required through changes in building materials (but not in quality of materials), fenestration height and roof lines. Primary facades should not present a continuous wall without architectural details that add visual interest.
5. Minimizing continuous expanses of wall through façade articulation, recession or projection is required.
6. The incorporation of topographical features into the form of the structure when possible, utilizing natural grades to create unique design, is required.
7. Rooftop Equipment. The view of all rooftop equipment and related piping, ducting, electrical and mechanical utilities abutting a street on buildings constructed shall be screened from the ground level view. Screening may include parapet walls, penthouses, or other architecturally integrated elements. Wood fencing or chain link with slats shall not be used for screening. The term "ground level view" shall be defined as the view of the building from the property line(s) that abuts a street. A cross sectional drawing shall be provided that illustrates the sight lines from the ground level view.
8. Rooftop solar collectors, skylights and other potentially reflective rooftop building elements shall be designed and installed in a manner that prevents reflected glare and obstruction of views from other sites and structures. Screening may be in the form of walls constructed of the same building material and match the coloring of the principal building
9. Roofline. Roof slopes shall not exceed 1:12 for all principal buildings.
10. Overhead Garage Doors. Overhead garage doors shall not be visible from a public street, with the exception of interstate highway I-94, and shall not exceed 50% of the perimeter of the building exterior
11. Fuel Storage Tanks Prohibited. Above ground and underground fuel storage tanks are prohibited, with the exception of an above-ground fuel storage tank incorporated into an emergency generator.
12. Delivery, service, storage, maintenance and trash collection areas shall be located out of view from the public right-of-way or substantially screened through landscaping or architectural features that match the primary structure. Service, storage and trash collection areas are not allowed in setback areas.
13. All permanent utilities connecting to a building shall be underground.

E. Landscaping Standards. All properties zoned Light Industrial shall be landscaped in accordance with the following:

1. Total green space shall be a minimum of 20% of the gross lot area.

ORDINANCE 01-2018

2. The minimum number of major or overstory trees on any given site shall be as indicated below. These are the minimum substantial plantings, in addition to other understory trees, shrubs, flowers, and ground cover deemed appropriate for a complete quality landscape treatment of the site.

a. Industrial sites shall contain at a minimum the greater of one (1) tree per 500 square feet of gross building floor area, or one (1) tree per 25 lineal feet of site perimeter.

3. Minimum Size of Plantings. Required trees and shrubs shall be of the following minimum planting size:

a. Deciduous trees-Three (3) inches in diameter as measured 6 inches above ground.

b. Coniferous trees- Six (6) feet in height.

c. Shrubs- Shrubs used for screening shall be in #5 containers.

4. Sodding and Ground Cover. All areas not otherwise improved in accordance with approved site plans shall be planted with tough native materials where appropriate to reduce the amount of watering required and to increase permeability of the site as approved by the Planning Commission and City Council. **Native vegetation such as prairie grasses and pollinator-friendly vegetation rather than turf grass is required to be used on 25% of the green space on a site.**

5. **The front or side yard from a public street shall be at least 10 feet deep, measured from the street right-of-way line. This yard shall be kept clear of all structures, storage, and off-street parking. Except for driveways, this front or side yard shall extend along the entire frontage of the lot and along both streets in the case of a corner lot.**

6. Buffer Yard. Where any business or industrial use (structure, parking or storage) is adjacent to property zoned for residential use, that business or industry shall provide a landscaped buffer yard a minimum of 100 feet in width along the boundary of the residential property to provide screening. Where the use is adjacent to property zoned for industrial use, a landscaped buffer yard a minimum of 50 feet in width shall be required. The screening required in this section shall provide 95 percent opacity year round.

a. Plant Units Required. Within the landscaped buffer yard, a minimum of two hundred (200) plant units shall be required for each one hundred (100) feet of property line. Credit for plant units shall be assigned as follows:

Vegetation	Plant Unit Value
Evergreen Trees	15
Deciduous Trees	10
Evergreen/Coniferous Shrubs	5
Shrubs/Bushes	1

8. Landscape Guarantee. An agreement will be signed between the City and the owner which states that in exchange for issuance of a building permit, the owner will construct, install, and maintain all items shown on the approved plan and that he/she will replace and/or correct any deficiencies or defaults

ORDINANCE 01-2018

that occur in the plan for a period of two complete growing seasons subsequent to the installation of the landscaping plan. A letter of credit or cash deposit landscaping performance bond will be submitted along with the agreement at this time.

a. If after two growing seasons all the commitments are met, then the letter of credit or cash deposit bond and contract agreement are released to the applicant or property owner.

b. According to ordinance, the developer/owner is responsible for permanently maintaining the landscaping in a neat and proper fashion.

9. It shall be the responsibility of the current property owner to see that the approved landscaping plan is maintained in an attractive and well-kept condition. Maintenance shall include replacement of dead or damaged plant material; the furnishing and installation of mulch; weeding; mowing of grass; cleaning of litter; or any other action deemed necessary by the city to ensure the requirements of this section are met. Any action that reduces canopy cover and/or landscaping below what is required in this section shall require in-kind replacement. Failure to maintain a landscape area shall be deemed a violation of this article.

10. Parking areas that contain more than four parking spaces shall be landscaped throughout the lot to the extent of at least ten percent of the hard surface area of the parking lot and driveways to the public right-of-way, as measured from the outside curb. These landscaped areas shall consist of curb islands approximately ten feet in width at the ends of each row of parking, excluding locations of handicapped spaces. Curb islands shall also be designed to break up longer rows of parking. Where feasible, linear parking lot landscaped islands, parking lot rain gardens, depressed infiltration curb islands, and demonstrated parking areas shall also be included in the parking lot design. A combination of at least one tree and shrubs or semi-annual flower species plants shall be planted in curb islands or interior parking lot open space for each ten required parking spaces. Where the city determines that the parking lot design cannot reasonably accommodate curb islands or other landscaping open space features or cannot accommodate that amount of landscaping cited herein, plant materials shall be moved to the outside perimeter of the parking lots.

All landscaping shall comply with Sections 12-191 and 12-192. (See below)

F. Lighting. The following shall apply to all Industrial properties in addition to the requirements set forth in Section 12-195.

1. Any light fixture intended to illuminate the site shall contain a cutoff which directs the light at an angle of ninety (90) degrees or less. Exposure of the light source shall not be permitted in view of adjacent property or public right-of-way.

2. The maximum height above the ground grade for light fixtures mounted on a pole is twenty-five (25 feet).

3. No light sources shall be located on the roof unless said light enhances the architectural features of the building and is approved by the Zoning Administrator and the Design Review Commission.

4. All light poles shall be black or another similarly dark color.

ORDINANCE 01-2018

F. Exterior Storage Screening Standards

1. Exterior storage includes the storage of goods, materials, manufactured products, equipment, school buses, motor freight tractors and trailers and similar items not fully enclosed by a building.

2. Exterior storage requires 100% screening with a wall constructed only of the materials allowed to be used for the principal structure, and requires vegetative screening along the wall.

3. The area of exterior storage may not exceed 40% of the area of a lot that is 5 or more acres. The area of exterior storage may not exceed the lesser of 75% of the footprint of the building or 40% of the area of the lot on lots smaller than 5 acres. Storage must be located to the rear or side of the principal building on the site.

Sec. 12-132 Minimum Requirements

	A	RR	VHS-R	VHS-C	I-1A	I-1B	I-1C	MS
11. Maximum structure height (ft)	35	35	35	35	35 <u>50</u>	35 <u>50</u>	35	35

Sec. 12-55 Definitions

Business Service means a service provided to other businesses such as Information Technology services or accounting services.

Data Center means a facility used to house computer systems and associated components, such as telecommunications and storage systems.

Distribution Center means a use that, apart from storing products, offers value-added services like product mixing, order fulfillment, cross docking, packaging etc. The maximum size allowed for a distribution center is 30,000 sq. ft. A Distribution Center use does not involve the exterior storage of motor freight tractors and trailers.

Flex Office means industrial space that is used for warehouse space, a portion of which can be converted to office or showroom space. The space can be “flexed” into larger or smaller office vs. warehouse spaces as needed.

Fulfillment Center–Ecommerce means industrial space that serves ecommerce merchants by enabling them to outsource warehousing and shipping. Sellers send merchandise to the fulfillment center, and the outsourced provider ships it to customers for them. The maximum size allowed for a fulfillment center is 30,000 sq. ft.

Self Storage, Multi Story means a climate controlled multi-story facility with quality exterior materials as required by the Industrial Zone architectural standards

Training Facility. An indoor training facility operated by a company to train its own employees. Not commercial.

ORDINANCE 01-2018

ADOPTED BY THE CITY COUNCIL OF THE CITY OF AFTON THIS ____ DAY OF ____, 2018.

SIGNED:

Richard Bend, Mayor

ATTEST:

Ronald J. Moorse, City Administrator

- Motion by:
- Second by:
- Palmquist:
- Richter:
- Ross:
- Nelson:
- Bend:

City of Afton
3033 St. Croix Trl, P.O. Box 219
Afton, MN 55001

Meeting Date June 19, 2018

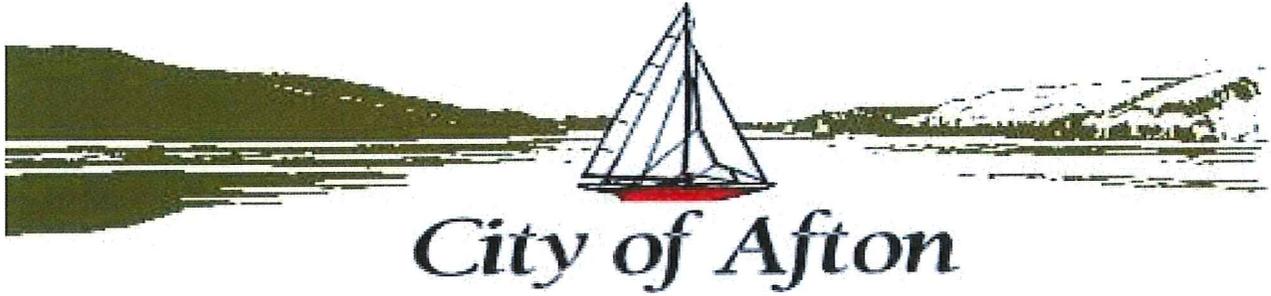
Council Action Memo

To: Mayor Bend and Members of the City Council
From: Ron Moorse, City Administrator
Date: June 12, 2018
Re: Comprehensive Plan Update

The Planning Commission has held a public hearing regarding the updated Comprehensive Plan and has recommended approval of the Comprehensive Plan. The Comprehensive Plan recommended for approval includes a number of edits provided to the Planning Commission by Mayor Bend, but does not include all of the edits. Attached is a non-redlined version of the Plan recommended for approval by the Planning Commission and a redlined version of the Plan that shows all of the edits, including all of the edits recommended by Mayor Bend shown in blue.

Council Action Requested:

Motion regarding the Update of the Comprehensive Plan



**CITY OF AFTON
2018 COMPREHENSIVE PLAN**

Working Draft 2/12/2018

**Planning Commission Final Version
Public hearing held 2/5/18**

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PREAMBLE

We, the residents of the City of Afton, Minnesota, in order to:
preserve our rural sanctuary amidst suburban sprawl;
preserve our agricultural heritage and land use;
preserve the character of our Old Village;
protect our groundwater and surface water from contamination;
protect our rolling hills from erosion;
provide for open spaces to be enjoyed by future generations; and
ensure a sound tax base and a sense of community
Do ordain and establish this 2018 Comprehensive Plan.

Philosophy

From the time this community was named with a river in mind and now a City on the Scenic St. Croix River, water has been *the* foremost concern of its residents. That concern has never been greater than today.

Some see urban development as excellent proof of a growing economy; we see urban development as a threat to the water we drink, the crops we grow, and the vistas we gaze upon. This preservation attitude is consistent with the long-term desires of our residents and promotes a healthy respect for the environment. As such, our ordinances do not forbid change; they require that change not harm the environment. As stewards of this land and all that is in it or on it, we can do no less. This City is different from other communities in the Metropolitan Area *and wants to stay that way.*

This City borders on another city that has a diametrically opposed philosophy about land use and urban expansion. This is one of the most significant challenges this City has ever faced. The adage in the real estate industry is that the three most important points in real estate are “location, location, and location.” The three most important points in the City of Afton are “groundwater, surface water, and groundwater recharge.” We drink this water, we fish these streams, we protect the environment for the flora and fauna with which we share the land.

In many respects, we regard agricultural and open space as the “highest and best use” of the land. We regard our position as a community trust to preserve, protect, and defend our lands and lifestyle from irreversible change. That is our right and the actions of other jurisdictions, including the Legislature and the Metropolitan Council, *should respect that vision of Afton to remain rural by choice.*

Introduction

*Flow gently, sweet Afton, among thy green braes,
Flow gently, I'll sing thee a song in thy praise;
My Mary's asleep by thy murmuring stream,
Flow gently, sweet Afton, disturb not her dream.*

When Robert Burns penned these words, he was describing his own idyllic rural sanctuary in southern Scotland. Half a century later, settlers of the St. Croix Valley would recognize the same spirit in the locale of the township and city they would name Afton.

Afton strives to remain true to the vision of a rural environment, a place neither purely agricultural, nor purely residential, but a blend of both. Located only fifteen miles from downtown St. Paul and bordering rapidly growing suburbs, Afton's unique status as a rural sanctuary is worth preserving.

This plan is divided into Sections as recommended by the Metropolitan Council: Inventory, Goals and Policies, and Implementation. The message of this plan and the story of Afton should be abundantly clear. This city is unique among communities in the Metropolitan Area and wants to stay that way. Afton's leaders are to look to the principles espoused within this plan for governing guidance as they define the ordinances that will preserve this place for current citizens and those to come. For definitions see Appendix A.

Vision Statement

The City of Afton began as a country village. The city's Old Village provides a business center and a rural village atmosphere typically only found far away from the conveniences of a metropolitan area. The Old Village is the cultural heart of the community, providing a town square and access to the river.

Afton is also a city of water. The St. Croix River and the creeks that flow through Afton shape the landscape and are a critical resource for the community. The quality of groundwater and surface water is essential to maintaining Afton's character. Wells and septic systems, rather than city water and sewers, govern every home's relationship to the land.

Afton is also a city of open fields. The farm fields of southwestern Afton represent the city's historical roots in agriculture and continue to be farmed in the face of development pressures on Afton's borders. Methods of preserving Afton's agrarian roots must be found if the city is to remain a rural sanctuary.

Afton is also a city of rolling hills. Water has carved these hills over thousands of years, but it is the impact of development which the city must protect against. Erosion and deforestation in these hills strip Afton of forests and vistas that are also an essential part of life in Afton.

Most importantly, Afton is a city of people. The community within this rural sanctuary gives meaning to the city's character. A sound tax base provides the community with the means to maintain roads, provide police and fire protection, and provide public facilities for the community.

*How lofty, sweet Afton, thy neighbouring hills,
Far mark'd with the courses of clear, winding rills
There daily I wander as noon rises high,
My flocks and my Mary's sweet cot in my eye.*

The rural sanctuary in southern Scotland that Robert Burns wrote of has long passed into history. But on the shores of the St. Croix River, the citizens of Afton established this plan to maintain the city's deep-seated historical vision. We are stewards of this land and all that is in it or on it, and our government has been granted a trust to preserve and protect our lands.

Public Involvement

In the past the City of Afton involved the general public in the assembling of plan updates. Since the revisions to this plan in 2018 are more limited, public involvement has not been as extensive. City commissions were asked to review sections of the plan that pertained to their areas of expertise and pass that on to the Afton Planning Commission. Public hearings held in early 2018 provided the opportunity for citizens to comment on the revised plan.

Purpose

Afton's location within a major metropolitan area belies the rural atmosphere that greets commuters at its borders. Residents and visitors to Afton know they have arrived somewhere special. When Afton residents were asked what they like best about living in Afton, the three most prevalent responses all related to Afton's natural, rural character; each of them is crucial to making Afton a unique community:

1. Rural location and low population density;
2. Open space and dispersed pattern of development; and
3. Presence of active farms and agriculture.

Afton residents value rural location, low development density, open space, working farms, abundant wildlife, and historic "Old Village". Afton residents enjoy Afton's proximity to the St. Croix River, Belwin Conservancy, state and regional parks, the convenient location of the City to commercial centers, reasonable taxes, good schools, and our community identity (Community Survey: General Priorities – Appendix H).

The purpose of the Afton Comprehensive Plan is to perpetuate this character. It is to identify and capture those things that make Afton a unique and special place and protect them for current and future residents.

Citizens of Afton obtain their drinking water from the ground. It is essential, therefore, that thoughtful development planning be followed in order to protect this vital resource. Because groundwater and surface water are connected, it is just as essential to protect our streams and lakes.

The purpose of this plan is to:

1. Promote the health, safety and welfare of the City of Afton and its residents.
2. Provide for the preservation of our water resources through careful planning.
3. Preserve agriculture and open space.
4. Protect groundwater and natural resources.
5. Maintain historical character of the Old Village.
6. Ensure a safe and pleasant environment for residential, commercial, agricultural, industrial and public activities.
7. Ensure a sound tax base, which will provide the resources needed to maintain our quality of life.

Historical Background

The early human inhabitants of the St. Croix Valley were Native Americans. In the early 1800's, Afton was settled by New Englanders who probably felt at home among Afton's tree covered hills and bluffs. The city retains that New England flavor with its natural beauty accented by narrow, winding roads and small, clapboard sided houses. Joseph Haskell, in 1839, planted three acres of corn and potatoes, built a farmhouse, and thus began the first farm in Minnesota. While communities north of Afton were building sawmills, the first flour mill in the state was built in Afton in 1843. A further indication of the importance of agriculture in Afton was the use of a steam-powered threshing machine in 1861.

The village of Afton was platted in 1855. The majority of the city's historical structures are located within the boundaries of the original village. The 1974 Afton Comprehensive Plan established the Village Historic Site District in recognition of the village's historical significance. The following sites are found within the boundaries of the Village Historic Site District: the Afton Theological Academy, the area's first educational academy built in 1867; the Village Hall (housing the Afton Historical Society), built in 1895 as the Congregational Church; the "Little Red House," built in 1859; the Afton House, built in 1867; and the Little Brick Schoolhouse, built in 1857.

The township of Afton, established in 1859 and named after the village, also has important historical structures and sites. Included among these are: the Bolles Mill Site, the first flour mill in Minnesota; the Bolles House, built in 1856 and the oldest frame house in the area; and Haskell's Farm.

In 1971, the village and township incorporated to form the City of Afton. Afton is a large city geographically, approximately 25 square miles, but is sparsely populated. The eastern portion of the city contains the bluffs and tree covered hillsides that attracted the original settlers, while the western portion has rolling hills, and open farmland.

BACKGROUND INFORMATION

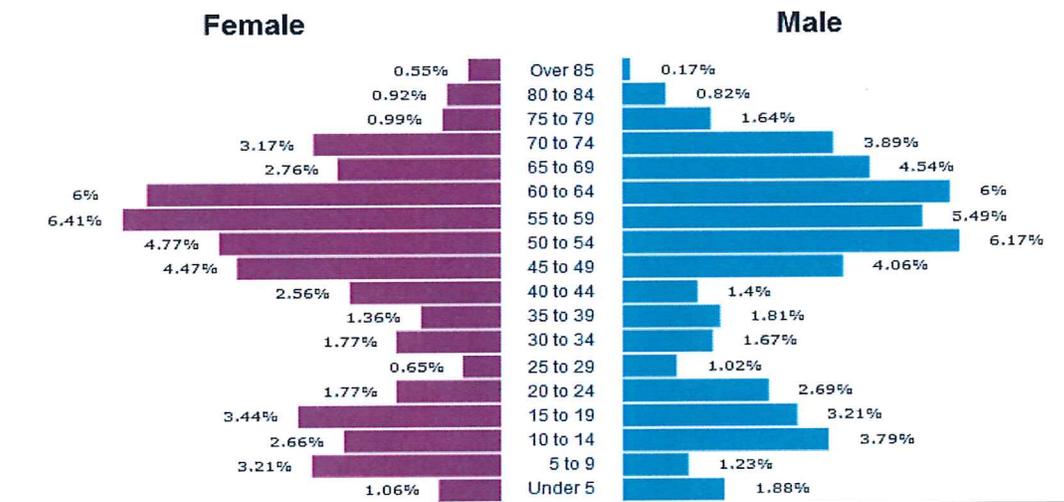
Afton has long been a desirable place to live. While being only minutes from St. Paul, Afton is a unique and special place due to the combination of its rural character, its scenic bluffs, and its location on a major wild and scenic river. The City has always approached land use management as a crucial component of its goal of protecting groundwater, the St. Croix River, and lakes and streams from the negative environmental impacts associated with urban development, which has set it apart.

Afton is and will remain a highly sought-after location. As surrounding areas have developed at typical suburban densities, Afton has remained steadfast in its low-density approach to development, in order to protect its environment and maintain its rural character. This contrast in development philosophy is visibly apparent as one enters Afton from the west. As these divergent development trends continue, Afton’s rural character will become even more in demand.

Migration & Turnover of Population

The population of Afton, as in all of the U.S., is aging. The median age in 1990 was 35.8, in 2000 42.2, and in 2010 a median age of 48.6. Since 1990, the number of people ages 20 to 34 declined from 432 in 1990 to 288 in 2010, 26 more than in 2000.

Population by Age & Gender in Afton
American Community Survey 2011 - 2015



The Aging of Afton’s population will continue in the coming decades. One of the results will be continuing turnover in residential property. As current residents decide to downsize their houses or adopt a lower maintenance lifestyle, many new homeowners will arrive from other cities. New residents will come for the same reasons current residents chose Afton: clean water, rural vistas, open spaces, and the St. Croix River. It is the responsibility of Afton’s residents and leaders to ensure that

new property owners come to share the values associated with Afton's character. Preserving the rural character, beauty, and natural resources of Afton will be paramount for the future of the City.

This is an opportunity to be proactive in telling Afton's story in a way that creates and manages the expectations of those who are considering developing or living in Afton, so that those who choose to develop or live in Afton are drawn here by the promise of the unique natural, open, rural character of the City vs. the urban development and services available in countless locations throughout the metro area.

Housing Values

The median housing value in Afton is significantly higher than both the median housing values of homes in Washington County and the State of Minnesota. This reflects the fact that Afton is a desirable place to live and that the demand for housing in the city is high.

Table 1 - Housing Values

	Afton	Washington County	Minnesota
Median value (2009 dollars)	397,100	243,600	186,200
Median monthly household costs with a mortgage payment	2,242	1,730	1,490
Median monthly rent	1,500	1,144	848

It is not clear what the future will bring in terms of housing values in Afton. Current trends statewide and nationwide suggest that housing values are rising and that demand is high. The desirability of housing in Afton is directly tied to the rural lifestyle and the connection to the natural environment that living in Afton provides. People value the low-density development pattern and willingly pay to secure that.

Conclusion

Afton has established a development pattern that residents value and is in high demand throughout the region. The challenge for Afton will be to continue to contain infrastructure costs, maintain a low demand for services, and incorporate new residents and their ideas in a way that focuses on the interests of all Afton residents and will maintain the current development pattern.

Demographic trends will significantly increase pressures to develop Afton. These trends in Afton are important to understand because they have evolved and increased in the years since the last update of the Comprehensive Plan. This Comprehensive Plan acknowledges these pressures and seeks to address them by reinforcing the diversified rural development pattern in the City of Afton through its housing and land use goals, policies, and strategies.

For additional demographic information and sources, see Appendix B.

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ENVIRONMENTAL RESOURCES PLAN

Intent

Afton's environment is a fragile one. The citizens of Afton have a high regard for their environment and have made major efforts to preserve and protect it. Preservation of Afton's natural features has not been an easy task considering the fragile soils, steep slopes, drainage ways, vegetation, and lakes and streams that make up the city. These delicate features need protection through careful planning.

Afton will only permit low density development which is designed to preserve and protect the soils, wildlife, slopes, drainage ways, vegetation, lakes, streams and river that make up Afton's natural features. Preserving the health and safety of residents requires protecting Afton's environmentally sensitive areas, which preserves the aesthetic qualities of the landscape and protects the purity of the air and water.

The citizens of Afton have a high regard for their environment. Low density development based on the use of private wells and individual and cluster septic systems have provided Afton with unique and sustainable neighborhoods that are not only self-sufficient, but collectively have a relatively low environmental impact. While the city is only fifteen miles east of downtown St. Paul, there is a world of difference between Afton and the surrounding urban and suburban development. Citizens desire to keep the city open and rural, while still enjoying the benefits of being located close to a major metropolitan area.

Afton's natural features exist in gently rolling uplands cut by deep ravines, drainage ways, and streams that flow into the St. Croix River. This topography, while uniquely defining, presents distinct challenges, particularly with stormwater and agricultural runoff. Interspersed with environmentally sensitive areas including trout streams, a lake, bluffs, ravines, wetlands, steep slopes, floodplains and a river, low density development is an essential part of the lifestyle in Afton. The commitment to preservation is strong (Appendix H-2007 Community Survey: Groundwater, Farmland and Rural Character).

Afton plans to accommodate future development without compromising the assets that make the city an environmentally friendly area. In addition to those mentioned above, natural resources in need of preservation include viewsheds, soils, wildlife habitat, wildlife corridors, groundwater resources such as springs and aquifers, geologically significant topographic features, vegetation, and drainage areas.

Soils

In the soil survey issued by Washington County Soil Conservation District in April 1980, the soils in Afton have been reviewed and different soil types categorized as to their suitability to accommodate on-site sewage treatment systems and to support a rural atmosphere, farming, groundwater protection, wildlife habitat, and a biological diversity for its citizens, flora, and fauna (see Appendix I). It is an inventory of the soils found in the city and indicates, among other things, the type of soil, the slope

gradient, the suitability of the soils to support certain uses and the degree and kind of limitation of each soil type for certain uses.

The maps that accompany the soil survey are useful as a planning tool since one is able to determine those areas that present problems for development. While the soil map is reasonably accurate, it is still recognized that unmapped pockets of different soil types can exist within a designated soil boundary line. Therefore, the soil map does not eliminate the need for soil sampling and testing on each building site. The soil map indicates the areas of prime agricultural soils and additional farmland of statewide importance.

The different types of soil in Afton are directly attributed to glacial till. (Tester, J.R., Minnesota's natural Heritage, University of Minnesota press, 1995; chapter 1) and weathered limestone. Most of the Afton area includes soils overlaying bedrock having slow percolation rates, steep slopes, periodic flooding and seasonal high water tables, although there are some karst areas with rapid infiltration rates. In addition, there are some areas in Afton that have been mined. These geologic features have created deep ravines and drainage ways. Soil types associated with these features are generally unsuitable for development due to their instability, high erosion potential and low absorption rates. Development in these areas needs to be monitored to prevent further soil degradation.

While soils are a major factor in determining the importance of land for agricultural purposes, (Appendix I – Map 3), there are many other factors that influence whether a land is most suitable for agricultural uses. In Afton, the prime agricultural lands tend to be those areas most easily developed, having few topographic or environmental constraints. Yet, these areas provide some of the broadest expanses of non-fragmented open space in the city and are thus critical preservation areas.

Topography

Afton's steep slopes (Appendix I–Map 5) are a result of erosion by flowing water. It is vital to the community that these drainage ways be protected and maintained. It is essential that every attempt be made to limit the amount of additional stormwater and agricultural runoff that flows through these drainage ways. Afton currently protects all slopes with a grade over 18 percent and slopes with a grade over 12 percent are protected if the soils on such slopes are deemed fragile. Continued care must be taken when allowing development in the upland areas of the City.

Vegetation

The vegetative cover is an essential part of Afton's natural environment and should be protected. (Appendix I–Map 4). In an area where there is such dramatic topography, damage to the vegetative cover can result in such things as increased erosion and stormwater runoff, and danger of flooding and siltation, lessening of water quality, loss of landscape diversity, decreased land values, detriments to surrounding wildlife and ecosystem, and degradation of soil and air quality. The tree cover is predominant where there are steep slopes, areas not being farmed and along watercourses and drainage ways. The vegetative cover consists mainly of deciduous trees, with several areas of planted conifers.

Riparian Systems

The St. Croix River, a National Wild and Scenic River, is one of the most pristine large river ecosystems in the upper Midwest. In 2009, it was named one of the Ten Most Endangered Rivers in the United States by the organization American Rivers. It is shared and highly valued by two states, Minnesota and Wisconsin. Land use along the river is governed by the Departments of Natural Resources of both states, as well as the U.S. Park Service and local municipalities. In addition to local zoning regulations, all development must conform to the provisions of the Lower St. Croix Bluffland, Shoreland, and Floodplain Management Ordinances.

Parts of the City of Afton are included in three major drainage ways (Appendix I-Map 6): the Valley Branch Watershed District, the Middle St. Croix Water Management Organization and the South Washington Watershed District. Valley Creek, South Fork Valley Creek, Trout Brook and other major ravines and drainage ways are tributaries to the St. Croix River. Much of the surface water that flows from Afton into the St. Croix River goes through or near the Old Village. It is vitally important to the safety of the Old Village, and to the health and vitality of the St. Croix River, that these drainage ways be protected and stabilized and the amount of stormwater runoff through these drainage ways be kept to a minimum.

According to the 1996 National Water Quality Inventory, stormwater runoff is a leading source of water pollution. Stormwater runoff can harm surface waters such as rivers, lakes, and streams which in turn cause or contribute to non-compliance with water quality standards. Stormwater runoff can change natural hydrologic patterns, accelerate stream flows, destroy aquatic habitats, and elevate pollutant concentrations and loadings. Development substantially increases impervious surfaces thereby increasing runoff from city streets, driveways, parking lots, and sidewalks, on which pollutants from human activities settle.

Nutrients (phosphorus and nitrogen) and sediment enter the St. Croix and its tributaries from many different sources: wastewater treatment plants, urban stormwater, residential lawns, crop land, pastures, animal feeding operations, construction sites and natural sources. Common pollutants in runoff include pesticides, fertilizers, oils, metals, pathogens, salt, sediment, litter and other debris.

Groundwater

Afton must keep the groundwater in its natural condition, free from any degradation caused by human activities. All homes in Afton are currently served by private wells and septic systems Afton is currently outside of the metropolitan urban services area (MUSA) and has no intention of utilizing the Metropolitan Council's sewer and water services even if they become available. However, a large subsurface treatment system and gravity sanitary sewer collection system has been constructed to serve the existing residential and commercial properties for the Historic Village Sewage Treatment Service Area. It is of the utmost importance in order to maintain our rural residential and agricultural character, that we have ample supplies of clean drinking water throughout the city. In areas that have rapid infiltration or that have been mined, it is essential to monitor groundwater to prevent unfiltered septic effluent from damaging the aquifer.

Aggregate Resources

Afton contains limited mineral deposits, primarily sand and gravel. Minnesota Geological Survey indicates that much of Afton falls within area designated as “Afton Valley Fill”, which is described as:

Colluvial material which fills in lower-lying areas within the bedrock uplands in southeastern Washington County. We interpret most of these deposits to be thin and gravel-poor. 1
(Minnesota Geological Survey Information Circular 46.)

The circular also indicates that, “*In all likelihood, the majority of these deposits will not continue to be available for mining because of competing land-use pressures.*”

Of the areas in Afton that could potentially be utilized for aggregate extraction, most are either within existing, residential neighborhoods or encumbered by a permanent conservation easement. (For instance, lands within the Belwin Conservancy are unavailable for aggregate extraction.) The remaining areas are zoned primarily Industrial, which allows for extraction through a permitting process outlined in Chapter 12, Article X, of the Afton City Code.

Although not significant in size, there are several areas in the city that have been mined that are unsuitable for building unless it is established that they can meet all building requirements. Mining removes the topsoil and sub-soils that filter runoff and sewage system effluent. Systems installed in soils in areas previously mined may result in the effluent moving quickly and untreated through the coarse soils to the water table resulting in pollution of water wells. This is of even greater concern if the area is one of groundwater recharge. Areas of groundwater recharge are critical areas that have soil characteristics that are conducive to rapid percolation of water from the surface into the substrate and ultimately into the local water table and connected hydrologic systems (wetlands, lakes, aquifers, and rivers). Pollution of the groundwater supply would have a devastating financial and environmental effect on the community and its residents.

Energy

As a sparsely populated rural community, the City will encourage feasible methods of energy storage and conservation, and renewable forms of energy that are environmentally friendly, including wind, photovoltaic and geothermal.

The Metropolitan Land Planning Act (Minnesota Statutes 473.859, Subd. 2) requires that local comprehensive plans include an element for the protection and development of access to direct sunlight for solar energy systems. The City of Afton protects such access by requiring minimum lot sizes, abundant open space, yard setbacks, and maximum height of buildings for urban residents. Land uses should not preclude the possible use of solar energy systems. The City will review and revise, as necessary, the Zoning and Subdivision Ordinances to ensure the protection of solar access.

New subdivisions are required to be designed to accommodate extensive use of passive and active solar energy systems. New and modified structures are prohibited from blocking reasonable capture of Solar Resource within the buildable area of other parcels, including vacant lots.

Environmental Resources Goals, and Policies

The City of Afton establishes the following environmental resource goals:

1. Preserve a rural landscape and natural ecosystem.
2. Maintain the city's overall one housing unit per ten acres, which is Afton's definition of low density, to limit development's footprint upon the land by maintaining the minimum acreage requirement.
3. Reduce nutrient loading to the St Croix River.
4. Improve and protect water quality in Kelle's Creek, Valley Creek, Lake Edith and the St. Croix River.
5. Protect supply of surface and groundwater.
 - a. Maintain springs, Lake Edith and Valley Creek at current surface elevation.
 - b. Maintain aquifers at levels supporting existing area wells.
6. Protect groundwater recharge areas from pollutants.
 - a. Prevent untreated wastewater and unfiltered stormwater runoff from entering the groundwater.
 - b. Develop a plan to reduce nutrients.
7. Protect groundwater aquifers from contamination.
 - a. Provide for safe drinking water.
 - b. Prohibit mining and prevent contamination from previously mined areas.
 - c. Continue a well monitoring program.
 - d. Encourage organic farming and gardening practices.
8. Maintain and enhance fish and wildlife habitats so as to retain or expand the current diversity of species.
 - a. Ensure the long term ecological stability of the riparian system.
 - b. Restore the riparian forests that line the banks of Valley Creek.
 - c. Provide for natural corridors throughout the City.
 - d. Explore creating effective wildlife corridors with neighboring communities.
9. Preserve existing forests, woodlands and prairies and control invasive species.
 - a. Plant diverse species of native trees.
 - b. Control and eradicate noxious species.
 - c. Control and eradicate invasive species to facilitate agricultural operations.
 - d. Prohibit clear cutting.
 - e. Encourage tree planting for erosion control, carbon sinks, water infiltration, and energy conservation.
10. Protect and preserve steep slopes and the land atop them from development.
 - a. Preserve viewsheds.
 - b. Prevent erosion.

11. Protect soils from erosion, contamination and loss.
 - a. Utilize best management practices in all development.
 - b. Provide natural buffers to stabilize soils and contain run-off where possible.
 - c. Encourage use of native grasses, flowering plants and shrubs.
12. Protect and preserve natural features unique to the City of Afton.
 - a. Promote conservation and scenic easements.
13. Reduce the use of fossil fuels for energy production by encouraging alternative options such as solar, wind and geothermal.
 - a. Reduce community wide use of non-renewable energy sources attempting to meet state-wide standards of 80% renewable by 2050.
14. Protect the night sky from light pollution.
15. Anticipate changing climate demands on our environment.
16. Promote wise land stewardship.

The City of Afton establishes the following environmental resources policies:

1. Maintain the city's overall development density of no more than one dwelling unit per ten acres.
2. Use water quality protection practices such as reducing the use of phosphorus fertilizers and support protection efforts by state, county and federal agencies, as well as the Valley Creek Protection Initiative.
3. Work with various agencies to develop a strategy for reasonable and achievable reduction of nutrient and sediment loading from wastewater treatment plants, Subsurface Sewage Treatment Systems (SSTS), stormwater, crop land, pastures, animal-based agricultural operations, construction sites and natural sources.
4. Strive for the highest standard possible for Individual or Communal, or Large Subsurface Sewage Treatment System technology and advanced treatment of wastewater where that technology has been tested, proven reliable and approved by regulatory agencies.
5. Work with the Wisconsin Department of Natural Resources (WDNR)), the Minnesota Department of Natural Resources(DNR), and the Minnesota Pollution Control Agency (MPCA) with support from the St. Croix River Water Resources Planning Team (an interagency planning team consisting of federal, state and local members) to develop Total Maximum Daily Load requirements which will enhance the water resources in the St. Croix River Basin.
6. Prohibit clear cutting.
7. Monitor and control land uses which contribute to erosion, pollution, and well contamination by enforcement of ordinances.
8. Work with the various agencies involved with groundwater monitoring in regard to the east well-field area in the City of Woodbury.
9. Continue to provide funding for a volunteer well-monitoring program.
10. Study and consider ordinances to allow for economically sustainable, locally renewable and environmentally friendly means of energy production.
 - a. The city will install renewable energy technology on city property.
 - b. Establish ordinances and building codes requiring energy efficiency and encourage use of renewable energy sources.

11. Actively enforce all land use ordinances, including the various special overlay districts.
12. Protect steep slopes, tree cover, wetlands and other fragile lands through conservation easements, scenic easements, and other available means.
13. Require setbacks from the crest of all slopes of 18% or greater, except in the Lower St. Croix Bluffland District where the slope is greater than 12%.
14. Utilize data from the Natural Resources Inventory when considering all land use applications.
15. Develop an Environmental Score Card for the City of Afton.
16. Discourage use of chemical pesticides.
17. Encourage use of organic landscape applications.
18. Encourage integrative pest management techniques such as biological control, habitat manipulation, modification of cultural practices, and use of resistant varieties.
19. Protect trout streams from temperature increases by actively enforcing Afton's restrictions on vegetative and topographic alterations in its shoreland district.

HOUSING AND LAND USE PLAN

The City's land use philosophy is an outgrowth of its focus on environmental protection and the resulting natural rural character of the City. The protection of groundwater is both essential to, and the result of, the City's low density development approach based on private wells and septic. The City's managed development philosophy is also based on limiting and managing stormwater run-off to protect the quality of the area's main natural and recreational resource, the St. Croix River.

In the Metropolitan Council's Thrive MSP 2040, Afton is designated as "Diversified Rural." The residents of the City of Afton have consistently supported the concept that Afton remain rural.

The residents of the City of Afton value the agricultural economy and rural character that an agricultural environment provides. This Plan intends to preserve agricultural land for permanent agricultural use, and does not accept the belief held by some that agricultural use is merely a temporary use or that agricultural lands are merely a holding area for future residential or other development. Moreover, the community values agricultural land as open space in an increasingly urban environment, a sanctuary for a rural lifestyle that Afton residents have consistently desired to maintain.

Agricultural

After several years of work, and in conformance with the Metropolitan Council's prior Development Framework Plan, in the Comprehensive Plan of 1982, the City of Afton established an Agricultural Zone with a density of 3 dwelling units per quarter-quarter section (40 acres) of land and passed ordinances to enforce that policy. At that time, and continuously to the present, the residents of the City of Afton have valued the agricultural economy and rural character that an agricultural environment provides.

Agriculture plays an important role in preserving the balance of economic conditions in the Twin Cities Metropolitan area, but productive agricultural land is being lost to nonagricultural development. Once agricultural land is developed for nonagricultural residential, commercial or industrial use, it is forever lost to agricultural production.

In April 1980, the State of Minnesota enacted the Metropolitan Agricultural Preserves Act. This act provides a package of benefits designed to give farmers in the seven-county metropolitan area the assurance that they can continue their farm operations on an equal footing with other farmers in the state, without the pressures of urbanization. These benefits include:

1. Agricultural use valuation.
2. A limit on total tax rates so that they cannot exceed 105% of the statewide average in townships for all purposes.
3. Prohibition of special assessments for sewer and water.
4. Protection for normal farm practices -- a local government would be prohibited from enacting ordinances which inhibit normal farm practices unless they bear a direct relationship to the public health and safety.

5. Protection from eminent domain -- before Ag Preserve land can be acquired by eminent domain, it must be shown that there are no reasonable, cost-effective alternatives which would have less of a negative impact on Ag Preserves. The process of review is conducted by the Environmental Quality Board. A suspension of up to one year is possible, but it cannot permanently stop eminent domain (Minn. Stat. . 473H.01 – 473H.17).

In order to take advantage of these benefits, a farmer's land must be designated "agricultural" on the city's land use map and zoned at a density of no more than one dwelling unit per quarter-quarter section for residential development. In addition, the farmer must apply for and receive certification from the city stating that the property is eligible for "preserve" status. Once a farmer's land is designated a preserve, the land must remain in agricultural use indefinitely or for eight years after the landowner applies for an expiration of the preserve designation.

Agricultural Zoning District and Agricultural Preserves Overlay District

To address environmental concerns detailed within this plan and to maintain our overall one dwelling per 10 acres (1 per10) density, this plan creates an Agricultural Preserves Overlay District. With the Agricultural Preserves Overlay District, the Agricultural District is envisioned to allow for three development scenarios:

1. Agricultural Preserves Overlay District 1 dwelling unit per quarter-quarter section (approximately 40 acres)
2. Agricultural Zoning: 3 dwelling units per quarter-quarter section (approximately 40 acres)
3. Agricultural Zoning using a Preservation and Land Conservation Development on a minimum of 80 acres: 4 dwelling units per quarter-quarter section Land developed under this option would be subject to conservation easements, and subdividers would be required to set aside an extensive part of their property for continued farming or conservation. The City intends to provide more conservation-minded land use planning throughout this zone so as to coordinate and link the preservation areas for maximum benefit and minimal impact to the character of the community.

Note that, pursuant to the Agricultural Preserves Act, lands in the Agricultural Preserves Program would only be allowed a density of 1 unit per 40 acres on a specific, designated parcel. (Agricultural Preserves Overlay District).

Residential

According to the 2010 census estimates, there were a total of 1,143 residential housing units in Afton.

Table 2 – Residential Housing Units, 2010 Estimates

	Afton	Afton %	Washington County	Washington County %	MN	Minnesota %
Single-Family Detached	1,139	99.7%	66,590	68.1%	1,619,319	67.2%
Townhomes (single-family attached)	0		13,713	14.0%	175,908	7.3%
Duplex, triplex and quad	4	0.3%	2,841	2.9%	98,798	4.1%
Multifamily (5 units or more)	0		13,213	13.5%	433,746	18.0%
Manufactured Home	0		1,333	1.4%	79,520	3.3%
Other (Boat, RV, etc.)	0		59	0.1%	0	0.0%
Total Housing units	1,143		97,749		2,409,701	

The majority of the housing stock (99.7%) that existed in Afton in 2010 was single-unit detached, which is a higher proportion than either Washington County (68.1%) or the State of Minnesota as a whole (67.2%).

The predominance of older housing is a unique feature of Afton. Nearly a quarter of Afton’s current housing was built in the 1960’s and 15% of the housing stock was built prior to World War II. Homes in Afton hold their value and have appreciated much more quickly than homes across the county and state

The high land values in Afton have been an obstacle for those looking to locate affordable housing in the City. This is not likely to change in the near future.

The Rural Residential Zoning District provides for residential development on private wells and on-site sewage treatment systems, with the exception of the rural residential properties within the Historic Village Sewage Treatment Service Area as shown in Figure 5.. Each Rural Residential lot requiring a minimum of five acres, including 2.5 acres of contiguous buildable area. With the steep topography of a majority of the land in the rural residential zone, the average density attainable in this zone is expected to be about one unit per ten acres.

Old Village

The village of Afton is within the Village Historical Site zoning district, hereinafter referred to as the “Old Village,” located in sections 22 and 23 of Afton along the St. Croix River. The eastern boundary of the Old Village is established by the St. Croix River. It is bounded on the southern and western sides by steep slopes and river bluffs. The northern boundary is the intersection of St. Croix Trail South and Stagecoach Trail South. The Village Historical Site zoning district has two sub-districts, the Village Historical Site-Residential District and the Village Historical Site-Commercial District.

The only commercial zone of the city is located within the Old Village (VHS Zone) which has been certified as a Historic District. This area has been the traditional commercial focus for the city and for area visitors. The existing village atmosphere needs to be preserved while allowing a balanced and

complementary mix of residential, recreational, locally attractive commercial and tourist uses. Infrastructure improvements should be designed to eliminate environmental hazards and to sustain the long term viability of the commercial area.

Commercial uses in that portion of the Old Village zoned commercial are within the Lower St. Croix Bluffland and Shoreland Management District and thus allowed by Conditional Use Permit only.

The quaint character and charm of this rural village stands in stark contrast to the commercial development happening in neighboring communities. The mix of small businesses and residential properties provides a unique destination experience.

The Old Village has a special place in the history of Afton. The Old Village was platted in 1855 by R. Haskell, Joseph Haskell, H.L. Thomas, and C.S. Getchell. The plat is typical of land divisions of that time: 50 x 150-foot lots and 80-foot wide street rights-of-way designed in a grid pattern overlaying the natural topography and other physical limitations of the site.

Afton's Old Village offers unique opportunities to business owners and professionals. The Old Village has attracted a number of successful small businesses as well as professionals drawn both to the lifestyle and the natural environment. This mix of businesses fits with the residential development of the Village and, together, they reinforce the context that makes the Old Village such an important feature of the City of Afton. Because of the location and the natural constraints on development, most successful businesses in the Old Village have a focused market. The Old Village is not the place for a big box store but rather an ideal location for specialty shops, services, and as a destination place for tourists.

The Old Village was established on river flats subject to flooding from the St. Croix River. A significant portion of the Old Village lies within the 100-year floodplain and, over the years, there has been periodic flooding. The City of Afton has made substantial improvements to the levee that protects the Old Village to enable the levee to be certified by the Corps of Engineers.; continued maintenance of the levee to standards necessary for certification will be necessary to protect against future flooding and encourage reinvestment in existing properties. The physical features noted above, bluffs to the west and south, the St. Croix River to the east, naturally constrain expansion of the Old Village beyond its present limits.

St. Croix Trail is the main thoroughfare running through the Old Village. It is maintained by Washington County at county standards. The other improved streets in the Old Village are typical of a rural village. The driving surfaces are relatively narrow, causing slower traffic speeds, a safe pedestrian environment and the aesthetic of the Old Village. In 2017 the City of Afton and Washington County upgraded the stormwater management and improved all streets and sidewalks in the old village.

Old Village residences and businesses have been utilizing private wells and on-site sewage treatment systems. Small lot sizes leave limited room on each property for sewage treatment. The overall density

has created concerns over the total amount of sewage effluent being discharged into the ground in a limited area. This concern was heightened by the existing, high groundwater table, which leaves limited vertical space for soil treatment before effluent reaches the groundwater. Adding these concerns to the intermittent flooding and geography, the Old Village has a small margin for error when it comes to properly treating sewage and therefore must carefully control remodeling and new construction. The City of Afton has taken steps to require periodic inspections of wastewater treatment systems within the Old Village. To mitigate these concerns, the City of Afton has installed a large subsurface treatment system (LSTS) and a sanitary sewer collection system to serve the Historic Village Sewage Treatment Service Area.

Many of the structures in the Old Village are of historical interest, which is a tremendous asset for the area. Unfortunately, some of these buildings are vacant or in disrepair. Where the historical value is not realized and the properties become blighted, it negatively impacts the entire community. A map showing structures and sites of historical value in the City of Afton is included in this plan (Appendix I-Map 8). The city intends to support renewal and reuse of these vacant buildings in order to continue to promote unique opportunities and the revival and survival of small businesses and professionals. Doing this will enhance the Old Village as a destination that attracts local residents and tourists.

Industrial

Approximately 239 acres of the City are zoned for light industrial use. The light industrial area is bounded by I-94 to the north, State Highway 95 to the west, and includes one 70 acre parcel directly abutting the south side of the Interstate Frontage Road and the east side of State Highway 95, as well as all property north of the Interstate Frontage Road between State Highway 95 to the city limits to the east. Light industry and storage related activities will continue to be allowed in the light industrial area under current zoning ordinances. Afton intends to maintain this area as a relatively low intensity transitional use between the interstate highway and the nearby residential zone. The light industrial area provides a location within the city for those uses that would be incompatible with the residential and agricultural districts.

Marine Services

The City has created a separate marine services zoning district to complement the river accesses and marinas and to permit storage and repair of boats and boat trailers by Conditional Use Permit. This District is generally confined to the area just north of the Old Village that was designated General Business and Light Industry in the Township of Afton before the Lower St. Croix River Bluffland and Shoreland Management Ordinance was adopted, and also includes a boat storage facility located on Manning Avenue just north of 8th Street.

State Park

Afton State Park is owned by the State of Minnesota, and is operated as part of the State Park System. The Park provides substantial open space and natural features, as well as recreational opportunities

for Afton residents and the general public. It is anticipated that the land will continue to be used in this way far into the future. The State Park consists of 793 acres.

Belwin Conservancy

The Belwin Conservancy - a non-profit conservation organization dedicated to the preservation, restoration, and appreciation of the natural world - owns 1,239 acres of preserved land in Afton. Belwin’s acreage is substantial and preserves and protects open space in the form of high value native habitats to include oak savanna and woodlands, tall grass prairie, wetland and fens. It is anticipated that this land will also continue to be conserved in this manner far into the future.

Table 3 - Acreages by Zoning District, City of Afton

Zoning District	Acres
Agricultural	7180
Rural Residential	7702
State Park	793
Industrial	289
VHS	176
Marine Service:	25

Housing and Land Use Goals, Policies and Strategies

The City of Afton establishes the following housing and land use goals:

1. Maintain the city's overall low density.
2. Preserve the rural character of Afton.
3. Encourage agricultural uses.
4. Maintain natural open spaces.
5. Promote wise land stewardship.
6. Maintain a low demand for public expenditures.
7. Avoid the need for extension of the metropolitan wastewater system into the City of Afton
 8. Resist development pressures and land speculation, which tend to create urban sprawl.
9. Ensure that development within the Old Village is sensitive to the natural environment that surrounds it.
10. Preserve and revive the rural village character of the Old Village and promote its use as an entry point for recreational activities in the area.
11. Maintain a mix of single-family residential structures and commercial structures containing niche businesses in the Old Village.
12. Provide for adequate parking in the Old Village
13. Encourage pedestrian-friendly sidewalks and lighting in the Old Village.
14. Promote relatively narrow driving surfaces and slower traffic speeds in the Old Village.

15. Improve access to and residents usage of the city docks and access to the St. Croix River as it relates to Main Street.
16. Ensure that untreated wastewater and stormwater do not flow into the St. Croix River.

The City of Afton establishes the following housing and land use policies:

1. The overall development density of the City shall not exceed one unit per ten acres
2. The City shall not approve any requests to permit property then within the municipal boundaries of Afton to be annexed to any other municipality.
3. The City shall maintain the current densities for the following land use classifications:
 - a. Agricultural– 3 dwelling units per quarter-quarter section.
 - b. Preserve Agricultural Preserves - 0 or 1 dwelling unit per quarter-quarter section.
 - c. Agricultural with a Preservation and Land Conservation Development and a minimum of 80 acres– 4 dwelling units per quarter-quarter section
 - d. Rural Residential - 1 dwelling unit per 5 acres, with a minimum of 2.5 contiguous buildable acres
 - e. Old Village – 1 unit per 22,500 square feet (1 unit is considered one structure and may include one commercial unit, one residential unit or a combination commercial unit on the main floor with residential unit above.)
4. The City shall maintain the current minimum lot sizes for newly created lots in each of the following land use classifications:
 - a. Agricultural – 5 acres with a minimum of 2.5 contiguous buildable acres.
 - b. Rural Residential – 5 acres with a minimum of 2.5 contiguous buildable acres.
 - c. Old Village – 22,500 square feet.
5. Provide for a mixture of land uses which maintains a rural environment and lifestyle and prevents the extension of the Metropolitan Council’s sewer systems, municipal water, and other urban services in the Agricultural and Rural Residential Zoning Districts.
6. Prohibit land uses which are inconsistent with the rural character of the Rural Residential Zoning District and which might place excessive demand on city services.
7. Prohibit rezoning of a parcel from Agricultural to Rural Residential unless, in addition to meeting other criteria, the parcel is more than 50% contiguous to a rural residential zoning district and such a rezoning would not result in development which is inconsistent with the generally rural character of the surrounding area.
8. Discourage residential development on lands suitable for agricultural use and adhere to planning practices that will allow farms to operate without external pressures.
9. Prohibit long and narrow lots and irregularly shaped lots except when deemed advisable in the Rural Residential Zoning District.
10. Restrict industrial uses to those which do not pose a threat to air or groundwater
11. Prohibit hazardous waste facilities within the city limits of Afton.
12. Restrict industrial development to those uses that do not generate large amounts of traffic or sewage, and can operate efficiently on an onsite standard drainfield approved by City ordinances.
13. Restrict industrial uses to those which would not create the need for metropolitan sewer, municipal water or sewer, or additional urban services.

14. Retail, restaurants and other similar commercial uses are allowed as principle uses only in the VHS Zoning District. Multi-unit dwellings within the Old Village are prohibited as they are not in keeping with the context of the community. Accessory commercial uses may be allowed by ordinance in other zones.
15. Monitor and support municipal wastewater collection and treatment serving properties within the Old Village.
16. Encourage economic revitalization of the commercial portions of the Old Village.
17. Continue to allow mixed use structures in the Old Village as they are consistent with the current character of that area.
18. To ensure the preservation of the character of the historic district, current non-conforming uses that are rendered unusable may be restored to their prior use in accordance with state law.

The City of Afton will seek to implement the following land use strategies:

1. Prepare a plan establishing priority conservation areas within the Agricultural Preservation Overlay District. The plan should identify areas that are best-suited for continued agricultural production as well as linkages/wildlife corridors that should be established throughout the district.
2. Partner with the Minnesota Land Trust and other independent, non-profit organizations that serve as holding entities for conservation easements.
3. Study parking needs in the Old Village.
4. Develop and enforce requirements for construction and maintenance of sidewalks and lighting in the Old Village.
5. Develop a management plan for unimproved right-of-ways in the Old Village.
6. Incorporate design review standards (to be) created by the Design Review/Heritage Preservation Commission for future village construction.
7. Encourage the use of conservation or open space design subdivisions where the subdivision permanently preserves open space or agricultural land uses or creates transition zones with adjoining zones or jurisdictions.
8. Develop signage and pedestrian-friendly connections to the St Croix River.
9. Protect Steamboat Park as a nature preserve and passive use area.

TRANSPORTATION PLAN

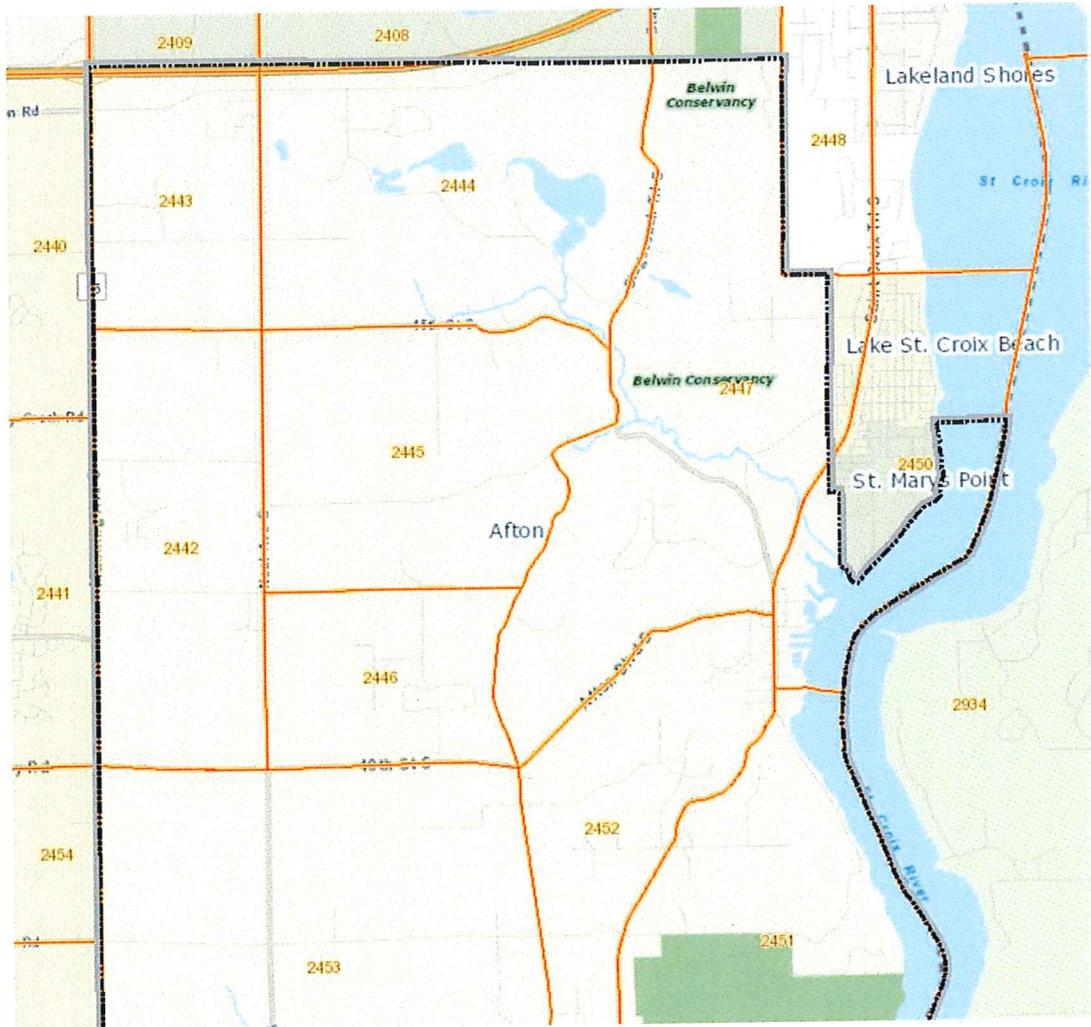
In 1855 the City of Afton consisted of a main street through the center of the village going north and south with short side streets extending up the sides of the bluffs. Today, Afton is served by an extensive network of federal, state, county and local roads.

The continued emphasis on low density, rural development pattern will not result in significantly more roads being added to the City of Afton. The projected household growth is estimated to be 12% over the next 20 years. There is a higher growth forecast for cities and towns adjacent to Afton. This higher adjacent growth forecast may bring more traffic to roads within the City.

Development of the road system over the past few decades has focused on the construction of new roads in cooperation with the developers of the subdivisions. The developer has been responsible for the construction of paved roadways and appropriate drainage to city standards and the city has assumed maintenance and ownership of these roadways one year after completion. Due to the low development density of the Agricultural Zoning District, road development has been deemed unnecessary and is prohibited within this zone.

Traffic Analysis Zones

Metropolitan Council Traffic Analysis Zones (TAZ) for Afton which were used to create the 2040 forecasted traffic volumes are detailed below. The projected growth for 2040 is 150 new homes and an increase in employment by 180.



Traffic Analysis Zones for Afton (TAZs)

Met Council TAZ	Population	Households	2014	
			Retail Employment	Non-Retail Employment
2442	224	81	3	8
2443	247	91	29	89
2444	338	119	2	74
2445	203	81	0	1
2446	203	77	1	11
2447	788	312	9	67
2450	1227	535	62	96

2451	263	104	0	5
2452	552	231	3	97
2453	555	201	0	100
TOTALS	4600	1832	109	548

2020				
Met Council TAZ	Population	Households	Retail Employment	Non-Retail Employment
2442	200	80	0	10
2443	250	100	20	100
2444	340	130	10	70
2445	230	90	0	0
2446	210	80	0	10
2447	810	330	20	8
2450	1260	560	40	180
2451	290	110	0	0
2452	590	230	20	80
2453	590	220	10	90
TOTALS	4770	1930	120	548

2030				
Met Council TAZ	Population	Households	Retail Employment	Non-Retail Employment
2442	210	80	0	10
2443	250	100	10	110
2444	350	140	10	70
2445	230	100	0	0
2446	220	90	0	10
2447	830	350	10	90
2450	1260	570	30	200
2451	290	120	10	5
2452	590	240	20	0
2453	630	250	10	90
TOTALS	4860	2040	100	585

2040				
Met Council TAZ	Population	Households	Retail Employment	Non-Retail Employment
2442	210	90	0	10
2443	250	100	10	110
2444	350	150	10	70
2445	230	100	0	0

2446	220	90	0	10
2447	830	360	10	100
2450	1280	570	20	210
2451	290	120	0	10
2452	590	250	10	100
2453	670	270	10	90
TOTALS	4920	2100	70	710

Roads and Highways

A combination of Federal, State, County, and local roads serve Afton as shown in the Existing Transportation System (Figure 3). Ideally, roads are designed to perform a designated function and are located to best serve the type of travel needed. The four functional classifications assigned by the Metropolitan Council that describe roads in Afton are

1. Principal arterial;
2. Minor arterial (“A” Minor/”B” Minor);
3. Collector; and
4. Local.

Principal arterial routes are roadways intended to connect metropolitan areas, major industrial centers, etc. that are the highest traffic volume roadways such as interstate highways. Minor arterials connect urban service areas to cities and towns inside and outside the region. The emphasis of minor arterials is on mobility as opposed to access in the urban area. Collector roadways provide connections between neighborhoods and regional business centers. Local roads provide land access by connecting blocks and land parcels.

Interstate I-94 is a principal arterial along the northern border of the City. “A” minor arterial connectors within the City are Trunk Highway (TH) 95, Washington County Road (CR) 18, and CR 21 (from the village to Denmark Township). “B” minor arterial routes are CR 71 and CR 21 (from the village to the north). Collector routes include 15th Street South (from TH 95 east to Oakgreen Avenue South). All other roads in Afton are considered local.

The remaining unpaved roads in Afton were paved in 2005. As these and other roads age, maintenance expenses are expected to increase over the next decade. The city is committed to maintaining the transportation infrastructure of Afton in a timely manner. The city should plan for road improvements over the long term and facilitate budgets that include ongoing funding. When necessary, bonding may provide funding for unanticipated improvements, providing such bonding includes planning to return to on-going funding.

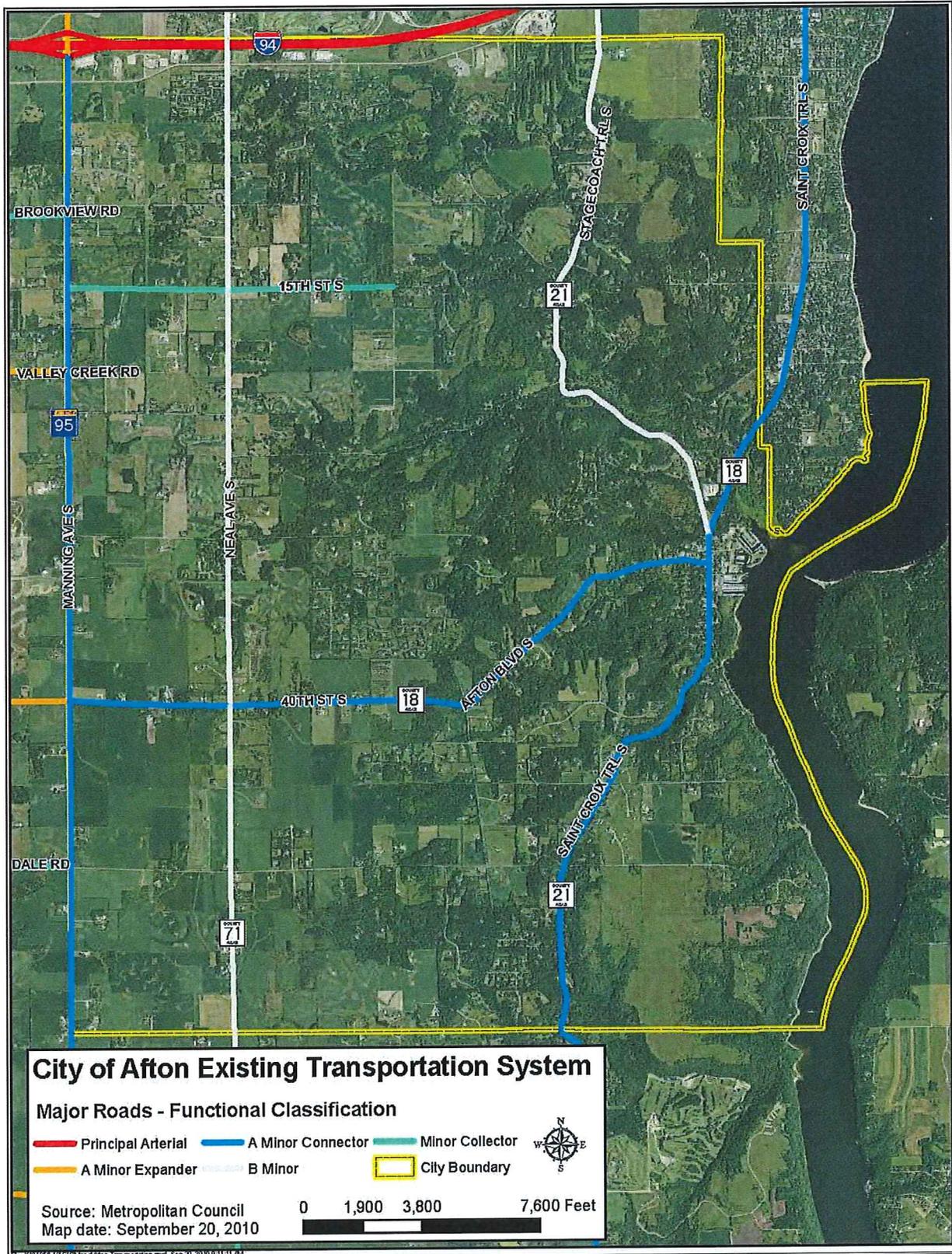


Figure 3 – City of Afton Existing Transportation System, Metropolitan Council

Safety

The City will construct new roadways and reconstruct roadways to meet City standards and increase safety and mobility.

Access Management

The City encourages the alignment of new access points with other existing access points, the provision of adequate spacing to separate and reduce conflicts, and the consideration of sight distance limitations. The City will use Washington County's access management requirements as a guide for design standards on local roadways.

Aviation

Afton does not have an airport or landing strip and will not allow any, public or private, due to the lack of central services, suitable land space, fragile soils, and noise pollution. Heliports are likewise prohibited. The City of Afton promotes the protection of airspace navigations and electronic communication. Current City ordinances prohibit any structures, including antennas and wind turbines, over 150 feet in height. Proposed new structure construction will require a Conditional Use Permit where the applicant will be required to submit a "Notice of Proposed Construction or Alteration" to the Federal Aviation Administration (CFR – Part 77, Form 7460-1).

Transit

Afton is outside of the Metropolitan Transit Taxing District; there is no regular route transit service existing or planned in the City. There is a Park and Ride lot located at I-94 and St. Croix Trail. Washington County provides limited transit service for the elderly and disabled. The City is located in Market Area IV; service options for transit in Market Area IV include Transit Link, formerly called "dial-a-ride", volunteer driver programs, and ridesharing. The City, in conjunction with its neighboring St. Croix Valley communities and Washington County, may be an advocate for a light rail corridor along I-94 to the St. Croix River. As our population ages, our City may choose to explore the expansion of bus service into our community.

Non-motorized Transportation

While the City of Afton encourages non-motorized transportation, it is not practical as a primary mode of transport outside of the Old Village. However, with the paving of most of Afton's streets, the City has become a destination for the recreational bicyclist who enjoy the rolling hills, open spaces, and low traffic volumes within much of the community.

Transportation Goals, Policies, and Strategies

The City of Afton establishes the following transportation goals:

1. Ensure safe routes for motor vehicles, bicycles, and pedestrians.
2. Ensure that roadways are adequate for use by emergency vehicles.
3. Provide appropriate roadways for area businesses depending on their location in an industrial zone or within the historic Old Village.
4. Provide reliable access to roadways outside of the City of Afton.
5. Provide and maintain roadways and intersections by the most cost effective means possible.
6. Avoid disruption to the natural environment.
7. Promote safe, contemporaneous use of the roads by motorized and non-motorized traffic, as well as oversized and slow moving farm vehicles and implements.
8. Utilize appropriate design and construction techniques to avoid premature degradation of roads adjacent to waterways.
9. Encourage “Park and Ride” lots for commuters in areas adjoining major thoroughfares.
10. Require right-of-way dedication for existing easement roads and existing streets whenever land is subject to City Council approval.

The City of Afton establishes the following transportation policies:

1. Prohibit the construction of new streets in the agricultural district except where deemed necessary to allow a property owner to use the property in keeping with the agricultural zoning and to promote land conservation to the maximum extent.
2. Control the upgrading of existing roads and construction of new roads which would serve to encourage non-farm development in the agricultural zone.
3. Prohibit airports, landing strips and heliports within Afton.
4. Update and implement a capital improvement program.

The City of Afton will seek to implement the following strategies:

1. Post speed limits, weight and parking restrictions on City streets, where appropriate.
2. Post share-the-road signs for bicyclists, equestrians and other uses, where appropriate.

GROUNDWATER AND SURFACE WATER PLAN

A copy of the City's Surface Water Management Plan is attached, as Appendix G.

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WASTEWATER AND SANITARY SEWER PLAN

Properly treating wastewater is a critical concern of the residents of Afton. There is a strong desire to ensure that wastewater is properly treated so as to limit the impact that development in Afton has on the natural environment. There is an equally strong desire to avoid the land use patterns that come with centralized collection and treatment of wastewater. Continued use of highly efficient and well maintained individual sewage treatment systems throughout the rest of the City will avoid public expenditures for central sewer and will prevent development at urban densities.

In 2013, the City completed a Facility Plan to evaluate various wastewater collection and treatment alternatives to replace current individual subsurface treatment systems (ISTS) within the Historical Village Sewage Treatment Service Area (HVSTSA). Included in the study were four alternatives: 1. Leave the system as is; 2. Conduct widespread ISTS replacement; 3. Implement a large subsurface treatment system (LSTS); or 4. Undergo regionalization. The Facility Plan concluded, after consideration of environmental, financial, and technical factors, that the preferred alternative for the city is the implementation of an LSTS system.

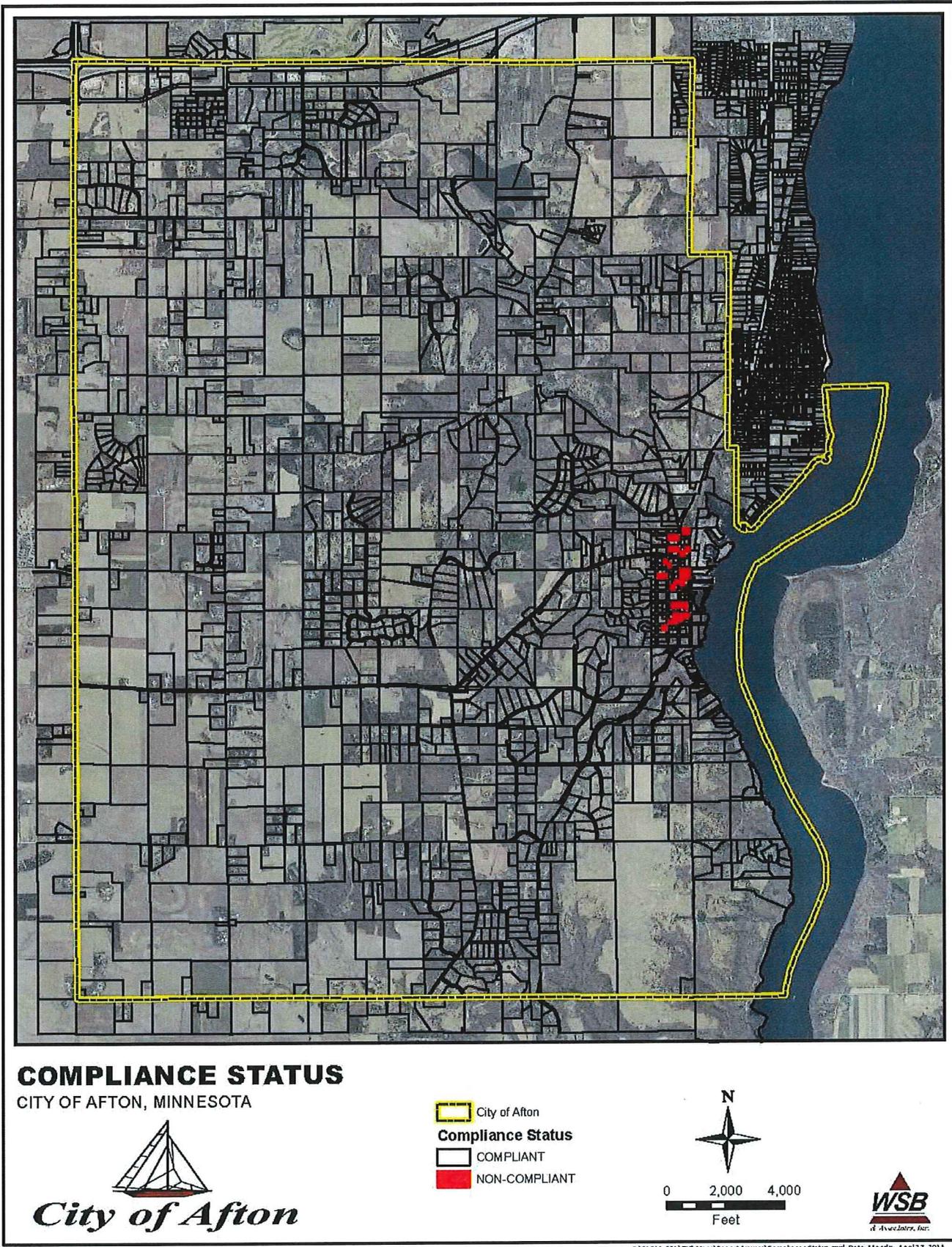
The Facility Plan has been reviewed and approved by the MPCA and the following information summarizes that plan in accordance with comprehensive planning requirements. The entire Facility Plan is included in Appendix M of this Comprehensive Plan.

Existing System

As of 2008, there were 1,119 individual, subsurface sewage treatment systems within the city limits. In addition, there is one community cluster system that serves eleven homes. A survey of the HVSTSA was completed, and the location of surveyed, non-compliant systems are shown in Figure 4. It was estimated that 52% of the existing systems were compliant and meeting setback requirements, with another 18% compliant but not meeting setback requirements.

The current reliance of ISTSs will require the City of Afton to be diligent in protecting residents' health, safety, and welfare. Development restrictions in place limit development in areas with unsuitable soils. Compared with other communities in Washington County, Afton has few soils with a slow percolation rate. Slow percolation rates usually indicate a heavy or tight clay soil which does not allow sewage effluent percolation. A significant area of these soils is in the southeast corner of Afton along the St. Croix River. Other small pockets of these soils occur along the many drainage ways within the City.

Figure 4. Parcels known to have non-compliant sewage treatment systems in the HVSTSA.



Steep slopes are predominant in Afton along the eastern half of the city. These steep slopes follow the major drainage ways. Currently, installation of an on-site sewage treatment system is prohibited on any slope exceeding 12%. Installation of septic systems on slopes over 12% may result in erosion, lateral seepage, and down-slope flow of effluent. The soils with a seasonal high water table or that are wet or subject to periodic flooding are also located along Afton's drainage ways. These soils are not suitable for septic systems since the effluent will either be dispersed into groundwater or will back up into the residence.

To further ensure the health and safety of Afton's residents, the City performs a thorough review of all ISTS designs and provides expert inspection for all installations. Afton has also implemented a maintenance program for existing systems, including an on-site, biennial mandatory inspection and the gradual upgrading of all substandard systems.

The installation, maintenance and inspection of all ISTSs and LSTSs are regulated by both the City of Afton and Washington County in accordance with Minnesota Rules Chapter 7080. An agreement is in place whereby Washington County provides individual sewage treatment system inspection services within the City (Appendix J – ISTS Inspection Services Agreement). As part of this agreement, the City of Afton has adopted Washington County's ordinance #179 by reference as Afton Ordinance 08-2010. The City has agreed to be consistent with, or more restrictive than, the county.

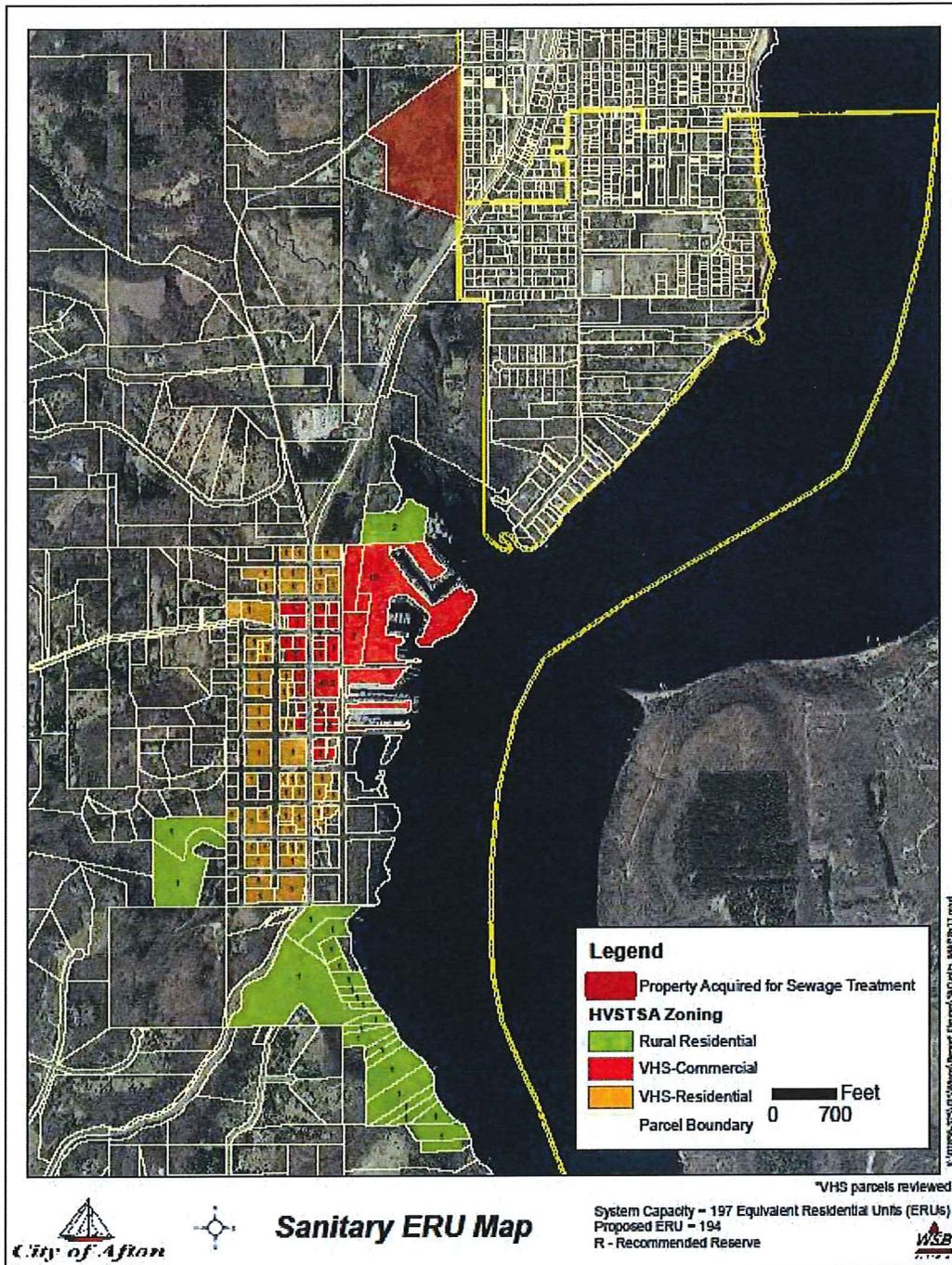
Existing ISTSs in the Historic Village Sewage Treatment Service Area will continue to provide wastewater treatment until the new system is operational - Because not all individuals will connect to the planned system, and others will be connected in stages, any residents remaining on ISTS systems will still be required to undergo biennial inspection.

Planned System Improvements and Projected Wastewater Flows

Due to the high flooding risk in Afton, as well as the non-compliant ISTSs serving residential dwellings and commercial establishments within the Historic Village Sewage Treatment Service Area, there is a need for sanitary sewer system improvements. The implementation of a LSTS will improve water quality and reduce noncompliant systems. The planned improvements will greatly reduce , health, and sanitation impacts to the City, residents, businesses, and general public.

There is a desire from the City of Afton, however, to prevent large-scale treatment systems that would allow for widespread commercial and industrial development. For this reason, the City implemented a LSTS with a capacity allowing a modest growth in residential and commercial flows only. The system estimates a population growth of 30 people (17%) in the Old Village over the next 20 years. In 2030, the system will serve an estimated 77 households and 22 commercial establishments. The following figure details the Historic Village Sewage Treatment Service Area to be served by the LSTS.

Figure 5. Current Zoning for parcels in the Historic Village Sewage Treatment Service Area.



The following table presents the sanitary sewer flows that will be generated within the Historic Village Sewage Treatment Service Area based on the land use designations as detailed in the city's Facility Plan. The 2020 and 2030 flows are in accordance with the proposed system staging that is described in the following sections. As the LSTS will only accommodate modest growth, it is assumed that the design capacities will be reached by the year 2030.

Land-Use	2013 Flow (gpd)	2020 Flow (gpd)	2030 Flow (gpd)
Residential	0	9,272	18,544
Commercial	0	14,175	28,349
Inflow/Infiltration Allowance	0	2,000	4,000
Total Peak Flow	0	25,447	50,893

Table 5. Estimated sanitary sewer flows.

Collection System Improvements

The improvements include the construction of a gravity sanitary sewer system, lift stations, and forcemain to convey the residential and commercial wastewater flows generated within the Historic Village Sewage Treatment Service Area to the LSTS. Individual sewer services will be connected in 2017 & 2018 to the pipe sewer and extend to the homes and businesses to be served.

The trunk lines within Saint Croix Trail extend to a main lift station located adjacent to the Steam Boat Park parking area east of the intersection of Saint Croix Trail and Upper 34th Street. The main lift station will convey the wastewater to the LSTS north of the Historic Village Sewage Treatment Service Area. Two additional lift stations located along River Road have been reconstructed to convey wastewater to the collection system and ultimately the LSTS. The following figure details the sanitary sewer collections system improvements within the Historic Village Sewage Treatment Service Area (Figure 6).

Figure 6. Planned sewer system in the Historic Village Sewage Treatment Service Area.



Treatment System

The treatment system consists of communal septic tanks, an anoxic denitrification component, recirculation tank, recirculating gravel filter, and a dose tank sized to store and meter flows throughout the day to a seepage cell soil dispersal drainfield. A control building houses various valves and controls. It also serves as a location to store miscellaneous items pertinent to system operation and maintenance.

The treatment system is located north of town at an elevation of 720 to 730 feet above mean sea level. The treatment system is above the 500 year, 100 year, 50 year, and 10 year floodplain elevations of 695 ft, 691.5 ft, 690 ft, and 686.5 ft, respectively, and will be operable during the 25-year flood and protected during a 100-year flood event.

Inflow and Infiltration

Due to Afton's proximity to the St. Croix River, extra precautions were put in place to ensure the system can withstand flooding. These precautions limit inflow and infiltration in the system. Flood-tight castings are used along the collection system in the floodplain. The collection sanitary sewer will be made from PVC plastic with water-tight gaskets and HDPE including fused joints to keep water from entering the system. In addition, the collection system was pressure tested after construction, and the manholes include joints, rings, and castings that are wrapped to exclude water. The combination of these technologies will greatly reduce the potential for inflow and infiltration. Nonetheless, the system plans include an inflow and infiltration allowance of 4,000 gpd as required by the MPCA permit.

Staging

Residences and commercial establishments that have existing non-compliant septic systems will be required to connect to the system. The remaining users in the Historic Village Sewage Treatment Service Area will be required to hook up to the system within eight years of completion. The system will be fully connected prior to 2030, as outlined in the updated Sanitary Sewer Code for the City of Afton (Appendix G.)

Wastewater Goals, and Policies

The City of Afton establishes the following wastewater goals:

1. Reduce the volume of wastewater that is discharged to the soils of Afton.
2. Protect ground and surface waters to the greatest extent practicable by improving the quality of wastewater effluent.
3. Protect the groundwater from chemical or hazardous waste introduced from wastewater systems.

The City of Afton establishes the following wastewater policies:

1. Encourage the use of individual, highly efficient, wastewater treatment systems for all homes and businesses within Afton.
2. Restrict industrial uses to those which would not create the need for metropolitan sewer or additional urban services.
3. Educate all residents on the proper maintenance of a septic system.
4. Monitor and manage the upgrading of all substandard wastewater treatment systems and require the immediate upgrading or replacement of failing systems.

PARKS AND OPEN SPACES PLAN

Residents value the rural atmosphere of Afton. Five-acre minimum lot sizes outside of the Old Village with houses that do not dominate the views of the countryside, large non-buildable areas of the City, and a large amount of farmland create an open feel to the landscape *Open spaces, in and of themselves, are valuable to the residents of the City as preserves of nature and sanctuaries for flora and fauna.* An adequate area of properly managed parks and open spaces helps to protect and recharge surface and groundwater which is used by every resident of the city.

The preservation of open spaces, including land with steep slopes, woodlands, wetlands, scenic or environmentally sensitive areas, and agricultural land provides many benefits, including the protection of natural resources, the provision of wildlife habitat, and the preservation of the natural, rural countryside character of Afton. The preservation of these open spaces is of key importance to the City. The City will seek to accomplish this preservation through a number of means, including:

1. Parkland dedication;
2. Parkland acquisition;
3. Open space dedication incentives in land development regulations; and
4. Encouraging and supporting the long term continuation of agricultural uses.

Existing Parks and Open Space

The City of Afton, and Afton's natural, open, rural character, greatly benefit from the substantial amount of open space that has been preserved by other public and quasi-public organizations. These open space amenities include a State Park, Regional Parks and the Belwin Conservancy. In addition, the St. Croix River is a magnificent open space amenity, providing scenic and tranquil vistas, and a major recreational resource. Another significant element of Afton's open space is its scattered rural development, including large lots and large expanses of agricultural land. Rather than developing new parks, the focus of the City has been to protect and preserve the existing natural resources and open space amenities.

The City currently has a limited amount of City-owned open space and developed parks. The City of Afton has one park for active recreation, Town Square Park, and another for passive recreation, Steamboat Park, along the St. Croix River. Both parks are located in the Old Village.

Steamboat Park lies mostly in the floodplain. and is approximately thirty (30) acres in size. It serves as a sanctuary for many birds and various kinds of wildlife. It is one of the few locations on the lower St. Croix River that is not readily accessible for large boat traffic. Recreation is limited to passive recreation, such as picnicking, walking, swimming, bird and wildlife viewing.

Town Square Park is a more active site. The park provides space for basketball, baseball, picnicking, music concerts, skating and group activities. There is playground equipment, a band shell, and a picnic shelter in the park, as well as restroom facilities. Town Square Park is the focal point of many special events.

Over the course of many years, the City has acquired a number of other parcels throughout the city of Afton with the potential to develop into local parks. These public lands were acquired in conjunction with the approval of major subdivisions over the course of several decades and remain undeveloped. In all, there are 53.44 acres of designated park land available for public use.

Community and regional parks (Afton State Park, Lucy Winton Bell Athletic Fields, Lake Elmo Regional Park Reserve, St. Croix Bluffs Regional Park, and Cottage Grove Ravine Regional Park) also provide a variety of different types of recreation to Afton residents.

Rinta Community Garden was created in 2012. The city of Afton received a grant from the Lower St. Croix Valley Community Foundation. These funds were used to remove trees and shrubs on approximately 1 acre of dedicated park land. The garden area was plowed and tilled. There are 21 garden plots on the property as well as compost bins, a garden shed with rain barrels to catch runoff from the shed's roof. Gardeners are primarily from the Lower St. Croix Valley, although a few come from Woodbury, Oakdale and St. Paul.

Two biking/hiking trails pass through the City. One trail follows St. Croix Trail South and extends from the northern edge of the Old Village to Interstate 94. The other, Afton Bluffs Regional Trail, is designated along County Road 18 running east and west, and is not separated from the roadway.

The planned St. Croix Valley Regional Trail will parallel the St. Croix River, and will connect Point Douglas County Park, Carpenter Nature Center, St. Croix Bluffs Regional Park, Afton State Park and the proposed Afton Bluffs Regional Trail. The St. Croix Valley Regional Trail will be aligned parallel and in close proximity to the St. Croix River.

The City seeks to protect a number of significant natural features within its boundaries. These include Trout Brook, Valley Creek and its North Branch, Bissell's Mounds and Kelle's Coulee. Bissell's Mounds in particular are unique to Washington County and are a recognized landmark in the City. Other natural features that are determined to be either unique or geologically sensitive will be preserved as the property around them is developed.

Afton State Park is located south of Afton and a portion of the park (787 acres) is located within the City's boundaries. The park was authorized by legislation in 1969 and was opened to the public in 1982. The terrain of the park is defined by a glacial moraine cut by deep ravines running into the St. Croix River. To Afton's residents, the state park offers many recreational amenities, including: backpack camping, swimming, hiking, fishing, cross country skiing, a prairie landscape, bird watching, and animal sighting. Some of the animals the park offers a home to include hawks, bluebirds, meadowlarks, deer, fox, badgers, turkeys, thirteen-lined ground squirrels, and gray and fox squirrels. Afton State Park is also home to an array of natural vegetation. It contains a combination of oak savannah and woodlands. Park wildflowers include woodland ephemerals in the spring, butterfly weed and puccoons in the summer, and sunflowers and blazing star in the fall.

Belwin Conservancy also holds considerable land within Afton under a conservation easement with the Minnesota Land Trust. The Belwin land provides a substantial open space amenity for adjacent land uses, and makes a major contribution to the protection of natural resources, and to the City's rural countryside character.

Parks and Open Space Goals, Policies and Strategies

The City of Afton establishes the following parks and open space goals:

1. Acquire and Preserve adequate amounts of open space to maintain a rural atmosphere (Afton's 2012 Park Plan).
2. Obtain and maintain designated open spaces to provide for wildlife habitat and migration.
3. Reconnect Afton's historical linkages to the St. Croix River.
4. Provide expanded access to the City docks to all residents.
5. Provide safe areas to ride bicycles within the City.
6. Provide safe areas to ride horses within the City.
7. Provide pedestrian friendly means of enjoying Afton's scenic views, wildlife, and connections to the St. Croix River.
8. Preserve locally important water resources, natural and scenic features.
9. Periodically identify the recreational needs of Afton citizens and evaluate ways to meet them.
10. Consider using the Afton Bluffs Regional Trail to create an east-west connection from Afton's Old Village to the City of Woodbury.
11. Manage all City owned or controlled land to maintain or restore to naturally occurring species of plants and trees plus those necessary to anticipate climate change.
12. Manage all City owned or controlled land to prevent erosion to recharge groundwater and to increase carbon storage.

The City of Afton establishes the following parks and open space policies:

1. Preserve open spaces and natural resources for passive use and create non-motorized trails through direct purchase, subdivision, scenic and/or conservation easements and other means to include the seeking of grants and the use of matching funds when they are available, but not the use of eminent domain.
2. Maintain central community places.
3. Maintain safe environments for children to play and for the community to gather.
4. Maintain designated open spaces to provide for wildlife habitat and migration.
5. Work cooperatively with Washington County, the Belwin Conservancy, the Science Museum of Minnesota, and other -public and private entities to preserve sensitive lands and open space.
6. Develop a forestry plan for all park and open space land to enhance water quality.
7. Develop a park plan for the five small parcels obtained by the City through park dedication.

The City of Afton establishes the following parks and open space strategies:

1. Develop signage and pedestrian friendly connections to the St. Croix River.
2. Protect Steamboat Park as a nature preserve and passive use area.
3. Develop a long term plan to obtain additional city owned land in areas identified as having unique environmental value, ecological significance or fragile geological attributes. Significant weight should be given to highly ranked areas identified on Afton's Natural Resources Inventory.
4. Develop a forestry plan to identify plant and tree species native to Afton and hardy in projected climate conditions.
5. Develop a long term plan to pay for acquisition and development of Afton's parks and open spaces.

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SOLID WASTE PLAN

Solid Waste Goals and Policy

The City of Afton establishes the following solid waste goals:

1. Manage waste in a manner that will protect the environment and public health.
2. Manage waste to minimize land filling and incineration.
 - a. Emphasize less waste generation.
 - b. Increase waste reuse (composting) and source separating of recyclable materials.
3. Routinely report to residents results of recycling and waste reduction with total volumes and associated cost benefits.
4. Educate residents and businesses by sending consistent messages about the importance and value of waste management both economically and environmentally.
5. Evaluate the value and relative success of mandatory or voluntary participation.

The City of Afton establishes the following solid waste policy:

1. Waste reduction and reuse of resources.
2. Waste separation and recycling.
3. Promote resource conservation and recovery.
4. Promote composting of yard waste and food waste.
5. Provide for trash hauling and recycling.
6. Enforcement of illegal burning or dumping of trash.
7. Routinely report to residents results of recycling and waste reduction efforts with total volumes and associated cost benefits.
8. Explore avenues to encourage residents and businesses to reduce solid waste by providing educational material for best present and future practices.

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CITY GOVERNANCE PLAN

The City provides services consistent with those provided in small rural communities, including general street maintenance, parks and recreation facilities, police service, fire protection, building inspection services and general assistance at City Hall. These services have typically been managed from City Hall by a city administrator and small staff.

The City of Afton owns five public buildings located on three parcels of property. The Afton Village Hall, leased to the Afton Historical Society and City Garage are located on Lots 1, 2, and 3 of Block 8 in the Old Village. The Town Hall (leased) and Garage are located in the NW quarter of the SW quarter of Section 10, on Stagecoach Trail South. The City Hall and a new city garage located next to city hall is located on Lots 2, 3, 4, 5, and 6 of Block 11 of the Old Village. The City also owns docks that are leased to a private operator.

Police protection is provided through a contract with the Washington County Sheriff's Department. As the city grows the cost of police protection may increase, and the provision of these services should be a consideration as new developments are proposed. Fire, ambulance, and rescue services are provided by way of a joint powers agreement among the five Lower St. Croix Fire Protection District cities with a fire station located in Lake St. Croix Beach. There are no current plans to add additional public facilities.

City Governance Goals, Policies and Strategies

The City of Afton establishes the following public facilities goals:

1. Maintain a small and efficient government.
2. Properly maintain public facilities.
3. Encourage a “pay-as-you-go” approach to maintaining public facilities and infrastructure.
4. Public subsidy for development, in the form of tax breaks such as Tax Increment Financing, shall be discouraged by the City of Afton.

The City of Afton established the following public facilities policies:

1. The City of Afton will comply with all FAA and Met Council Aeronautic Safety Standards regarding the height of structures and any regulations that pertain to airspace safety and electronic interference over the City of Afton.
2. Comply with all state and federal mandates.
3. City property is to be leased at market value.
4. The City Code shall be properly maintained so that current version is annually provided to all elected and appointed officials.
5. Continue utilizing and updating the Capital Improvements Plan and long-range planning process for maintenance and improvement of roads and other municipal infrastructure.

The City of Afton will seek to implement the following strategies:

1. Institute a budgeting process that annually takes a long-term examination of the City's finances.

SYSTEM STATEMENT COMPATIBILITY

The Metropolitan Council has issued a system statement for the City of Afton, which indicates specific issues that must be addressed by the Comprehensive Plan before the Plan is considered complete by the Metropolitan Council. The City of Afton seeks to comply with all aspects of the system statement and has done so as per the following:

1. **Population, Housing, and Employment Forecasts:** The Metropolitan Council (Met Council) provides population, housing and employment forecasts for the City of Afton until the year 2040. These are required to be part of the plan update and are cited in Appendix B - Demographics Information of the Comprehensive Plan.
2. **Density and Land Use Classification:** The Met Council classifies the geographic area that the city of Afton is located in as "diversified rural" and partially "agricultural". Diversified rural areas include a mix of large-lot residential and clustered housing with agricultural and other uses. Density in diversified rural areas must be no greater than 1 housing unit per 10 acres. Agricultural areas are planned and zoned by local communities to maintain agriculture as the primary long-term land use. The density of agricultural areas may not exceed 1 housing unit per 40 acres.

This plan identifies policies, in the Housing and Land Use Action Plan, that will maintain an overall development density within the parameters required in the system statement.

3. **Aviation Plan and Facilities:** The system statement requires that the City of Afton must include airspace protection in its comprehensive plan. The protection is for potential hazards to air navigation including electronic interference. Airspace protection should be included in local codes/ordinances to control height of structures, especially when conditional use permits would apply. The comprehensive plan should include policy/text on notification to the FAA as defined under code of federal regulations CFR-Part 77, using the FAA Form 7460-1 "notice of proposed construction or alteration."

There are no public or private airfield facilities within the City of Afton. Furthermore, public and private airfields and heliports are not allowed within the City of Afton. Language has been added to the Public Facilities Action Plan to reflect Afton's desire to follow all FAA and Met Council Aeronautics Safety Standards in regards to airspace safety in the City of Afton.

4. **Sewage Treatment:** The system statement requires that the City of Afton incorporate current MPCA regulations as part of a program for managing individual cluster, and large sewer systems

in the local comprehensive plan and implement the standards in issuing permits. An overview of Afton's management program must be included in the community's local comprehensive plan update.

Afton should include in the sewer element of its comprehensive plan the conditions under which private treatment plants would be allowed. The use of private wastewater treatment plants must be consistent and compatible with the long-term regional wastewater system plan.

Subsurface and cluster septic treatment systems are regulated by Afton City Code which adopted Washington County's septic ordinance by reference and by contract with Washington County to perform permitting and inspections (Appendix J).

5. **Watershed Management:** The system statement requires that a local surface water management plan should be prepared once a watershed plan for the area has been approved. The local surface water management plan must be submitted to both the water management organization(s) within whose watershed the community is located and to the Metropolitan Council for its review.

Afton is required to complete a local surface water management plan. The plan will be submitted to the Met Council for its review concurrent with the review by the watershed management organizations.

6. **Trail Connections:** The system statement indicates that a proposed regional trail following the St. Croix River (St. Croix River Regional Trail) and a planned trail (Afton Bluffs Trail) will be located within or traverse across the City of Afton. These trail alignments are acknowledged in the Parks and Recreation Action Plan.

IMPLEMENTATION PLAN

The City has adopted and does enforce the following ordinances, among others. The ordinances and official controls listed in this section will continue to be enforced in order to implement this Plan.

1. The Zoning Ordinance, as amended from time to time and incorporated by reference herein, implements the primary elements of this Plan by establishing the type, location, and intensity of uses throughout the city as prescribed by this Plan.
2. The Shoreland Management Ordinance, as amended from time to time and incorporated by reference herein, protects wetlands, water bodies and water courses throughout the City as prescribed by this Plan.
3. The Floodplain Ordinance, as amended from time to time and incorporated by reference herein, protects man-made development from floodwaters and the floodplain areas that carry and discharge regional floods by limiting development in those floodplains and floodways in the City as prescribed by this Plan.
4. The Sanitary Sewer Disposal Ordinance, as amended from time to time and incorporated by reference herein, governs the installation, inspection, and maintenance of septic systems as prescribed by this Plan. Further, the City issues septic system permits, inspects installation of all septic systems, reviews soil tests for subdivisions, issues building permits after the City has issued any required zoning use permit, and provides consultant planning services. The City is currently undergoing a Sanitary Sewer code revision to address changes in the Historic Village Sewage Treatment Service Area
5. The Subdivision Ordinance, as amended from time to time and incorporated by reference herein, regulates the division of all property as prescribed by this Plan.
6. The Mining Ordinance, as amended from time to time and incorporated by reference herein, establishes uniform performance standards for sand and gravel extraction and for land reclamation as prescribed by this Plan.
7. The Lower St. Croix River Bluffland and Shoreland Management Ordinance, as amended from time to time and incorporated by reference herein, protects the natural environment and aesthetics of this wild and scenic river as prescribed by this Plan.
8. The International Building Code, as amended from time to time and incorporated by reference herein, protects the safety, health and welfare of residents through regulating standards of construction.

In addition to these ordinances, the city utilizes and depends on the following agencies for reviews of proposed developments and advice on ordinance revisions:

1. Watershed and Water Management Organizations review all proposals within the watershed and recommend permit conditions for building within four different watershed districts within City limits.
2. Minnesota Department of Natural Resources reviews and approves all developments along the St. Croix River, other public water bodies and floodplains.
3. U.S. Army Corps of Engineers reviews and approves alterations of public water bodies.

4. Minnesota Pollution Control Agency reviews pollution problems.
5. Metropolitan Council reviews and approves the comprehensive development plan.
6. Lower St. Croix Valley Volunteer Fire Department recommends ordinances necessary to protect the health and safety of Afton residents, and comments on development proposals.
7. Washington County Soil and Water Conservation District reviews proposed projects and offers recommendations on slope, wetland, and fragile lands protection.
8. Minnesota Department of Transportation and Washington County Highway Department maintain and develop state and county roads.

In 1997, the City amended and recodified its ordinances to eliminate any inconsistencies and to assure conformance with the Comprehensive Plan. In addition to enforcing the existing ordinances that will implement this Plan, the city will update and revise pertinent ordinances in order to implement all of the policies contained in this Plan. As a general overview, it is the City's intent to amend the ordinances and policies in conformance with this plan within required timeframes.

While this plan contains much of the language, intent and purpose of the previous version of the City's Comprehensive Plan, it has been formatted quite differently. The plan is now organized into sections of background followed by topic specific goals. It is the intention of the City of Afton to work, over time, on developing policies and strategies for implementing these goals. When adopted, these would require an amendment to the plan, which would need to follow required procedures for making plan amendments.

CAPITAL IMPROVEMENTS PROGRAM

The City has limited funding for capital improvements and seeks to minimize debt. As such, the City needs to correlate the tax base with the long-term capital needs of the community, including:

1. Re-pave, reconstruct and sealcoat streets.
2. Repair bridges, streets and culverts as required.
3. Use Park Dedication Funds to upgrade existing facilities and to purchase land and/or easements to add to future park and trail infrastructure.
4. Resolve surface water erosion issues.

A detailed Capital Improvement Program (CIP outlining cost estimates, income sources, and payment schedules will be attached to this plan at a future date.) The CIP will be reviewed and revised annually. Sound financial planning will be utilized so as not to significantly increase the tax burden on individual property owners in fulfilling the capital improvement plan.

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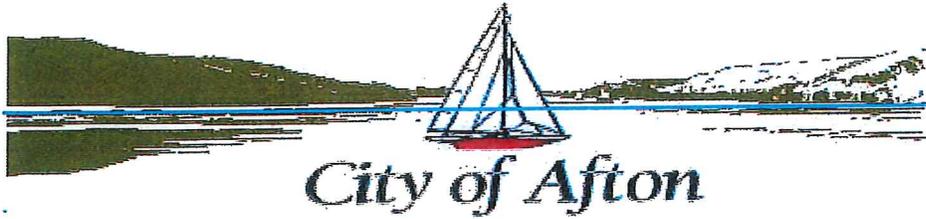
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CITY OF AFTON 2018 COMPREHENSIVE PLAN

APPENDICES

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CITY OF AFTON
2008 COMPREHENSIVE PLAN
March 16, 2010
Modified: November 30, 2010

July 19, 2011
Revised May 19, 2015

Comments compiled-12.5.2017 + Ron edits 12.11.17 + Solid
Waste edits 12/18/17
Working Draft

+ RHB edits and comments

1/8/18

Now that I have a word copy, I have inserted my edits and comments. There are a few deviations from my prior disseminated notes.

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PREAMBLE

We, the residents of the City of Afton, Minnesota, in order to:
preserve our rural sanctuary amidst suburban sprawl;
preserve our agricultural heritage and land use;
preserve the character of our Old Village;
protect our groundwater and surface water from contamination;
protect our rolling hills from erosion;
provide for open spaces to be enjoyed by future generations; and
ensure a sound tax base and a sense of community
Do ordain and establish this 2018 Comprehensive Plan.

Philosophy

From the time this community was named with a river in mind and now a City on the Scenic St. Croix River, water has been *the* foremost concern of its residents. That concern has never been greater than today.

Some see urban development as excellent proof of a growing economy; we see urban development as a threat to the water we drink, the crops we grow, and the vistas we gaze upon. This preservation attitude is consistent with the long-term desires of our residents and promotes a healthy respect for the environment. As such, our ordinances do not forbid change; they require that change not harm the environment. As stewards of this land and all that is in it or on it, we can do no less. This City is different from other communities in the Metropolitan Area *and wants to stay that way.*

This City borders on another city that has a diametrically opposed philosophy about land use and urban expansion. This is one of the most significant challenges this City has ever faced. The adage in the real estate industry is that the three most important points in real estate are “location, location, and location.” The three most important points in the City of Afton are “groundwater, surface water, and groundwater recharge.” We drink this water, we fish these streams, we protect the environment for the flora and fauna with which we share the land.

In many respects, we regard agricultural and open space as the “highest and best use” of the land. We regard our position as a community trust to preserve, protect, and defend our lands and lifestyle from irreversible change. That is our right and the actions of other jurisdictions, including the Legislature and the Metropolitan Council, *should respect that vision of Afton to remain rural by choice.*

Introduction

*Flow gently, sweet Afton, among thy green braes,
Flow gently, I'll sing thee a song in thy praise;
My Mary's asleep by thy murmuring stream,
Flow gently, sweet Afton, disturb not her dream.*

When Robert Burns penned these words, he was describing his own idyllic rural sanctuary in southern Scotland. Half a century later, settlers of the St. Croix Valley would recognize the same spirit in the locale of the township and city they would name Afton.

Afton strives to remain true to the vision of a rural environment, a place neither purely agricultural, nor purely residential, but a blend of both. Located only fifteen miles from downtown St. Paul and bordering rapidly growing suburbs, Afton's unique status as a rural sanctuary is worth preserving.

This plan is divided into Sections as recommended by the Metropolitan Council: Inventory, Goals and Policies, and Implementation. The message of this plan and the story of Afton should be abundantly clear. This city is unique among communities in the Metropolitan Area and wants to stay that way. Afton's leaders are to look to the principles espoused within this plan for governing guidance as they define the ordinances that will preserve this place for current citizens and those to come. For definitions see Appendix A.

Vision Statement

The City of Afton began as a country village. The city's Old Village provides a business center and a rural village atmosphere typically only found far away from the conveniences of a metropolitan area. The Old Village is the cultural heart of the community, providing a town square and access to the river.

Afton is also a city of water. The St. Croix River and the creeks that flow through Afton shape the landscape and are a critical resource for the community. The quality of groundwater and surface water is essential to maintaining Afton's character. Wells and septic systems, rather than city water and sewers, govern every home's relationship to the land.

Afton is also a city of open fields. The farm fields of southwestern Afton represent the city's historical roots in agriculture and continue to be farmed in the face of development pressures on Afton's borders. Methods of preserving Afton's agrarian roots must be found if the city is to remain a rural sanctuary.

Afton is also a city of rolling hills. Water has carved these hills over thousands of years, but it is the impact of development which the city must protect against. Erosion and deforestation in these hills strip Afton of forests and vistas that are also an essential part of life in Afton.

Most importantly, Afton is a city of people. The community within this rural sanctuary gives meaning to the city's character. A sound tax base provides the community with the means to maintain roads, provide police and fire protection, and provide public facilities for the community.

*How lofty, sweet Afton, thy neighbouring hills,
Far mark'd with the courses of clear, winding rills;
There daily I wander, as noon rises high,
My flocks and my Mary's sweet cot in my eye.*

The rural sanctuary in southern Scotland that Robert Burns wrote of has long passed into history. But on the shores of the St. Croix River, the citizens of Afton established this plan to maintain the city's deep-seated historical vision. We are stewards of this land and all that is in it or on it, and our government has been granted a trust to preserve and protect our lands.

Public Involvement

In the past the City of Afton involved the general public in the assembling of plan updates. Since the revisions to this plan in 2018 are more limited, public involvement not been as extensive. City commissions were asked to review sections of the plan that pertained to their areas of expertise and pass that on to the Afton Planning Commission. Public hearings held in early 2018 provided the opportunity for citizens to comment on the revised plan.

Commented [JY(C1)]: Public Involvement section was not included in 2015 revision.

Purpose

Afton's location within a major metropolitan area belies the rural atmosphere that greets commuters at its borders. Residents and visitors to Afton know they have arrived somewhere special. When Afton residents were asked what they like best about living in Afton, the three most prevalent responses all related to Afton's natural, rural character; each of them is crucial to making Afton a unique community:

1. Rural location and low population density;
2. Open space and dispersed pattern of development; and
3. Presence of active farms and agriculture.

Afton residents value rural location, low development density, open space, working farms, abundant wildlife, and historic "Old Village" Afton residents enjoy Afton's proximity to the St. Croix River, Belwin Conservancy, state and regional parks, the convenient location of the City to commercial centers, reasonable taxes, good schools, and our community identity --(Community Survey: General Priorities – Appendix H).

The purpose of the Afton Comprehensive Plan is to perpetuate this character. It is to identify and capture those things that make Afton a unique and special place and protect them for current and future residents.

Citizens of Afton obtain their drinking water from the ground. It is essential, therefore, that thoughtful development planning be followed in order to protect this vital resource. Because groundwater and surface water are connected, it is just as essential to protect our streams and lakes.

The primary purposes of this plan are the following: ~~The primary purpose of this plan is to:~~

Commented [RB2]: using a plural to reflect the plural purposes listed below

- ~~Provide for the preservation of our water resources through careful planning;~~
- ~~1. Promote the health, safety, and welfare of the City of Afton and its residents.~~
 - ~~2. Provide for the preservation of our water resources through careful planning.~~
 2. Preserve agriculture and open space.
 3. Protect groundwater and natural resources.
 4. Maintain the historical character of the Old Village.
 5. Ensure a safe and pleasant environment for residential, commercial, agricultural, industrial and public activities ~~and~~
 6. Ensure a sound tax base, which will provide the resources needed to maintain our quality of life.

Historical Background

The early human inhabitants of the St. Croix Valley were Native Americans. In the early 1800's, Afton was settled by New Englanders who probably felt at home among Afton's tree covered hills and bluffs. The city retains that New England flavor with its natural beauty accented by narrow, winding roads and small, clapboard sided houses. Joseph Haskell, in 1839, planted three acres of corn and potatoes, built a farmhouse, and thus began the first farm in Minnesota. While communities north of Afton were building sawmills, the first flour mill in the state was built in Afton in 1843. A further indication of the importance of agriculture in Afton was the use of a steam-powered threshing machine in 1861.

The village of Afton was platted in 1855. The majority of the city's historical structures are located within the boundaries of the original village. The 1974 Afton Comprehensive Plan established the Village Historic Site District in recognition of the village's historical significance. The following sites are found within the boundaries of the Village Historic Site District: the Afton Theological Academy, the area's first educational academy built in 1867; the Village Hall (housing the Afton Historical Society), built in 1895 as the Congregational Church; the "Little Red House," built in 1859; the Afton House, built in 1867; and the Little Brick Schoolhouse, built in 1857.

The township of Afton, established in 1859 and named after the village, also has important historical structures and sites. Included among these are: the Bolles Mill Site, the first flour mill in Minnesota; the Bolles House, built in 1856 and the oldest frame house in the area; and, Haskell's Farm.

In 1971, the village and township incorporated to form the City of Afton. Afton is a large city geographically, approximately 25 square miles, but is sparsely populated. The eastern portion of the city contains the bluffs and tree covered hillsides that attracted the original settlers, while the western portion has rolling hills, and open farmland.

BACKGROUND INFORMATION

Afton has long been a desirable place to live. While being only minutes from St. Paul, Afton is a unique and special place due to the combination of its rural character, its scenic bluffs, and its location on a major wild and scenic river. The City has always approached land use management as a crucial component of its goal of protecting groundwater, the St. Croix River, and lakes and streams from the negative environmental impacts associated with urban development, which has set it apart.

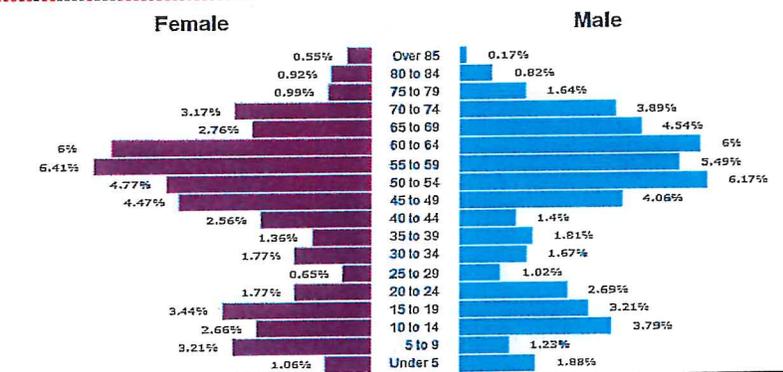
Afton is and will remain a highly sought-after location. As surrounding areas have developed at typical suburban densities, Afton has remained steadfast in its low-density approach to development, in order to protect its environment and maintain its rural character. This contrast in development philosophy is visibly apparent as one enters Afton from the west. As these divergent development trends continue, Afton's rural character will become even more in demand.

Migration & Turnover of Population

The population of Afton, as in all of the U.S., is aging. The median age in 1990 was 35.8, in 2000 ~~it had grown to 42.2, and in 2010 a median age of 48.6. Since- Between Since 1990 and 2000~~, the number of people ages 20 to 34, declined from 432 ~~in 1990 to 288 in 2010, 26 more than in 2000, to 262.~~

Population by Age & Gender in Afton
American Community Survey 2011 - 2015

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The Aging of Afton's population will continue in the coming decades. One of the results will be continuing and housing trends could mean fairly widespread turnover in residential property, in the next decade. As current residents decide to downsize their houses or adopt a lower maintenance lifestyle, many new homeowners will arrive from other cities. New residents will come for the same reasons current residents chose Afton: clean water, rural vistas, open spaces, and the St. Croix River.

It is the responsibility of Afton's residents and leaders to ensure that new property owners come to share the values associated with Afton's character. Preserving the rural character, beauty, and natural resources of Afton will be paramount for the future of the City.

This is an opportunity to be proactive in telling Afton's story in a way that creates and manages the expectations of those who are considering developing or living in Afton, so that those who choose to develop or live in Afton are drawn here by the promise of the unique natural, open, rural character of the City vs. the urban development and services available in countless locations throughout the metro area.

Housing Values

The median housing value in Afton is significantly higher than both the median housing values of homes in Washington County and the State of Minnesota. This reflects the fact that Afton is a desirable place to live and that the demand for housing in the city is high.

Table 1 - Housing Values, ~~2000 Census~~

	Afton	Washington County	Minnesota
Median value (2009/1999-dollars)	397,100 225,600	243,600 156,200	186,200 122,400
Median monthly household costs with a mortgage payment	2,242 1,473	1,730 1,263	1,490 1,044
Median monthly rent	1,500 1,375	1,144 699	848 566

It is not clear what the future will bring in terms of housing values in Afton. Current trends statewide and nationwide suggest that housing values are rising and that demand is high. The desirability of housing in Afton is directly tied to the rural lifestyle and the connection to the natural environment that living in Afton provides. People value the low-density development pattern and willingly pay to secure that.

....the long-term interests of all property owners in the City of Afton are with maintaining the current development pattern, which is the source of value.

Conclusion

Afton has established a development pattern that residents value and is in high demand throughout the region. The challenge for Afton will be to continue to contain infrastructure costs, maintain a low demand for services, and incorporate new residents and their ideas in a way that focuses on the interests of all Afton residents and will maintain the current development pattern.

Demographic trends will significantly increase pressures to develop Afton. These trends in Afton are important to understand because they have evolved and increased in the years since the last update of the Comprehensive Plan. This Comprehensive Plan acknowledges these pressures and seeks to address them by reinforcing the diversified rural development pattern in the City of Afton through its housing and land use goals, policies, and strategies.

For additional demographic information and sources, see Appendix B.

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ENVIRONMENTAL RESOURCES PLAN

Intent

Afton's environment is a fragile one. The citizens of Afton have a high regard for their environment and have made major efforts to preserve and protect it. Preservation of Afton's natural features has not been an easy task considering the fragile soils, steep slopes, drainage ways, vegetation, and lakes and streams that make up the city. These delicate features need protection through careful planning.

Afton will only permit low density development which is designed to preserve and protect the soils, wildlife, slopes, drainage ways, vegetation, lakes, streams and river that make up Afton's natural features. Preserving the health and safety of residents requires protecting Afton's environmentally sensitive areas, which preserves the aesthetic qualities of the landscape and protects the purity of the air and water.

The citizens of Afton have a high regard for their environment. Low density development based on the use of private wells and individual and cluster septic systems have provided Afton with unique and sustainable neighborhoods that are not only self-sufficient, but collectively have a relatively low environmental impact. While the city is only fifteen miles east of downtown St. Paul, there is a world of difference between Afton and the surrounding urban and suburban development. Citizens desire to keep the city open and rural, while still enjoying the benefits of being located close to a major metropolitan area.

Afton's natural features exist in gently rolling uplands cut by deep ravines, drainage ways, and streams that flow into the St. Croix River. This topography, while uniquely defining, presents distinct challenges, particularly with ~~storm water~~stormwater and agricultural runoff. ~~Low density development is interspersed with environmentally sensitive areas including a trout streams, a lake, bluffs, ravines, wetlands, steep slopes, floodplains and a river.~~ Low density development is an essential part of the lifestyle in Afton. The commitment to preservation is strong (Appendix H-2007 Community Survey: Groundwater, Farmland and Rural Character).

Afton plans to accommodate future development without compromising the assets that make the city an environmentally friendly area. In addition to those mentioned above, natural resources in need of preservation include view sheds, soils, wildlife habitat, wildlife corridors, ~~wildlife corridors~~, groundwater resources such as springs and aquifers, geologically significant topographic features, vegetation, and drainage areas.

Commented [RB3]: Instead of wildlife corridors, the term "greenways" often used in Europe, could be used instead. Either of these if planned in advance of development proposals can insure that the city has done advance planning for areas to be linked and preserved from development based on their environmental value, ecological significance or fragile geological attributes.

Soils

In the soil survey issued by Washington County Soil Conservation District in April 1980, the soils in Afton have been reviewed and different soil types categorized as to their suitability to accommodate on-site sewage treatment systems and to support a rural atmosphere, farming, groundwater protection, wildlife habitat, and a biological diversity for its citizens, flora, and fauna (see Appendix I). It is an

inventory of the soils found in the city and indicates, among other things, the type of soil, the slope gradient, the suitability of the soils to support certain uses and the degree and kind of limitation of each soil type for certain uses.

The maps that accompany the soil survey are useful as a planning tool since one is able to determine those areas that present problems for development. While the soil map is reasonably accurate, it is still recognized that unmapped pockets of different soil types can exist within a designated soil boundary line. Therefore, the soil map does not eliminate the need for soil sampling and testing on each building site. The soil map indicates the areas of prime agricultural soils and additional farmland of statewide importance.

The different types of soil in Afton are directly attributed to glacial ~~till-till~~ (Tester, J.R., Minnesota's natural Heritage, University of Minnesota press, 1995; chapter 1) and weathered limestone. Most of the Afton area includes soils overlaying bedrock having slow percolation rates, steep slopes, periodic flooding and seasonal high water tables, although there are some karst areas with rapid infiltration rates. ~~In addition, there~~ ~~There~~ are ~~also~~ some areas in Afton that have been ~~mined~~ ~~subject to mining~~. These geologic features have created deep ravines and drainage ways. Soil types associated with these features are generally unsuitable for development due to their instability, high erosion potential and low absorption rates. Development in these areas needs to be monitored to prevent further soil degradation.

While soils are a major factor in determining the importance of land for agricultural purposes, (Appendix I – Map 3), there are many other factors that influence whether a land is most suitable for agricultural uses. In Afton, the prime agricultural lands tend to be those areas most easily developed, having few topographic or environmental constraints. Yet, these areas provide some of the broadest expanses of non-fragmented open space in the city and are thus critical preservation areas.

Topography

Afton's steep slopes (Appendix I–Map 5) are a result of erosion by flowing water. It is vital to the community that these drainage ways be protected and maintained. It is essential that every attempt be made to limit the amount of additional stormwater and agricultural runoff that flows through these drainage ways, ~~many of them in or near the Old Village~~. Afton currently protects ~~all~~ slopes with a grade over 18 percent and slopes with a grade over 12 percent ~~are protected~~ if the soils on such slopes are deemed ~~fragile~~, ~~(Afton City Ordinances, Section 12-132)~~. Continued care must be taken when allowing development in the upland areas of the City.

Commented [RB4]: Re deleted ordinance reference: Ordinances change. Comp Plan content, policies in particular, limit permissible ordinance content. If there is ordinance language that needs to be made difficult to change, this should be accomplished in a comp plan policy which official controls, including ordinances, then have to comply with.

Vegetation

The vegetative cover is an essential part of Afton's natural environment ~~and should be protected~~. (Appendix I–Map 4). In an area where there is such dramatic topography, damage to the vegetative cover can result in such things as increased erosion ~~and~~; stormwater runoff, and danger of flooding and siltation; lessening of water quality; loss of landscape diversity; decreased land values; detriments to surrounding wildlife and ecosystem; and degradation of soil and air quality. The tree

cover is predominant where there are steep slopes, areas not being farmed and along watercourses and drainage ways. The vegetative cover consists mainly of deciduous trees, with several areas of planted conifers.

Riparian Systems

The St. Croix River, a National Wild and Scenic River, is one of the most pristine large river ecosystems in the upper Midwest. In 2009, it was named one of the Ten Most Endangered Rivers in the United States by the organization American Rivers. It is shared and highly valued by two states, Minnesota and Wisconsin. Land use along the river is governed by the Departments of Natural Resources of both states, as well as the U.S. Park Service and local municipalities. In addition to local zoning regulations, all development must conform to the provisions of the Lower St. Croix Bluffland, Shoreland, and Floodplain Management Ordinances.

Parts of the City of Afton are included in three major drainage ways (Appendix I-Map 6): the Valley Branch Watershed District, the Middle St. Croix Water Management Organization and the South Washington Watershed District. Valley Creek, South Fork Valley Creek, Trout Brook and other major ravines and drainage ways are tributaries to the St. Croix River. Much of the surface water that flows from Afton into the St. Croix River goes through or near the Old Village. It is vitally important to the safety of the Old Village, and to the health and vitality of the St. Croix River, that these drainage ways be protected and stabilized and the amount of stormwater runoff through these drainage ways be kept to a minimum.

According to the 1996 National Water Quality Inventory, stormwater runoff is a leading source of water pollution. ~~Storm water~~Stormwater runoff can harm surface waters such as rivers, lakes, and streams which in turn cause or contribute to non-compliance with water quality standards. ~~Storm water~~Stormwater runoff can change natural hydrologic patterns, accelerate stream flows, destroy aquatic habitats, and elevate pollutant concentrations and loadings. Development substantially increases impervious surfaces thereby increasing runoff from city streets, driveways, parking lots, and sidewalks, on which pollutants from human activities settle.

Nutrients (phosphorus and nitrogen) and sediment enter the St. Croix and its tributaries from many different sources: wastewater treatment plants, urban ~~storm water~~stormwater, residential lawns, crop land, pastures, animal feeding operations, construction sites and natural sources. Common pollutants in runoff include pesticides, fertilizers, oils, metals, pathogens, salt, sediment, litter and other debris.

Groundwater

Afton must keep the groundwater in its natural condition, free from any degradation caused by human activities. All homes in Afton are currently served by private wells and septic systems. Afton is currently outside of the metropolitan urban services area (MUSA) and has no intention of utilizing the Metropolitan Council's sewer and water services even if they become available. However, a large subsurface treatment system and gravity sanitary sewer collection system ~~has been~~ will be constructed to serve the existing residential and commercial properties for the Historic Village Sewage Treatment Service Area. It is of the utmost importance in order to maintain our rural residential and agricultural character, that we have ample supplies of clean drinking water throughout the city. In areas that have ~~rapid infiltration or that have~~ been mined, it is essential to monitor groundwater to prevent unfiltered septic effluent from damaging the aquifer.

Aggregate Resources

Afton contains limited mineral deposits, primarily sand and gravel. Minnesota Geological Survey indicates that much of Afton falls within an area designated as “Afton Valley Fill^{1,2}” which is described as:

Colluvial material which fills in lower-lying areas within the bedrock uplands in southeastern Washington County. We interpret most of these deposits to be thin and gravel-poor. 1
(Minnesota Geological Survey Information Circular 46.)

The circular also indicates that, “In all likelihood, the majority of these deposits will not continue to be available for mining because of competing land-use pressures.”

Of the areas in Afton that could potentially be utilized for aggregate extraction, most are either within existing residential neighborhoods or encumbered by a permanent conservation easement.² (For instance, lands within the Belwin Conservancy are unavailable for aggregate extraction.) The remaining areas are zoned primarily Industrial, which allows for extraction through a permitting process outlined in Chapter 12, Article X, of the Afton City Code.

Although not significant in size, there are several areas in the city that have been mined that are unsuitable for building unless it is established that they can meet all building requirements. Mining removes the topsoil and sub-soils that filter runoff and sewage system effluent. Systems installed in soils in areas previously mined may result in the effluent moving quickly and untreated through the coarse soils to the water table resulting in pollution of water wells. This is of even greater concern if the area is one of groundwater recharge. Areas of groundwater recharge are critical areas that have soil characteristics that are conducive to rapid percolation of water from the surface into the substrate and ultimately into the local water table and connected hydrologic systems (wetlands, lakes, aquifers, and rivers). Pollution of the groundwater supply would have a devastating financial and environmental effect on the community and its residents.

Energy

As a sparsely populated rural community, the City will encourage feasible methods of energy storage and conservation, and ~~locally produced~~ renewable forms of energy that are environmentally friendly, including wind, photovoltaic and geothermal, ~~and cellulosic ethanol~~. ~~The City will reduce community-wide use of non-renewable energy sources attempting to meet state-wide standards of 80% renewable by 2050.~~

Commented [RB5]: Move to the land use goal section.

Commented [JY(C6)]: Suggestions from Citizens Climate Lobby

The Metropolitan Land Planning Act (Minnesota Statutes 473.859, Subd. 2) requires that local comprehensive plans include an element for the protection and development of access to direct sunlight for solar energy systems. The City of Afton ~~will protect~~ such access by requiring minimum lot sizes, abundant open space, yard setbacks, and maximum height of buildings for urban residents. Land uses should not preclude the possible use of solar energy systems. The City will review and revise, as necessary, the Zoning and Subdivision Ordinances to ensure the protection of solar access. ~~New subdivisions are required Section 12-1258 of the Afton City Code requires new subdivisions to “be designed to accommodate extensive use of passive and active solar energy systems,…” Section 12-132 230 New and modified structures are prohibited from blocking reasonable capture of Solar Resource within the buildable area of other parcels, including vacant lots. prohibits the construction of any structure that will block solar access for an existing principle structure or infringe on the solar access of the buildable area of a vacant lot.~~

Environmental Resources Goals, and Policies

The City of Afton establishes the following environmental resource goals:

1. ~~Preserve a rural landscape and natural ecosystem.~~
2. Maintain the city’s overall one housing unit per ten acres, ~~which is Afton’s definition of low density to,~~ to limit development’s footprint upon the land ~~by maintaining the following minimum acreage requirements per housing unit:~~
 - a. ~~Agriculture Preserve zone - 1 housing unit per quarter-quarter section~~
 - b. ~~Agricultural – 3 units per quarter-quarter section and in the case of Planned Land Conservation Developments, a maximum of one housing unit per ten acres with one half of the total acreage protected by a conservation easement.~~
 - a.c. ~~Rural Residential - 1 housing unit per five acres.~~
- 2.3. ~~Protect surface water resources from degradation. Reduce nutrient loading to the St Croix River.~~
 - a. ~~Reduce nutrient loading by 20% (Total Maximum Daily Load).~~
- 3.4. ~~Improve and protect water quality in Kelle’s Creek, Valley Creek, Lake Edith and the St. Croix River.~~
- 4.5. ~~Protect supply of surface and groundwater in area aquifers:~~
 - a. ~~Maintain springs, Lake Edith and Valley Creek at current surface elevation.~~
 - b. ~~Maintain aquifers at levels supporting existing area wells.~~
- 5.6. ~~Protect groundwater recharge areas from pollutants:~~
 - a. ~~Prevent untreated wastewater and unfiltered storm water stormwater runoff from entering the groundwater.~~
 - a.b. ~~Develop a plan to reduce nutrients~~
- 6.7. ~~Protect groundwater aquifers from contamination:~~
 - a. ~~Provide for safe drinking water.~~
 - b. ~~Prohibit mining and prevent contamination from previously mined areas.~~
 - c. ~~Continue/institute a well monitoring programs.~~
 - d. ~~Encourage organic farming and gardening practices.~~
- 7.8. ~~Maintain and enhance fish and wildlife habitats so as to retain or expand the current diversity of species:~~
 - a. ~~Ensure the long term ecological stability of the riparian system.~~
 - b. ~~Restore the riparian forests that line the banks of Valley Creek.~~
 - c. ~~Provide for natural corridors throughout the City.~~
 - e.d. ~~Explore creating effective wildlife corridors with neighboring communities~~
- 8.9. ~~Preserve existing forests, woodlands and prairies and control invasive species:~~
 - a. ~~Plant diverse species of native trees~~
 - a.b. ~~Control and eradicate noxious species.~~
 - b.c. ~~Control and eradicate invasive species to facilitate agricultural operations.~~
 - d. ~~Prohibit clear cutting.~~
 - e.c. ~~Encourage native shrubs, forbs, grasses and trees as appropriate tree-planting for erosion control, carbon sinks, water infiltration, and energy conservation.~~
- 9.10. ~~Protect and preserve steep slopes and the land atop them from development:~~

Commented [JY(C7)]: Suggestions from Citizens Climate Lobby

Commented [JY(C8)]: Suggestion from Citizens Climate Lobby

Commented [RB9]: This numbered paragraph and its minimum acreage requirements should be moved to the policy section to insure that inconsistent ordinances cannot be adopted without a super-majority vote by the council.

Commented [RB10]: Language added brings the CP into conformance with our existing ordinances.

Commented [JY(C11)]: Citizens Climate Lobby

Commented [RB12]: In many cases trees are not the most effective ground cover to prevent erosion and where trees are appropriate, it is usually the case that non-native trees, because they reduce native grass, forb and shrub understory, create more erosion than they prevent. Site specific flexibility is advisable.

Commented [JY(C13)]: Were there 4 suggestions here? Check with Bowman

Commented [RB14]: Periods need to be added to many of the sentences throughout this draft of the CP.

- a. Preserve viewsheds by screening new home visibility from roads and other homes and increasing setback requirements.
- b. Prevent erosion-
- ~~10-11.~~ Protect soils from erosion, contamination and loss-
 - a. Utilize best management practices in all development-
 - b. Provide natural buffers to stabilize soils and contain run-off where possible-
 - b.c. Encourage use of native grasses, forbs, shrubs and trees."
- ~~11-12.~~ Protect and preserve natural features unique to the City of Afton-
 - a. Promote conservation and scenic easements-
- 13. Reduce the use of fossil fuels for energy production by encouraging alternative options such as solar, wind and geothermal where doing so will not impair rural viewsheds, wildlife corridors or in other ways adversely affect Afton's rural environment!
- ~~b.a.~~
- ~~12-14.~~ Protect the night sky from light pollution-
- 15. Anticipate changing climate demands on our environment
- 16. Promote wise land stewardship
- ~~13-17.~~ [Update Afton's natural resources inventory.]

Commented [RB15]: Without any method and required procedure, the statement "Preserve viewsheds" is meaningless and accomplishes nothing. I offer these as possibilities. If someone can come up with better or cheaper alternatives, excellent.

Commented [RB16]: Both this and the amendment to paragraph 10 a are necessary to allow to remain in place our current solar and wind ordinances in their current form.

Commented [JY(C17): Citizens Climate Lobby

Commented [RB18]: Because you can't protect what you don't know exists, our inventory must be updated. Its use is as a reference and standard is constantly referred to: On page 10 protecting natural resources was listed as one of the primary goals of Afton's comprehensive plan. On page 12 it is stated that preservation of natural resources is "paramount for the future of the City." Our current natural resources inventory is severely outdated. We require review and preservation of natural resources in processing every sub-development application: "Utilize data from the Natural Resources Inventory when considering all land use applications." CP pg. 23, paragraph 14. Categories of natural resources in need of preservation are listed on pg. 15.

Commented [RB19]: Afton has had a maximum density requirement for some time. There has never been a method adopted for calculating this density therefore it has never been done with the result that this has been a meaningless requirement. The suggested standard will enable calculation. The recently adopted road maintenance program includes exact data on road surface in Afton and the other two exceptions are relatively easy to calculate using current GIS libraries. Together they exclude areas that are already too dense or, because they can never be included in the area of a residential lot, should be excluded.

The City of Afton establishes the following environmental resources policies:

1. Maintain the city's overall development density of no more than one dwelling unit per ten acres of surface area, excluding in the calculation road surfaces, area covered year around by water or marsh and lots that at the time of calculation have sizes that are under then current zoning, non-conforming.
2. Use water quality protection practices such as reducing the use of phosphorus fertilizers and support protection efforts by state, county and federal agencies, as well as the Valley Creek Protection Initiative.
3. Work with various agencies to develop a strategy for reasonable and achievable reduction of nutrient and sediment loading from wastewater treatment plants, Subsurface Sewage Treatment Systems (SSTS), ~~storm-water~~stormwater run-off, crop land, pastures, animal-based agricultural operations, construction sites and natural sources-
4. Strive for the highest standard possible for Individual ~~or~~, Communal, or Large Subsurface Sewage Treatment System technology and advanced treatment of wastewater where that technology has been tested, proven reliable and approved by regulatory agencies-
5. Work with the Wisconsin Department of Natural Resources (WDNR), the Minnesota Department of Natural Resources(DNR), and the Minnesota Pollution Control Agency (MPCA) with support from the St. Croix River Water Resources Planning Team, an interagency planning team consisting of federal, state and local members, to develop Total Maximum Daily Load requirements which will enhance the water resources in the St. Croix River Basin-
- ~~6.~~ Prohibit clear cutting. ~~5-#~~
- ~~6-7.~~ Monitor and control land uses which contribute to erosion, pollution, and well contamination by enforcement of ordinances-

~~7.8.~~ Work with the various agencies involved with groundwater monitoring in regard to the east well-field area in the City of Woodbury.

~~8.9.~~ ~~Develop and p~~ Continue to provide funding for a volunteer well-monitoring program.

10. Study and consider ordinances to allow for economically sustainable, locally renewable and environmentally friendly means of energy production:

a. Notwithstanding the restrictions on installation of wind, geothermal and solar alternative energy sources in paragraph 13 above, the city will install renewable energy technology on city property

b. Establish ordinances and building codes requiring energy efficiency and encourage use of renewable energy sources.

~~9.11.~~ Actively enforce all land use ordinances, including the various special overlay districts.

12. Protect steep slopes, tree cover, wetlands and other fragile lands through conservation easements, scenic easements, and other available means.

~~10.13. and r~~ Require setbacks from the crest of all slopes of 18% or greater, except in the Lower St. Croix Bluffland District where the slope is greater than 12% ~~with limited exceptions outside of the Lower St. Croix Bluffland District to enable access for subdivisions that result in lots of ten acres or greater, subject to the use of mitigation measures to protect affected steep slopes and conservation easements or other means to restrict further development of the resulting lots.~~

Commented [RB20]: I changed my mind on the reinsertion of language here which the PC thought should be deleted. I agree with them and have not put it back in as my earlier notes suggest should be done.

14. Utilize data from the Natural Resources Inventory when considering all land use applications.

15. Develop an Environmental Score Card for the City of Afton.

16. Discourage use of chemical pesticides.

17. Encourage use of organic landscape applications.

18. Encourage integrative pest management techniques such as biological control, habitat manipulation, modification of cultural practices, and use of resistant varieties.

Commented [RB21]: Many people will not know what integrative pest management means, hence the addition.

~~14-19.~~ Protect trout streams from temperature increases by actively enforcing Afton's restrictions on vegetative and topographic alterations in its shoreland district.

Commented [RB22]: We are currently not actively enforcing our ordinances in this area and should be.

HOUSING AND LAND USE PLAN

The City's land use philosophy is an outgrowth of its focus on environmental protection and the resulting natural rural character of the City. The protection of groundwater is both essential to, and the result of, the City's low density development approach based on private wells and septic. The City's managed development philosophy is also based on limiting and managing ~~storm water~~~~stormwater~~ run-off to protect the quality of the area's main natural and recreational resource, the St. Croix River.

In the Metropolitan Council's ~~Thrive MSP 2040 Regional Blueprint (December 19, 1996)~~, Afton is designated as "~~Diversified Rural~~~~Permanent Rural~~" and "~~Permanent Agriculture~~." The residents of the City of Afton have consistently supported the concept that Afton remain ~~rural~~~~Permanent Rural and Permanent Agriculture~~.

The residents of the City of Afton value the agricultural economy and rural character that an agricultural environment provides. This Plan intends to preserve agricultural land for permanent agricultural use, and does not accept the belief held by some that agricultural use is merely a temporary use or that agricultural lands are merely a holding area for future residential or other development. Moreover, the community values agricultural land as open space in an increasingly urban environment, a sanctuary for a rural lifestyle that Afton residents have consistently desired to maintain.

Agricultural

After several years of work, and in conformance with the Metropolitan Council's prior Development Framework Plan, in the Comprehensive Plan of 1982, the City of Afton established an Agricultural Zone with a density of 3 dwelling units per quarter-quarter section (40 acres) of land and passed ordinances to enforce that policy. At that time, and continuously to the present, the residents of the City of Afton have valued the agricultural economy and rural character that an agricultural environment provides.

Agriculture plays an important role in preserving the balance of economic conditions in the Twin Cities Metropolitan area, but productive agricultural land is being lost to nonagricultural development. Once agricultural land is developed for nonagricultural residential, commercial or industrial use, it is forever lost to agricultural production.

In April 1980, the State of Minnesota enacted the Metropolitan Agricultural Preserves Act. This act provides a package of benefits designed to give farmers in the seven-county metropolitan area the assurance that they can continue their farm operations on an equal footing with other farmers in the state, without the pressures of urbanization. These benefits include:

1. Agricultural use valuation.
2. A limit on total tax rates so that they cannot exceed 105% of the statewide average in townships for all purposes.
3. Prohibition of special assessments for sewer and water.

4. Protection from normal farm practices -- a local government would be prohibited from enacting ordinances which inhibit normal farm practices unless they bear a direct relationship to the public health and safety.
5. Protection from eminent domain -- before Ag Preserve land can be acquired by eminent domain, it must be shown that there are no reasonable, cost-effective alternatives which would have less of a negative impact on Ag Preserves. The process of review is conducted by the Environmental Quality Board. A suspension of up to one year is possible, but it cannot permanently stop eminent domain (Minn. Stat. 473H.01 – 473H.17).

In order to take advantage of these benefits, a farmer's land must be designated "agricultural" on the city's land use map and zoned at a density of no more than one dwelling unit per quarter-quarter section for residential development. In addition, the farmer must apply for and receive certification from the city stating that the property is eligible for "preserve" status. Once a farmer's land is designated a preserve, the land must remain in agricultural use indefinitely or for eight years after the landowner applies for an expiration of the preserve designation.

Agricultural Zoning District and Agricultural Preserves Overlay District

To address environmental concerns detailed within this plan and to maintain our overall one dwelling per 10 acres (1 per 10) density, this plan creates an Agricultural Preserves Overlay District. With the Agricultural Preserves Overlay District, the Agricultural District is envisioned to allow for three development scenarios:

1. Agricultural Preserves Overlay District: 1 dwelling unit per quarter-quarter section (approximately 40 acres)
2. Agricultural Zoning: 3 dwelling units per quarter-quarter section (approximately 40 acres);
3. Agricultural Zoning using a Preservation and Land Conservation Development on a minimum of 80 acres: 4 dwelling units per quarter-quarter section. Land developed under this option would be subject to conservation easements, and subdividers would be required to set aside an extensive part of their property for continued farming or conservation. The City intends to provide more conservation-minded intensive land use planning throughout this zone so as to coordinate and link the preservation areas for maximum benefit and minimal impact to the character of the community.

Note that, pursuant to the Agricultural Preserves Act, lands in the Agricultural Preserves Program would only be allowed a density of 1 unit per 40 acres on a specific, designated parcel. (Agricultural Preserves Overlay District).

Residential

According to the 2016 census, there were a total of 1,031 residential housing units in Afton.

Table 2 – Residential Housing Units, 2010 Census Estimates

Housing Type	Afton	Afton %	Washington County %	Minnesota %
1-unit detached	1026	99.50%	73.70%	67.77%
1-unit attached	3	0.30%	11.80%	5.20%
2-units	2	0.20%	1.10%	3.01%
3-or more units	0	0.00%	13.40%	24.02%

	Afton	Afton %	Washington County	Washington County %	MIN	Minnesota %
Single-Family Detached	1,139	99.7%	66,590	68.1%	0	67.2%
Townhomes (single-family attached)	0		13,713	14.0%	0	7.3%
Duplex, triplex and quad	4	0.3%	2,841	2.9%	0	4.1%
Multifamily (5 units or more)	0		13,213	13.5%	0	18.0%
Manufactured Home	0		1,333	1.4%	0	3.3%
Other (Boat, RV, etc.)	0		59	0.1%	0	0.0%
Total Housing units	1,143		97,749		2,409,701	

The majority of the housing stock (99.75%) that existed in Afton in 2010 was single-unit detached, which is a higher proportion than either Washington County (68.17%) or the State of Minnesota as a whole (67.27%).

The predominance of older housing is a unique feature of Afton. Nearly a quarter of Afton’s current housing was built in the 1960’s and 15% of the housing stock was built prior to World War II. Homes in Afton hold their value and have appreciated much more quickly than homes across the county and state.

The high land values in Afton have been an obstacle for those looking to locate affordable housing in the City. This is not likely to change in the near future. ~~The City of Afton is willing to work with Washington County and the Washington County HRA to address low- and moderate income housing needs and to identify resources to maintain and advance housing affordability in the community, where possible and in a manner consistent with the development pattern of the community.~~

The Rural Residential Zoning District provides for residential development on private wells and on-site sewage treatment systems, with the exception of the rural residential properties within the Historic Village Sewage Treatment Service Area as shown in Figure 5.. Each Rural Residential lot requiring requires a minimum of five acres, including 2.5 acres of contiguous buildable area. With the steep topography of a majority of the land in the rural residential zone, the average density attainable in this zone is expected to be about one unit per ten acres.

Old Village

The village of Afton is within the Village Historical Site zoning district, hereinafter referred to as the "Old Village," located in sections 22 and 23 of Afton along the St. Croix River. The eastern boundary of the Old Village is established by the St. Croix River. It is bounded on the southern and western sides by steep slopes and river bluffs. The northern boundary is the intersection of St. Croix Trail South and Stagecoach Trail South. The Village Historical Site zoning district has two sub-districts, the Village Historical Site-Residential District and the Village Historical Site-Commercial District.

The only commercial ~~zoncarea~~ of the city is ~~only~~ located within the Old Village (VHS Zone) which has been certified as a Historic District. This area has been the traditional commercial focus for the city and for area visitors. The existing village atmosphere needs to be preserved while allowing a balanced and complementary mix of residential, recreational, locally attractive commercial and tourist uses. Infrastructure improvements should be designed to eliminate environmental hazards and to sustain the long term viability of the commercial area. ~~;~~

Commercial uses in that portion of the Old Village zoned commercial are within the Lower St. Croix Bluffland and Shoreland Management District and thus allowed by Conditional Use Permit only.

The quaint character and charm of this ~~unique~~, rural village stands in stark contrast to the commercial development happening in neighboring communities. ~~The gas lamps, with their soft, warm light, reinforce the pedestrian friendly atmosphere.~~ The mix of small businesses and residential properties provides a unique destination experience.

The Old Village has a special place in the history of Afton. The Old Village was platted in 1855 by R. Haskell, Joseph Haskell, H.L. Thomas, and C.S. Getchell. The plat is typical of land divisions of that time: 50 x 150-foot lots and 80-foot wide street rights-of-way designed in a grid pattern overlaying the natural topography and other physical limitations of the site.

Afton's Old Village offers unique opportunities to business owners and professionals. The Old Village has attracted a number of successful small businesses as well as professionals drawn both to the lifestyle and the natural environment. This mix of businesses fits with the residential development of the Village and, together, they reinforce the context that makes the Old Village such an important feature of the City of Afton. Because of the location and the natural constraints on development, most successful businesses in the Old Village have a focused market. The Old Village is not the place for a big box store but rather an ideal location for specialty shops, services, and as a destination ~~place~~ for ~~recreational~~ tourists.

The Old Village was established on river flats subject to flooding from the St. Croix River. A significant portion of the Old Village lies within the 100-year floodplain and, over the years, there has been periodic flooding. The City of Afton has made substantial improvements to the levee that protects the Old Village to enable the levee to be certified by the Corps of Engineers; continued maintenance of the levee to standards necessary for certification will be necessary to protect against future flooding and encourage reinvestment in existing properties. The physical features noted above, bluffs to the west and south, the St. Croix River to the east, naturally constrain expansion of the Old Village beyond its present limits.

St. Croix Trail is the main thoroughfare running through the Old Village. It is maintained by Washington County at county standards. The other improved streets in the Old Village are typical of a rural village. The driving surfaces are relatively narrow, causing slower traffic speeds, a safe pedestrian environment and the aesthetic of the Old Village. In 2017 the City of Afton and Washington County upgraded the storm waterstormwater management and improved all streets and sidewalks in the old village.....xxxxx. Street lighting and parking ??? were also improved at this time. Challenging-soil conditions have combined with storm waterstormwater management issues to prematurely deteriorate streets, damaging property and negatively impacting the aesthetics of the area. A Village-wide approach to storm waterstormwater management and street maintenance is needed to protect public and private investments in the Old Village.

Old Village residences and businesses have been currently utilizinge private wells and on-site sewage treatment systems. and on-site sewage treatment systems. Small lot sizes leave limited room on each property for sewage treatment. The overall density creates has created concerns over the total amount of sewage effluent being discharged into the ground in a limited area. This concern was is heightened by the existing, high groundwater table, which leaves limited vertical space for soil treatment before effluent reaches the groundwater. Adding these concerns to the intermittent flooding, and geography, the Old Village has a small margin for error when it comes to properly treating sewage and therefore must carefully control remodeling and new construction. The City of Afton has taken steps to require periodic inspections of wastewater treatment systems within the Old Village. To mitigate these concerns, the City of Afton has installed is constructing a large subsurface treatment system (LSTS) and a sanitary sewer collection system to serve the Historic Village Sewage Treatment Service Area.

Levee Certification

~~There have been various attempts to obtain certification of the levee that protects the Old Village from flooding. While certification remains a long-term objective, the reality for the foreseeable future is that the City of Afton and the property owners in the Old Village need to consider strategies for dealing with periodic flooding.~~

Many of the structures in the Old Village are of historical interest, which is a tremendous asset for the area. Unfortunately, some of these buildings are vacant or in disrepair. Where the historical value is not realized and the properties become blighted, it negatively impacts the entire community.

A map showing structures and sites of historical value in the City of Afton is included in this plan (Appendix I-Map 8). The city intends to support renewal and reuse of these vacant buildings in order to continue to promote unique opportunities and the revival and survival of small businesses and professionals. Doing this will ~~further the Old Village to enhance the Old Village as a destination that attracts~~ serve as a destination place that attracts local residents and ~~recreational~~ tourists.

Industrial

Approximately 239 acres of the City are zoned for light industrial use. The light industrial area is bounded by I-94 to the north, State Highway 95 to the west, and includes one 70 acre parcel directly abutting the south side of the Interstate Frontage Road and the east side of State Highway 95, as well as all property north of the Interstate Frontage Road between State Highway 95 to the city limits to the east. Light industry and storage related activities will continue to be allowed in the light industrial area under current zoning ordinances. Afton intends to maintain this area as a relatively low intensity transitional use between the interstate highway and the nearby residential zone. The light industrial area provides a location within the city for those uses that would be incompatible with the residential and agricultural districts.

Marine Services

The City has created a separate marine services zoning district to complement the river accesses and marinas and to permit storage and repair of boats and boat trailers by Conditional Use Permit. This District is generally confined to the area just north of the Old Village that was designated General Business and Light Industry in the Township of Afton before the Lower St. Croix River Bluffland and Shoreland Management Ordinance was adopted, and also includes a boat storage facility located on Manning Avenue just north of 8th Street.

State Park

Afton State Park is owned by the State of Minnesota, and is operated as part of the State Park System. The Park provides substantial open space and natural features, as well as recreational opportunities for Afton residents and the general public. It is anticipated that the land will continue to be used in this way far into the future. The State Park consists of 793 acres.

Belwin Conservancy

The Belwin Conservancy - a non-profit conservation organization dedicated to the preservation, restoration, and appreciation of the natural world - owns ~~1239~~ 1364 acres of preserved land in Afton. Belwin's acreage is substantial and preserves and protects open space in the form of high value native habitats to include oak savanna and woodlands, tall grass prairie, wetland and fens. It is anticipated that this land will also continue to be conserved in this manner far into the future.

Table 3 - Acreages by Zoning District, City of Afton

Commented [JY(C23)]: Verify Acreages in table

Zoning District	Acres
Agricultural	7180
Rural Residential	7702
State Park	793
Industrial	289
VHS	176
Marine Service:	25

Housing and Land Use Goals, Policies and Strategies

The City of Afton establishes the following housing and land use goals:

1. Maintain the city's overall low density.
2. Preserve the rural character of Afton.
3. Encourage agricultural uses.
4. Maintain natural open spaces.
5. Promote wise land stewardship.
6. Maintain a low demand for public expenditures.
7. Avoid the need for extension of the metropolitan wastewater system into the City of Afton
- ~~8.~~ Resist development pressures and land speculation, which tend to create urban sprawl.
- ~~8.-~~
9. Ensure that development within the Old Village is sensitive to the natural environment that surrounds it.
10. Preserve and revive the rural village character of the Old Village and promote its use as an entry point for recreational activities in the area.
11. Maintain a mix of single-family residential structures and commercial structures containing niche businesses in the Old Village.
12. Provide for adequate parking in the Old Village.
13. Encourage pedestrian-friendly sidewalks and lighting in the Old Village.
14. Promote relatively narrow driving surfaces and slower traffic speeds in the Old Village.
15. Improve access to and residents usage of the city docks and access to the St. Croix River as it relates to Main Street
- ~~14.-~~
- ~~15-16.~~ Ensure that untreated wastewater and ~~storm water~~ stormwater do not flow into the St. Croix River.
- ~~16-17.~~ Reduce flood damage potential.

The City of Afton establishes the following housing and land use policies:

1. The overall development density of the City shall not exceed one unit per ten acres.

2. The City shall not approve any requests to permit property then within the municipal boundaries of Afton to be annexed to any other municipality.
3. The City shall maintain the current densities for the following land use classifications:
 - a. Agricultural — 3 dwelling units per quarter-quarter section.
 - b. Preserve Agricultural Preserves - 0 or 1 dwelling unit per quarter-quarter section.
 - c. Agricultural with a Preservation and Land Conservation Development and a minimum of 80 acres — 4 dwelling units per quarter-quarter section.
 - d. Rural Residential - 1 dwelling unit per 5 acres, with a minimum of 2.5 contiguous buildable acres.
 - e. Old Village – 1 unit per 22,500 square feet *(1 unit is considered one structure and may include one commercial unit, one residential unit or a combination commercial unit on the main floor with residential unit above.)
4. The City shall maintain the current minimum lot sizes for newly created lots in each of the following land use classifications:
 - a. Agricultural – 5 acres with a minimum of 2.5 contiguous buildable acres.
 - b. Rural Residential – 5 acres with a minimum of 2.5 contiguous buildable acres.
 - c. Old Village – 22,500 square feet.
5. Provide for a mixture of land uses which maintains a rural environment and lifestyle and prevents the extension of the Metropolitan Council's sewer systems, municipal water and sewer systems, and other urban services in the Agricultural and Rural Residential Zoning Districts.
6. Prohibit land uses which are inconsistent with the rural character of the Rural Residential Zoning District and which might place excessive demand on city services.
7. Prohibit rezoning of a parcel from Agricultural to Rural Residential unless, in addition to meeting other criteria, the parcel is more than 50% contiguous to a rural residential zoning district and such a rezoning would not result in development which is inconsistent with the generally rural character of the surrounding area.
8. Discourage residential development on lands suitable for agricultural use and adhere to planning practices that will allow farms to operate without external pressures.
9. Require a minimum of 300 feet of frontage on a public street for all newly created residential lots outside of the Old Village or within the Agricultural, Industrial and Rural Residential Zoning Districts. ~~Require a minimum of 300 feet of frontage on a public street for all newly created residential lots outside of the Old Village or within the Agricultural and Rural Residential Zoning Districts. (is this too specific — delete and rely on our ordinances instead)~~
10. Prohibit long and narrow lots and irregularly shaped lots except when deemed advisable in the Rural Residential Zoning District.
11. Restrict industrial uses to those which do not pose a threat to air or groundwater.
12. Prohibit hazardous waste facilities within the city limits of Afton.
13. Restrict industrial development to those uses that do not generate large amounts of traffic, sewage, and can operate efficiently on an onsite standard drainfield approved by City ordinances.
14. Restrict industrial uses to those which would not create the need for metropolitan sewer, municipal water or sewer, or additional urban services.

Commented [RB24]: The coverage provided by ordinance is not as strong as a policy in the Comprehensive Plan, which requires a super majority to change, unlike ordinances which only require a simple majority of the CC. Specificity is required to ensure that the City's official controls (in this case ordinances) be susceptible measurement by objective standards in determining whether or not they vary from the comprehensive plan policy.

15. ~~Commercial uses will only be in the VHS Zoning District.~~ Retail, restaurants and ~~other similar~~ commercial uses are allowed as principle uses only in the VHS Zoning District. Multi-unit dwellings within the Old Village are prohibited as they are not in keeping with the context of the community. Accessory commercial uses may be allowed by ordinance in other zones.
- ~~16. Improve streets, lighting and sidewalks in the Old Village. (keep or call it done?)~~
- ~~16-17. Monitor and support municipal wastewater collection and treatment serving properties within the Old Village.~~
- ~~17-18.~~ Encourage economic revitalization of the commercial portions of the Old Village.
- ~~18-19.~~ Continue to allow mixed use structures in the Old Village as they are consistent with the current character of that area.
- ~~19-20.~~ To ensure the preservation of the character of the historic district, current non-conforming uses that are rendered unusable may be restored to their prior use in accordance with state law. let's talk about Lerk's – comp plan should provide supportive statements to allow building such as that to be restored or revived as a small biz or restaurant)

Commented [RB25]: Deleted word: similar. As worded it could mean that if uses aren't similar to those listed, they are allowed outside the VHS as primary uses. Whether or not interpreted that way, it is ambiguous as to what uses are or are not similar.

The City of Afton will seek to implement the following land use strategies:

1. Prepare a plan establishing priority conservation areas within the Agricultural Preservation Overlay District. The plan should identify areas that are best-suited for continued agricultural production as well as linkages/wildlife corridors that should be established throughout the district.
2. Partner with the Minnesota Land Trust and other independent, non-profit organizations that can serve as holding entities for conservation easements.
3. Study parking needs in the Old Village.
4. Develop and enforce requirements for construction and maintenance of sidewalks and lighting in the Old Village.
5. ~~5.~~ Develop a management plan for unimproved right-of-ways in the Old Village. (what is this? Is it still relevant?)
6. Incorporate design review standards (to be) created by the Design Review/Heritage Preservation Commission for future village construction.
- ~~7. Develop a visionary plan for "Main Street" in conjunction with Washington County's reconstruction of St. Croix Trail. (did this get done yet?)~~
- ~~8. Complete the upgrade of the gas street lights to the new, energy-efficient standard that has been used successfully in Town Square Park.~~
- ~~7.~~ Encourage the use of conservation or open space design subdivisions where the subdivision permanently preserves open space or agricultural land uses or creates transition zones with adjoining zones or jurisdictions.
- ~~8.~~ Develop signage and pedestrian-friendly connections to the St Croix River
- ~~9.~~ Protect Steamboat Park as a nature preserve and passive use area.

TRANSPORTATION PLAN

In 1855 the City of Afton consisted of a main street through the center of the village going north and south with short side streets extending up the sides of the bluffs. Today, Afton is served by an extensive network of federal, state, county and local roads.

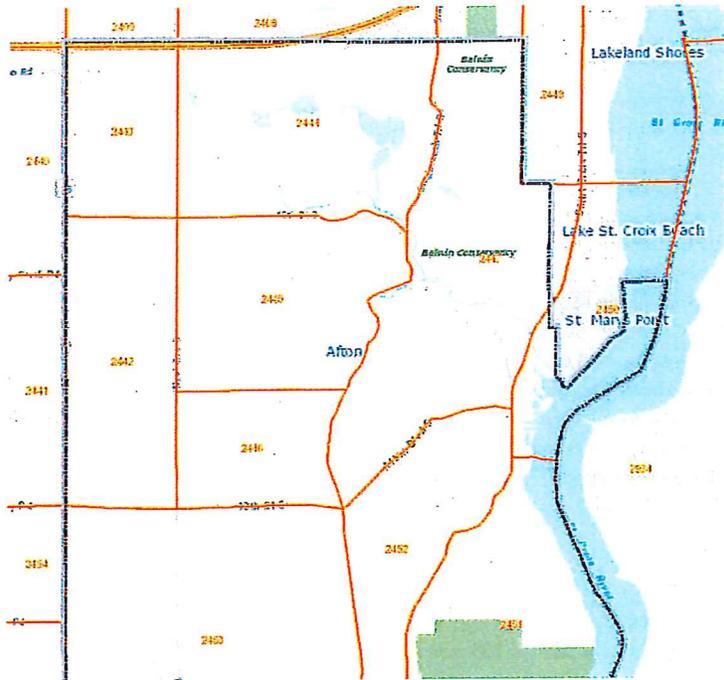
The continued emphasis on a low density, rural development pattern will not result in significantly more roads being added to the City of Afton. The projected household growth is estimated to be 12% over the next 20 years. There is a higher growth forecast for cities and towns adjacent to Afton. This higher adjacent growth forecast may bring more traffic to roads within the City.

Denmark, Woodbury, Lakeland, West Lakeland data?

Development of the road system over the past few decades has focused on the construction of new roads in cooperation with the developers of the subdivisions. The developer has been responsible for the construction of paved roadways and appropriate drainage to city standards and the city has assumed maintenance and ownership of these roadways one year after completion. ~~Where possible, consideration has been given to creating throughways to better manage traffic flow through the city.~~ Due to the low development density of the Agricultural Zoning District, road development has been deemed unnecessary and is prohibited within this zone.

Traffic Analysis Zones

Metropolitan Council Traffic Analysis Zones (TAZ) for Afton which were used to create the 2030 forecasted traffic volumes are detailed below. The projected growth for 2030 is 150 new homes and an increase in employment by 180.



Traffic Analysis Zones for Afton (TAZs)

Met Council TAZ	Population	Households	2014	
			Retail Employment	Non-Retail Employment
2442	224	81	3	8
2443	247	91	29	89
2444	338	119	2	74
2445	203	81	0	1
2446	203	77	1	11
2447	788	312	9	67
2450	1227	535	62	96
2451	263	104	0	5
2452	552	231	3	97
2453	555	201	0	100
TOTALS	4600	1832	109	548

2020				
Met Council TAZ	Population	Households	Retail Employment	Non-Retail Employment
2442	200	80	0	10
2443	250	100	20	100
2444	340	130	10	70
2445	230	90	0	0
2446	210	80	0	10
2447	810	330	20	8
2450	1260	560	40	180
2451	290	110	0	0
2452	590	230	20	80
2453	590	220	10	90
TOTALS	4770	1930	120	548

2030				
Met Council TAZ	Population	Households	Retail Employment	Non-Retail Employment
2442	210	80	0	10
2443	250	100	10	110
2444	350	140	10	70
2445	230	100	0	0
2446	220	90	0	10
2447	830	350	10	90
2450	1260	570	30	200
2451	290	120	10	5
2452	590	240	20	0
2453	630	250	10	90
TOTALS	4860	2040	100	585

2040				
Met Council TAZ	Population	Households	Retail Employment	Non-Retail Employment
2442	210	90	0	10
2443	250	100	10	110
2444	350	150	10	70
2445	230	100	0	0
2446	220	90	0	10
2447	830	360	10	100
2450	1280	570	20	210
2451	290	120	0	10
2452	590	250	10	100
2453	670	270	10	90

TOTALS	4920	2100	70	710
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Roads and Highways

A combination of Federal, State, County, and local roads serve Afton as shown in the Existing Transportation System (Figure 3). Ideally, roads are designed to perform a designated function and are located to best serve the type of travel needed. The four functional classifications assigned by the Metropolitan Council that describe roads in Afton are:

- 2.1. Principal arterial;
- 3.2. Minor arterial (“A” Minor/”B” Minor);
- 4.3. Collector; and
- 5.4. Local.

Principal arterial routes are roadways intended to connect metropolitan areas, major industrial centers, etc. that are the highest traffic volume roadways such as interstate highways. Minor arterials connect urban service areas to cities and towns inside and outside the region. The emphasis of minor arterials is on mobility, as opposed to access in the urban area. Collector roadways provide connections between neighborhoods and regional business centers. Local roads provide land access by connecting blocks and land parcels.

Interstate (I)-94 is a principal arterial along the northern border of the City. “A” minor arterial connectors within the City are Trunk Highway (TH) 95, Washington County Road (CR) 18, and CR 21 (from the village to Denmark Township). “B” minor arterial routes are CR 71 and CR 21 (from the village to the north). Collector routes include 15th Street South (from TH 95 east to Oakgreen Avenue South). All other roads in Afton are considered local.

~~Washington County has proposed improvements within the City included in their 2010-2014 Capital Improvement Plan. These improvements include planning and design for CR 21 through the village (downtown) Afton. It is anticipated that the construction of CR 21 through the village will occur in 2015.~~

~~The City of Afton has a draft Capital Improvement Plan 2011 through 2016 that includes roadway improvements within the village Old Village, including Pennington Avenue and other standard roadway maintenance. Other maintenance includes reconstruction of roadway approaches on 50th Street and 15th Street, seal coating, and crack filling.~~

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What are the major proposed improvements over the next decade?

The remaining unpaved roads in Afton were paved in (2007 or something?). As these and other roads age, maintenance expenses are expected to increase over the next decade. The city is committed to maintaining the transportation infrastructure of Afton in a timely manner. The city should plan for road improvements over the long term and facilitate budgets that include ongoing funding. When necessary, bonding may provide funding for unanticipated improvements, providing such bonding includes planning to return to on-going funding.

Commented [JY(C26): Update to reflect what was done this year and anticipated schedule for improvements

{Update Me ^}

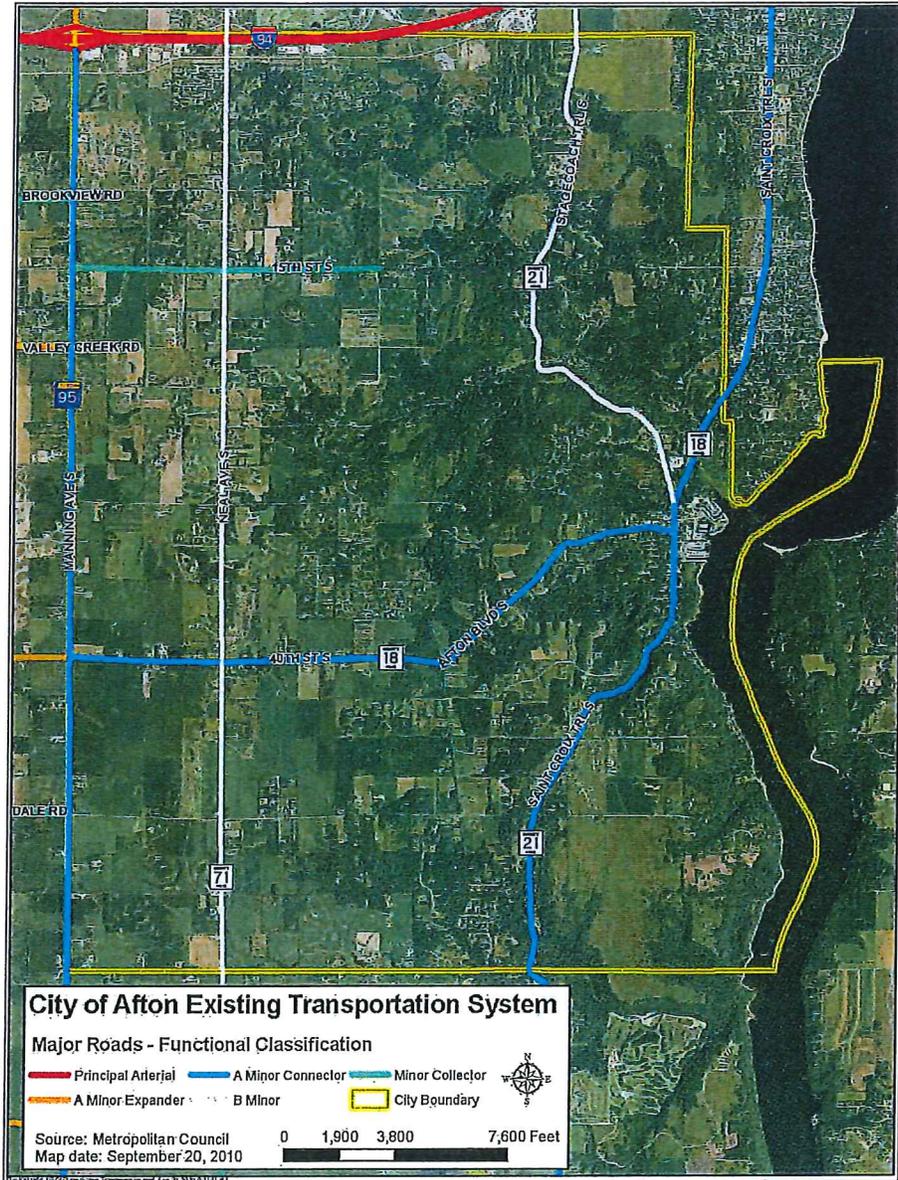


Figure 3 – City of Afton Existing Transportation System, Metropolitan Council

Safety

The City will construct new roadways and reconstruct roadways to meet City standards ~~(what standards standards are these?)~~ and increase safety and mobility.

Commented [JY(C27)]: Kopitzke to re-write

Access Management

The City encourages the alignment of new access points with other existing access points, the provision of adequate spacing to separate and reduce conflicts, and the consideration of sight distance limitations. The City will use Washington County’s access management requirements as a guide for design standards on local roadways.

Aviation

Afton does not have an airport or landing strip and will not allow any, public or private, due to the lack of central services, suitable land space, fragile soils, and noise pollution. Heliports are likewise prohibited. The City of Afton promotes the protection of airspace navigations and electronic communication. Current City ordinances prohibit any structures, including antennas and wind turbines, over 150 feet in height. Proposed, new structure construction will require a Conditional Use Permit where the applicant will be required to submit a “Notice of Proposed Construction or Alteration” to the Federal Aviation Administration (CFR – Part 77, Form 7460-1).

Transit

Afton is outside of the Metropolitan Transit Taxing District; there is no regular route transit service existing or planned in the City. There is a Park and Ride lot located at I-94 and St. Croix Trail. Washington County provides limited transit service for the elderly and disabled. The City is located in Market Area IV; service options for transit in Market Area IV include Transit Link, formerly called “dial-a-ride”, volunteer driver programs, and ridesharing. The City, in conjunction with its neighboring St. Croix Valley communities and Washington County, may be an advocate for a light rail corridor along I-94 to the St. Croix River. As our population ages, our City may choose to explore the expansion of bus service into our community.

Non-motorized Transportation

While the City of Afton encourages non-motorized transportation, it is not practical as a primary mode of transport outside of the Old Village. However, with the paving of most of Afton’s streets, the City has become a destination for the recreational bicyclist who would enjoys the rolling hills, open spaces, and low traffic volumes within much of the community. Update

Commented [JY(C28)]: Include should width standards for bikers?

Transportation Goals, Policies, and Strategies

The City of Afton establishes the following transportation goals:

1. Ensure safe routes for motor vehicles, bicycles, and pedestrians.
2. Ensure that roadways are adequate for use by emergency vehicles.
3. Provide appropriate roadways for area businesses depending on their location in an industrial zone or within the historic Old Village.
4. Provide reliable access to roadways outside of the City of Afton.
5. Provide and maintain roadways and intersections by the most cost effective means possible.
6. Avoid disruption to the natural environment.
7. Promote safe, contemporaneous use of the roads by motorized and non-motorized traffic, as well as oversized and slow moving farm vehicles and implements.
8. Utilize appropriate design and construction techniques to avoid premature degradation of roads adjacent to waterways.
9. Encourage "Park and Ride" lots for commuters in areas adjoining major thoroughfares.
10. Provide for the possible extension of all local streets in new subdivisions to avoid the need for cul-de-sacs, except where doing so would significantly increase the total amount of impervious surfaces.
11. Require right-of-way dedication for existing easement roads and existing streets whenever land development is subject to City Council approval.

Commented [RB29]: Through streets are safer than cul-de-sacs and cheaper for the city to maintain which is why I reinserted this, but with a condition to insure they in fact in application are cheaper and environmentally comparable. Plowing, salting and repairing cul-de-sacs and providing adequate fire access is difficult.

The City of Afton establishes the following transportation policies:

1. Prohibit the construction of new streets in the agricultural preservation zoning district except where deemed necessary to allow a property owner to use the property in keeping with the agricultural zoning and to promote land conservation to the maximum extent.
2. Control the upgrading of existing roads and construction of new roads which would serve to encourage non-farm development in the agricultural zone.
3. Require a 150 foot setback along designated collector streets. ~~Require a 150-foot setback along designated collector streets.~~
4. Work with Washington County to restore the historic character of St. Croix Trail through the Old Village as a slow speed, small village street.
5. Prohibit airports, landing strips and heliports within Afton.
6. Update and implement a capital improvement program.

Commented [RB30]: Specific policies in the comp plan are harder to change than ordinances. I reinserted this deleted language. Setbacks protect the rural appearance of Afton and in many cases, reduce the number of buildable lots due to lot configuration constraints. This setback requirement, along with the 300 ft of frontage requirement, help in achieving Afton's low-density goals.

Commented [KK31]: The "150 foot" piece of this is too specific for the comp plan and it is unclear what the rationale for this setback is. Delete or describe the outcome we seek with this policy.

The City of Afton will seek to implement the following strategies:

1. Post speed limits, weight and parking restrictions on City streets, where appropriate.
2. Post share-the-road signs for bicyclists, equestrians and other uses, where appropriate.
3. Incorporate traffic calming into Design road improvements within the Old Village to slow traffic.
4. ~~Incorporate traffic calming and place making techniques into road improvements within the Old Village to encourage a pedestrian friendly environment.~~

GROUNDWATER AND SURFACE WATER PLAN

A draft of the City's Surface Water Management Plan is attached, as Appendix G, ~~and has been approved by the appropriate Watershed Districts, and the Metropolitan Council, but has not yet been adopted by Afton City Council.~~

~~Groundwater and Surface Water Goals and Strategies~~

~~The City of Afton establishes the following ground and surface water goals:~~

- ~~1. Support the development and implementation of an effective storm water drainage system for the Old Village and surrounding area.~~
- ~~2. Explore opportunities to prevent future flooding.~~

~~The City of Afton establishes the following ground and surface water strategies:~~

- ~~0. Develop a plan and seek funding opportunities to deal with potential future flooding in the Old Village.~~

~~Additional Goals, Policies and Strategies are contained in Appendix G.~~

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WASTEWATER AND SANITARY SEWER PLAN

Commented [JY(C32)]: Are there any edits from the NRC ?

Properly treating wastewater is a critical concern of the residents of Afton. There is a strong desire to ensure that wastewater is properly treated so as to limit the impact that development in Afton has on the natural environment. There is an equally strong desire to avoid the land use patterns that come with centralized collection and treatment of wastewater. Continued use of highly efficient and well maintained individual sewage treatment systems throughout the rest of the City will avoid public expenditures for central sewer and will prevent development at urban densities.

In 2013, the City completed a Facility Plan to evaluate various wastewater collection and treatment alternatives to replace current individual subsurface treatment systems (ISTS) within the Historical Village Sewage Treatment Service Area (HVSTSA). Included in the study were four alternatives: 1. Leave the system as is; 2. Conduct widespread ISTS replacement; 3. Implement a large subsurface treatment system (LSTS); or 4. Undergo regionalization. The Facility Plan concluded, after consideration of environmental, financial, and technical factors, that the preferred alternative for the city is the implementation of an LSTS system.

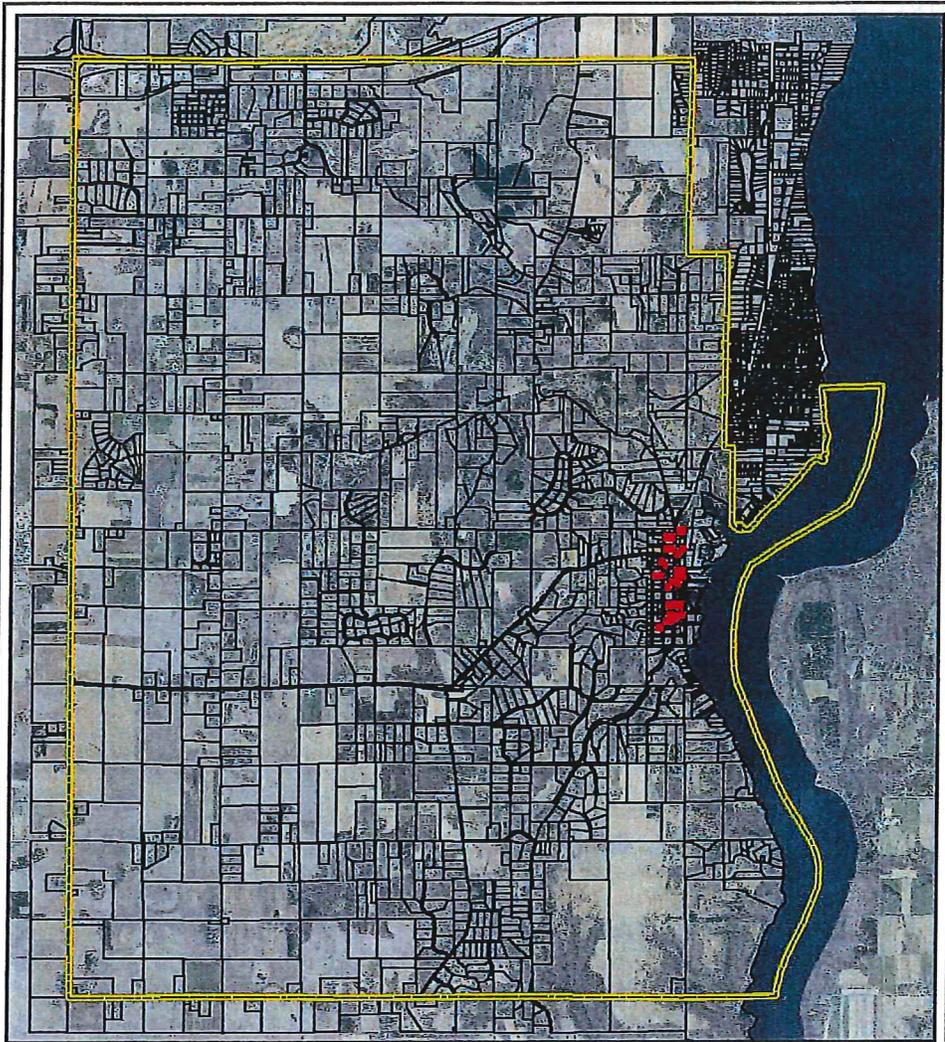
The Facility Plan has been reviewed and approved by the MPCA and the following information summarizes that plan in accordance with comprehensive planning requirements. The entire Facility Plan is included in Appendix M of this Comprehensive Plan.

Existing System

As of 2008, there were 1,119 individual, subsurface sewage treatment systems within the city limits. In addition, there is one community cluster system that serves eleven homes. A survey of the HVSTSA was completed, and the location of surveyed, non-compliant systems are shown in Figure 4. It was estimated that 52% of the existing systems were compliant and meeting setback requirements, with another 18% compliant but not meeting setback requirements.

The current reliance of ISTSs will require the City of Afton to be diligent in protecting residents' health, safety, and welfare. Development restrictions in place limit development in areas with unsuitable soils. Compared with other communities in Washington County, Afton has few soils with a slow percolation rate. Slow percolation rates usually indicate a heavy or tight clay soil which does not allow sewage effluent percolation. A significant area of these soils is in the southeast corner of Afton along the St. Croix River. Other small pockets of these soils occur along the many drainage ways within the City.

Figure 4. Parcels known to have non-compliant sewage treatment systems in the HVSTSA.



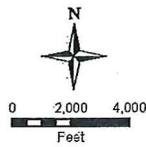
COMPLIANCE STATUS

CITY OF AFTON, MINNESOTA



City of Afton

-  City of Afton
- Compliance Status**
-  COMPLIANT
-  NON-COMPLIANT



Steep slopes are predominant in Afton along the eastern half of the city. These steep slopes follow the major drainage ways. Currently, installation of an on-site sewage treatment system is prohibited on any slope exceeding 12%. Installation of septic systems on slopes over 12% may result in erosion, lateral seepage, and down-slope flow of effluent. The soils with a seasonal high water table or that are wet or subject to periodic flooding are also located along Afton's drainage ways. These soils are not suitable for septic systems since the effluent will either be dispersed into groundwater or will back up into the residence.

To further ensure the health and safety of Afton's residents, the City performs a thorough review of all ISTS designs and provides expert inspection for all installations. Afton has also implemented a maintenance program for existing systems, including an on-site, biennial mandatory inspection and the gradual upgrading of all substandard systems.

The installation, maintenance, and inspection of all ISTSs and LSTSs are regulated by both the City of Afton and Washington County in accordance with Minnesota Rules Chapter 7080. An agreement is in place whereby Washington County provides individual sewage treatment system inspection services within the City (Appendix J – ISTS Inspection Services Agreement). As part of this agreement, the City of Afton has adopted Washington County's ordinance #179 by reference as Afton Ordinance 08-2010. The City has agreed to be consistent with, or more restrictive than, the county.

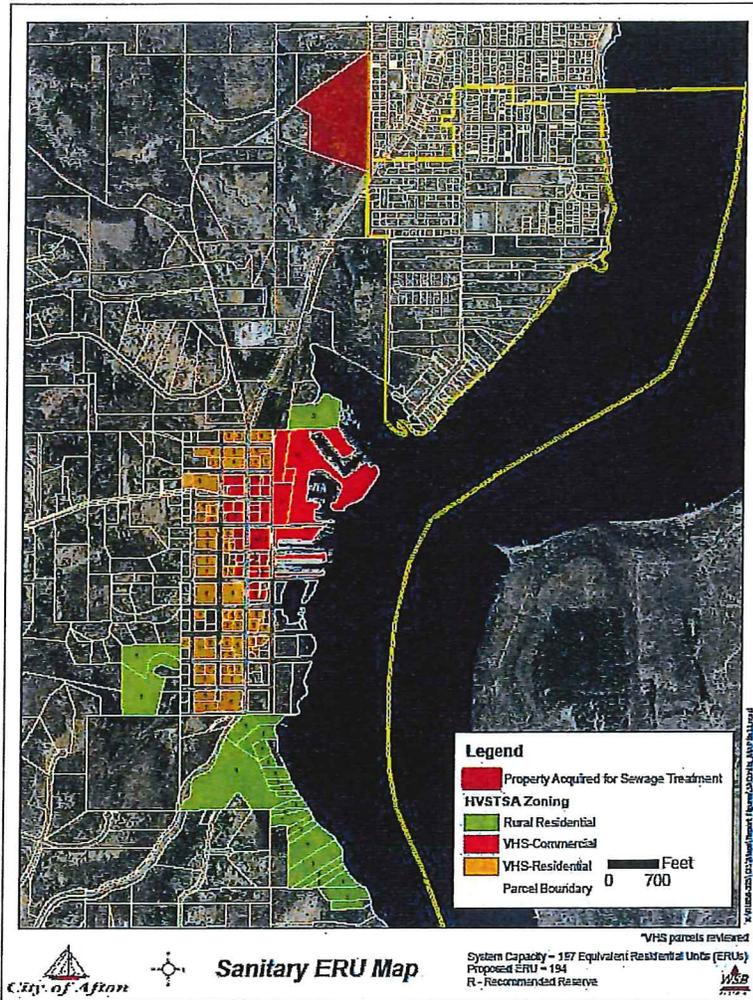
Existing ISTSs in the Historic Village Sewage Treatment Service Area will continue to provide wastewater treatment until the new system is operational - Because not all individuals will connect to the planned system, and others will be connected in stages, any residents remaining on ISTS systems will still be required to undergo biennial inspection.

Planned System Improvements and Projected Wastewater Flows

Due to the high flooding risk in Afton, as well as the non-compliant ISTSs serving residential dwellings and commercial establishments within the Historic Village Sewage Treatment Service Area, there is a need for sanitary sewer system improvements. The implementation of a LSTS will improve water quality and reduce noncompliant systems. The planned improvements will greatly reduce financial, health, and sanitation impacts to the City, residents, businesses, and general public.

There is a desire from the City of Afton, however, to prevent large-scale treatment systems that would allow for widespread commercial and industrial development. For this reason, the City ~~has decided to implement~~ a LSTS with a capacity allowing a modest growth in residential and commercial flows only. The ~~planned~~ system estimates a population growth of 30 people (17%) in the Old Village over the next 20 years. In 2030, the system will serve an estimated 77 households and 22 commercial establishments. The following figure details the Historic Village Sewage Treatment Service Area to be served by the LSTS.

Figure 5. Current Zoning for parcels in the Historic Village Sewage Treatment Service Area.



The following table presents that sanitary sewer flows that will be generated within the Historic Village Sewage Treatment Service Area based on the land use designations as detailed in the city's Facility Plan. The 2020 and 2030 flows are in accordance with the proposed system staging that is described in the following sections. As the LSTS will only accommodate modest growth, it is assumed that the design capacities will be reached by the year 2030.

Land-Use	2013 Flow (gpd)	2020 Flow (gpd)	2030 Flow (gpd)
Residential	0	9,272	18,544
Commercial	0	14,175	28,349
Inflow/Infiltration Allowance	0	2,000	4,000
Total Peak Flow	0	25,447	50,893

Table 5. Estimated sanitary sewer flows.

Collection System Improvements

The **planned** improvements include the construction of a gravity sanitary sewer system, lift stations, and forcemain to convey the residential and commercial wastewater flows generated within the Historic Village Sewage Treatment Service Area to the **proposed** LSTS. Individual sewer services will be connected **in 2017 & 2018** to the pipe sewer and extend to the homes and businesses to be served.

The trunk lines within Saint Croix Trail **will** extend to a main lift station located adjacent to the Steam Boat Park parking area east of the intersection of Saint Croix Trail and Upper 34th Street. The main lift station will **then** convey the wastewater to the LSTS north of the Historic Village Sewage Treatment Service Area. Two additional lift stations located along River Road **will have been be** reconstructed to convey wastewater to the collection system and ultimately the LSTS. The following figure details the **proposed** sanitary sewer collections system improvements within the Historic Village Sewage Treatment Service Area (Figure 6).



Figure 6. Planned sewer system in the Historic Village Sewage Treatment Service Area.


 CITY OF ASTORIA
 Old Village Improvement Project
 Conceptual Sanitary Sewer Layout

Innened Sanitary Sewer System



Treatment System

The ~~planned~~ treatment system consists of communal septic tanks, an anoxic denitrification component, recirculation tank, recirculating gravel filter, and a dose tank sized to store and meter flows throughout the day to a seepage cell soil dispersal drainfield. A control building houses various valves and controls. It also serves as a location to store miscellaneous items pertinent to system operation and maintenance.

The treatment system ~~is will be~~ located north of town at an elevation of 720 to 730 feet above mean sea level. The ~~proposed~~ treatment system is above the 500 year, 100 year, 50 year, and 10 year floodplain elevations of 695 ft, 691.5 ft, 690 ft, and 686.5 ft, respectively, and ~~will would~~ be operable during the 25-year flood and protected during a 100-year flood event.

Inflow and Infiltration

Due to Afton's proximity to the St. Croix River, extra precautions ~~will be~~ put in place to ensure the system can withstand flooding. These precautions ~~will also~~ limit inflow and infiltration in the system. Flood-tight castings ~~will be~~ used along the collection system in the floodplain. The collection sanitary sewer will be made from PVC plastic with water-tight gaskets and HDPE including fused joints to keep water from entering the system. In addition, the collection system ~~was will be~~ pressure tested after construction, and the manholes ~~will~~ include joints, rings, and castings that are wrapped to exclude water. The combination of these technologies will greatly reduce the potential for inflow and infiltration. Nonetheless, the system plans include an inflow and infiltration allowance of 4,000 gpd as required by the MPCA permit.

Staging

Residences and commercial establishments that have existing non-compliant septic systems will be required to connect to the system, ~~as soon as it is operational~~. The remaining users in the Historic Village Sewage Treatment Service Area will be required to hook up to the system within eight years of completion. The system will be fully connected prior to 2030, as outlined in the updated Sanitary Sewer Code for the City of Afton (Appendix ~~G,J~~).

Wastewater Goals, and Policies

The City of Afton establishes the following wastewater goals:

1. Reduce the volume of wastewater that is discharged to the soils of Afton.
2. Protect ground and surface waters to the greatest extent practicable by improving the quality of wastewater effluent.

3. Protect the groundwater from chemical or hazardous waste introduced from wastewater systems.
- ~~4. Construct a wastewater collection and treatment system to serve properties within the Historic Village.~~

The City of Afton establishes the following wastewater policies:

1. Encourage the use of individual, highly efficient, wastewater treatment systems for all homes and businesses within Afton.
2. Restrict industrial uses to those which would not create the need for metropolitan sewer or additional urban services.
3. Educate all residents on the proper maintenance of a septic system.
4. Monitor and manage the upgrading of all substandard wastewater treatment systems and require the immediate upgrading or replacement of failing systems.

PARKS AND OPEN SPACES PLAN

Residents value the rural atmosphere of Afton. Five-acre minimum lot sizes outside of the Old Village with houses that do not dominate the views of the countryside, large non-buildable areas of the City, and a large amount of farmland create an open feel to the landscape. *Open spaces, in and of themselves, are valuable to the residents of the City as preserves of nature and sanctuaries for flora and fauna.* An adequate area of properly managed parks and open spaces helps to protect and recharge surface and groundwater which is used by every resident of the city.

Commented [RB33]: (area ... helps, "parks and open spaces" is subordinate to and modifying "area.") The sentence at the beginning of the next paragraph is similar and correct: "preservation...provides"

The preservation of open spaces, including land with steep slopes, woodlands, wetlands, scenic or environmentally sensitive areas, and agricultural land provides many benefits, including the protection of natural resources, the provision of wildlife habitat, and the preservation of the natural, rural countryside character of Afton. The preservation of these open spaces is of key importance to the City. The City will seek to accomplish this preservation through a number of means, including:

1. Parkland dedication;
2. Parkland acquisition;
3. Open space dedication incentives in land development regulations; and
4. Encouraging and supporting the long term continuation of agricultural uses.

Existing Parks and Open Space

The City of Afton, and Afton's natural, open, rural character, greatly benefit from the substantial amount of open space that has been preserved by other public and quasi-public organizations. These open space amenities include a State Park, Regional Parks and the Belwin Conservancy. In addition, the St. Croix River is a magnificent open space amenity, providing scenic and tranquil vistas, and a major recreational resource. Another significant element of Afton's open space is its scattered rural development, including large lots and large expanses of agricultural land. Rather than developing new parks, the focus of the City has been to protect and preserve the existing natural resources and open space amenities.

The City currently has a limited does not have a substantial amount of City-owned open space and developed parks. The City of Afton has one park for active recreation, Town Square Park, and another for passive recreation, Steamboat Park, along the St. Croix River. Both parks are located in the Old Village.

Steamboat Park lies mostly in the floodplain, and is approximately thirty (30) acres in size. It serves as a sanctuary for many birds and various kinds of wildlife. It is one of the few locations on the lower St. Croix River that is not readily accessible for large boat traffic. Recreation is limited to passive recreation, such as picnicking, walking, swimming, bird and wildlife viewing.

Town Square Park is a more active site. The park provides space for basketball, baseball, picnicking, music concerts, skating and group activities. There is playground equipment, a band shell, and a picnic

shelter in the park, as well as primitive restroom facilities. Town Square Park is the focal point of such annual events as the Fourth of July Parade, May Fair, Antique Car Rallies, and Art in the Park.

Over the course of many years, the City has acquired a number of other parcels throughout the city of Afton with the potential to develop into local parks. These public lands were acquired in conjunction with the approval of major subdivisions over the course of several decades and remain undeveloped. In all, there are 53.44 acres of designated park land available for public use.

Community and regional parks (Afton State Park, Lucy Winton Bell Athletic Fields, Lake Elmo Regional Park Reserve, St. Croix Bluffs Regional Park, and Cottage Grove Ravine Regional Park) also provide a variety of different types of recreation to Afton residents.

Rinta Community Garden was created in 2012. The city of Afton received a grant from the Lower St. Croix Valley Community Foundation. These funds were used to remove trees and shrubs on approximately 1 acre of dedicated park land. The garden area was plowed and tilled. There are 21 garden plots on the property as well as compost bins, a garden shed with rain barrels to catch runoff from the shed's roof. Gardeners are primarily from the Lower St. Croix Valley, although a few come from Woodbury, Oakdale and St. Paul.

Two biking/hiking trails pass through the City. One trail follows St. Croix Trail South and extends from the northern edge of the Old Village to Interstate 94. The other, Afton Bluffs Regional Trail, is designated along County Road 18 running east and west, and is not separated from the roadway.

The planned St. Croix Valley Regional Trail will parallel the St. Croix River, and will connect Point Douglas County Park, Carpenter Nature Center, St. Croix Bluffs Regional Park, Afton State Park and the proposed Afton Bluffs Regional Trail. The St. Croix Valley Regional Trail will be aligned parallel and in close proximity to the St. Croix River.

The City seeks to protect a number of significant natural features within its boundaries. These include Trout Brook, Valley Creek and its North Branch, Bissell's Mounds and Kelle's Coulee. Bissell's Mounds in particular are unique to Washington County and are a recognized landmark in the City. Other natural features that are determined to be either unique or geologically sensitive will be preserved as the property around them is developed.

Afton State Park is located south of Afton and a portion of the park (787 acres) is located within the City's boundaries. The park was authorized by legislation in 1969 and was opened to the public in 1982. The terrain of the park is defined by a glacial moraine cut by deep ravines running into the St. Croix River. To Afton's residents, the state park offers many recreational amenities, including: backpack camping, swimming, hiking, fishing, cross country skiing, a prairie landscape, bird watching, and animal sighting. Some of the animals the park offers a home to include hawks, bluebirds, meadowlarks, deer, fox, badgers, turkeys, thirteen-lined ground squirrels, and gray and fox squirrels. Afton State Park is also home to an array of natural vegetation. It contains a combination of oak

savannah and woodlands. Park wildflowers include woodland ephemerals in the spring, butterfly weed and puccoons in the summer, and sunflowers and blazing star in the fall.

Belwin Conservancy also holds considerable land within Afton under a conservation easement with by the the Minnesota Land Trust. ~~This land is designated quasi-public.~~ The Belwin land provides a substantial open space amenity for adjacent land uses, and makes a major contribution to the protection of natural resources, and to the City's rural countryside character.

Parks and Open Space Goals, Policies and Strategies

The City of Afton establishes the following parks and open space goals:

1. Acquire and Preserve adequate amounts of open space to maintain a rural atmosphere (Afton's 2012~~from Afton's 2000 Park Plan~~);
 2. Obtain and maintain designated open spaces to provide for wildlife habitat and migration.
 3. Reconnect Afton's historical linkages to the St. Croix River.
 4. Provide expanded access to the City docks to all residents.
 5. Provide safe areas to ride bicycles within the City.
 6. Provide safe areas to ride horses within the City.
 7. Provide pedestrian friendly means of enjoying Afton's scenic views, wildlife, and connections to the St. Croix River.
 8. Preserve locally important water resources, natural and scenic features.
 9. Periodically identify the recreational needs of Afton citizens and evaluate ways to meet them.
 10. Consider using the Afton Bluffs Regional Trail to create an east-west connection from Afton's Old Village to the City of Woodbury.
 11. Manage all City owned or controlled land to maintain or restore repair to naturally occurring species of plants and trees plus those necessary to anticipate climate change.
 - 12. Manage all City owned or controlled land to prevent erosion, to recharge groundwater and to increase carbon storage.
- ~~{Text needed to describe policies regarding PUAD kind of setasides: public access or not, maintenance, other requirements?}~~

The City of Afton establishes the following parks and open space policies:

1. Preserve open spaces and natural resources for passive use and create non-motorized trails through direct purchase, subdivision, scenic and/or conservation easements and other means to include the seeking of grants and the use of matching funds when they are available, but not the use of eminent domain.
2. Maintain central community places.
3. Maintain safe environments for children to play and for the community to gather.
4. Maintain designated open spaces to provide for wildlife habitat and migration.

5. Work cooperatively with Washington County, the Belwin Conservancy, the Science Museum of Minnesota, and other quasi-public and private entities to preserve sensitive lands and open space.
6. Develop a forestry park plan to provide for all park and open space land to enhance water quality.
7. Develop a park plan for the five small parcels obtained by the City through park dedication.

The City of Afton establishes the following parks and open space strategies:

1. Develop signage and pedestrian friendly pedestrian friendly connections to the St. Croix River.
2. Protect Steamboat Park as a nature preserve and passive use area.
3. Develop a long term plan to obtain additional city owned land in areas identified as having unique environmental value, ecological significance or fragile geological attributes. Significant weight should be given to highly ranked areas identified on Afton's Natural Resources Inventory as desirable to reach city goals.
4. Develop a forestry plan to identify plant and tree species native to Afton and hardy in projected climate conditions.
5. Develop a long term plan to pay for acquisition and development of Afton's parks and open spaces.

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SOLID WASTE PLAN

~~The City of Afton does not have and does not want a solid waste disposal site due to the fragile nature of the soils and the underlying geological substrate. The City contracts with trash haulers to collect solid waste.~~

~~The City prohibits the burning or dumping of trash and garbage and also has a very active recycling program that encourages citizens to recycle on a regular basis. The City has a contract with a recycling hauler to assist with these efforts.~~

Ver 9/18/17

Soils in Afton are of a fragile nature with a highly pervious underlying geological substrate. In order to protect the groundwater, the City of Afton does not have and does not want a solid waste disposal site. The City contracts with trash haulers to collect both solid waste and recycling on a regular schedule. The City prohibits burning or dumping of trash or garbage at any time.

Commented [JY(C34)]: Barbara J Ronningen edits 12/18/17

The Afton Comprehensive Plan includes the following waste management options as mandatory or voluntary for both residential and business entities.

Solid Waste Goals and Policy

The City of Afton establishes the following solid waste goals:

- ~~1. Significantly reduce the amount of material that Afton residents and businesses contribute to landfills or waste incinerators.~~
- ~~2. Explore an organics recycling program. Educate residents about the Environmental Center at 4039 Cottage Grove Drive in Woodbury for disposal of household hazardous waste, electronics and recyclables.~~
- ~~2. Promote "Reduce, Re-use, Recycle" programs.~~

The City of Afton establishes the following solid waste goals:

1. Manage waste in a manner that will protect the environment and public health
2. Manage waste to minimize land filling and incineration
 - a. Emphasize less waste generation
 - b. Increase waste reuse (composting) and source separating of recyclable materials.
3. Routinely report to residents results of recycling and waste reduction with total volumes and associated cost benefits.

4. Educate residents and businesses by sending consistent messages about the importance and value of waste management both economically and environmentally.

Evaluate the value and relative success of mandatory or voluntary participation

The City of Afton establishes the following solid waste policy:

~~0. Provide for trash hauling and recycling service.~~

The City of Afton establishes the following solid waste policy

1. Waste reduction and reuse of resources
2. Waste separation and recycling
3. Promote resource conservation and recovery
4. Promote composting of yard waste and food waste
5. Provide for trash hauling and recycling
6. Enforcement of illegal burning or dumping of trash
7. Routinely report to residents results of recycling and waste reduction efforts with total volumes and associated cost benefits
8. Explore avenues to encourage residents and businesses to reduce solid waste by providing educational material for best present and future practices.

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CITY GOVERNANCE PLAN

The City provides services consistent with those provided in small rural communities, including general street maintenance, parks and recreation facilities, police service, fire protection, building inspection services and general assistance at City Hall. These services have typically been managed from City Hall by a city administrator and small staff.

The City of Afton owns five public buildings located on three parcels of property. The Afton Village Hall, leased to the Afton Historical Society and City Garage are located on Lots 1, 2, and 3 of Block 8 in the Old Village. The Town Hall (leased) and Garage are located in the NW quarter of the SW quarter of Section 10, on Stagecoach Trail South. The City Hall is located on Lots 2, 3, 4, 5, and 6 of Block 11 of the Old Village. The City also owns docks that are leased to a private operator.

Police protection is provided through a contract with the Washington County Sheriff's Department. As the city grows the cost of police protection may increase, and the provision of these services should be a consideration as new developments are proposed. Fire, ambulance, and rescue services are provided by way of a joint powers agreement among the five Lower St. Croix Fire Protection District cities with a fire station located in Lake St. Croix Beach. There are no current plans to add additional public facilities.

City Governance Goals, Policies and Strategies

The City of Afton establishes the following public facilities goals:

1. Maintain a small and efficient government.
2. Properly maintain public facilities.
3. Encourage a "pay-as-you-go" approach to maintaining public facilities and infrastructure.
4. Public subsidy for development, in the form of tax breaks such as Tax Increment Financing, shall be discouraged by the City of Afton.

The City of Afton established the following public facilities policies:

1. The City of Afton will comply with all FAA and Met Council Aeronautic Safety Standards regarding the height of structures and any regulations that pertain to airspace safety and electronic interference over the City of Afton.
2. Comply with all state and federal mandates.
3. City property is to be leased at market value.
4. The City Code shall be properly maintained so that current version is annually provided to all elected and appointed officials.

4.5. Continue utilizing and updating the Capital Improvements Plan and long-range planning process adopted by the City Council for maintenance and improvement of roads and other municipal infrastructure.

Commented [RB35]: The city council already acted on the goal, hence the goal is deleted and the current procedure

The City of Afton will seek to implement the following strategies:

1. Institute a budgeting process that annually takes a long-term examination of the City's finances.

Commented [RB36]: Deleted paragraph comment: The required infrastructure changes in the Old Village have been financed and are almost completed. This paragraph is no longer required or advisable and use of a special taxing district would reduce overall tax revenue.

1. Prepare a Capital Improvements Plan that outlines the costs and phasing for all maintenance activities required for municipal infrastructure.

1. Consider the creation of a special taxing district or implement the 429 assessment process to facilitate infrastructure improvements within the Old Village.

Commented [RB37]:

SYSTEM STATEMENT COMPATIBILITY

The Metropolitan Council has issued a system statement for the City of Afton, which indicates specific issues that must be addressed by the Comprehensive Plan before the Plan is considered complete by the Metropolitan Council. The City of Afton seeks to comply with all aspects of the system statement and has done so as per the following:

1. **Population, Housing, and Employment Forecasts:** The Metropolitan Council (Met Council) provides population, housing and employment forecasts for the City of Afton until the year 2030. These are required to be part of the plan update and are cited in Appendix B - Demographics Information of the Comprehensive Plan.
2. **Density and Land Use Classification:** The Met Council classifies the geographic area that the city of Afton is located in as “diversified rural” and partially “agricultural”.²² Diversified rural areas include a mix of large-lot residential and clustered housing with agricultural and other uses. Density in diversified rural areas must be equal to or less than one housing unit per ten acres. Density in diversified rural areas must be less than 1 housing unit per 10 acres. In Afton the density of areas zoned agricultural may not exceed three per quarter-quarter section, except in the case of Planned Land Conservation Developments, in which case the density may be increased up to four per forty acres. Agricultural areas are planned and zoned by local communities to maintain agriculture as the primary long-term land use. The density of agricultural areas may not exceed 1 housing unit per 40 acres.

This plan identifies policies, in the Housing and Land Use Action Plan, that will maintain an overall development density within the parameters required in the system statement.

3. **Aviation Plan and Facilities:** The system statement requires that the City of Afton must include airspace protection in its comprehensive plan. The protection is for potential hazards to air navigation including electronic interference. Airspace protection should be included in local codes/ordinances to control height of structures, especially when conditional use permits would apply. The comprehensive plan should include policy/text on notification to the FAA as defined under code of federal regulations CFR-Part 77, using the FAA Form 7460-1 “notice of proposed construction or alteration.”

There are no public or private airfield facilities within the City of Afton. Furthermore, public and private airfields and heliports are not allowed within the City of Afton. Language has been added to the Public Facilities Action Plan to reflect Afton’s desire to follow all FAA and Met Council Aeronautics Safety Standards in regards to airspace safety in the City of Afton.

4. **Sewage Treatment:** The system statement requires that the City of Afton incorporate current MPCA regulations as part of a program for managing individual, cluster, and large sewer systems

Commented [RB38]: Brings the language into compliance with the Met Council system plan which requires a maximum density of one housing unit per ten acres, not “less than one housing unit per ten acres”.

Commented [RB39]: This language keeps the comprehensive plan consistent with our Afton’s current limitations which are more restrictive than the Metropolitan Council provisions except in the case of PLCD’s which provide a freezing of densities at the level currently permitted by the Met Council. The language being deleted comes from the Thrive 2040 Plan provisions for Agricultural Communities, not those applicable to diversified rural communities like Afton and is found on pg 171 of the Plan: “Limit residential development and adopt zoning ordinances and/or other official controls to maintain residential densities no greater than 1 housing unit per 40 acres.” The provision applicable to diversified rural communities is in the diversified rural section of Thrive MSP 2040, Pg 166: “Plan for growth not to exceed forecasts and in patterns that do not exceed 4 units per 40 acres.” Also quoting the Thrive plan: “For areas outside of the Long-term Wastewater Service Area, the Council also encourages the clustering of homes, particularly when communities are considering densities greater than 4 units per 40 acres.” In Afton, a gross density of 4 per 40 (yielding 1 per 10) in the Ag is only allowed with a PLCD with its accompanying restrictions on future subdivision.

in the local comprehensive plan and implement the standards in issuing permits. An overview of Afton's management program must be included in the community's local comprehensive plan update.

Afton should include in the sewer element of its comprehensive plan the conditions under which private treatment plants would be allowed. The use of private wastewater treatment plants must be consistent and compatible with the long-term regional wastewater system plan.

Subsurface and cluster septic treatment systems are regulated by Afton City Code which adopted Washington County's septic ordinance by reference and by contract with Washington County to perform permitting and inspections (Appendix J).

5. **Watershed Management.** The system statement requires that a local surface water management plan should be prepared once a watershed plan for the area has been approved. The local surface water management plan must be submitted to both the water management organization(s) within whose watershed the community is located and to the Metropolitan Council for its review.

Afton is required to complete a local surface water management plan. The plan will be submitted to the Met Council for its review concurrent with the review by the watershed management organizations.

6. **Trail Connections:** The system statement indicates that a proposed regional trail following the St. Croix River (St. Croix River Regional Trail) and a planned trail (Afton Bluffs Trail) will be located within or traverse across the City of Afton. These trail alignments are acknowledged in the Parks and Recreation Action Plan.

IMPLEMENTATION PLAN

The City has adopted and does enforce the following ordinances, among others. The ordinances and official controls listed in this section will continue to be enforced in order to implement this Plan.

1. The Zoning Ordinance, as amended from time to time and incorporated by reference herein, implements the primary elements of this Plan by establishing the type, location, and intensity of uses throughout the city as prescribed by this Plan.
2. The Shoreland Management Ordinance, as amended from time to time and incorporated by reference herein, protects wetlands, water bodies and water courses throughout the City as prescribed by this Plan.
3. The Floodplain Ordinance, as amended from time to time and incorporated by reference herein, protects man-made development from floodwaters and the floodplain areas that carry and discharge regional floods by limiting development in those floodplains and floodways in the City as prescribed by this Plan.
4. The Sanitary Sewer Disposal Ordinance, as amended from time to time and incorporated by reference herein, governs the installation, inspection, and maintenance of septic systems as prescribed by this Plan. Further, the City issues septic system permits, inspects installation of all septic systems, reviews soil tests for subdivisions, issues building permits after the City has issued any required zoning use permit, and provides consultant planning services. The City is currently undergoing a Sanitary Sewer code revision to address changes in the Historic Village Sewage Treatment Service Area
5. The Subdivision Ordinance, as amended from time to time and incorporated by reference herein, regulates the division of all property as prescribed by this Plan.
6. The Mining Ordinance, as amended from time to time and incorporated by reference herein, establishes uniform performance standards for sand and gravel extraction and for land reclamation as prescribed by this Plan.
7. The Lower St. Croix River Bluffland and Shoreland Management Ordinance, as amended from time to time and incorporated by reference herein, protects the natural environment and aesthetics of this wild and scenic river as prescribed by this Plan.
8. The International Building Code, as amended from time to time and incorporated by reference herein, protects the safety, health and welfare of residents through regulating standards of construction.

In addition to these ordinances, the city utilizes and depends on the following agencies for reviews of proposed developments and advice on ordinance revisions:

1. Watershed and Water Management Organizations review all proposals within the watershed and recommend permit conditions for building within four different watershed districts within City limits.
2. Minnesota Department of Natural Resources reviews and approves all developments along the St. Croix River, other public water bodies and floodplains.
3. U.S. Army Corps of Engineers reviews and approves alterations of public water bodies.

4. Minnesota Pollution Control Agency reviews pollution problems.
5. Metropolitan Council reviews and approves the comprehensive development plan.
6. Lower St. Croix Valley Volunteer Fire Department recommends ordinances necessary to protect the health and safety of Afton residents, and comments on development proposals.
7. Washington County Soil and Water Conservation District reviews proposed projects and offers recommendations on slope, wetland, and fragile lands protection.
8. Minnesota Department of Transportation and Washington County Highway Department maintain and develop state and county roads.

In 1997, the City amended and recodified its ordinances to eliminate any inconsistencies and to assure conformance with the Comprehensive Plan. In addition to enforcing the existing ordinances that will implement this Plan, the city will update and revise pertinent ordinances in order to implement all of the policies contained in this Plan. As a general overview, it is the City's intent to amend the ordinances and policies in conformance with this plan within required timeframes.

While this plan contains much of the language, intent and purpose of the previous version of the City's Comprehensive Plan, it has been formatted quite differently. The plan is now organized into sections of background followed by topic specific goals. It is the intention of the City of Afton to work, over time, on developing policies and strategies for implementing these goals. When adopted, these would require an amendment to the plan, which would need to follow required procedures for making plan amendments.

Additionally, there are statements of policy or regulation contained in the 1998 version of the plan that were lost in the conversion to the new format, yet are significant and require additional ongoing discussion. It is not the intent of this plan update to modify the spirit and intent of the 1998 plan, but to provide a more clear vision and create a document that can be strongly implemented.

CAPITAL IMPROVEMENTS PROGRAM

The City has limited funding for capital improvements and seeks to minimize debt. As such, the City needs to correlate the tax base with the long-term capital needs of the community, including:

1. Re-~~pave~~ gravel, reconstruct and sealcoat streets.
2. Repair bridges, streets and culverts as required.
3. Use Park Dedication Funds to upgrade existing facilities and to purchase land and/or easements to add to future park and trail infrastructure.
4. Resolve surface water erosion ~~issues~~.
5. Manage ~~storm water~~ stormwater run-off on Old Village streets and boulevards.
6. ~~Replace~~ Remove the 201 system in the Old Village ~~when needed~~.
7. ~~Construct the Large Subsurface Treatment System and Sanitary Sewer Collection System for the Historic Village Sewage Treatment Service Area~~
8. ~~Repair sidewalks in the Old Village.~~
9. ~~Expand the use of gas lights in the Old Village.~~

Commented [KK40]: All the Old Village activities are resolved. New CIP activities?

A detailed Capital Improvement Program (CIP) outlining cost estimates, income sources, and payment schedules will be attached to this plan at a future date. The CIP will be reviewed and revised annually. Sound financial planning will be utilized so as not to significantly increase the tax burden on individual property owners in fulfilling the capital improvement plan.

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List of Appendices

- Appendix A: Terms and Definitions
- Appendix B: Demographic Information
- Appendix C: Watershed District Information
- Appendix D: Resource References
- Appendix E: Soils Information
- Appendix F: Parks and Open Spaces
- Appendix G: ~~Storm Water~~Stormwater Management Plan
- Appendix H: Community Survey
- Appendix I: Maps
- Appendix J: Article IX. Sewage- Afton Code of Ordinances .
- Appendix K: Afton Flora and Fauna
- Appendix L: Public Involvement in Comprehensive Plan Process
- Appendix M: City of Afton Wastewater Collection and Treatment System Facility Plan

CITY OF AFTON 2008 COMPREHENSIVE PLAN

APPENDICES



Memorandum

To: *Honorable Mayor and City Council, City of Afton*

From: *Nick Guilliams, PE, City Engineer*

Date: *June 19, 2018*

Re: *June Engineering Staff Report
WSB Project No. 11166-000*

1. Pavement Management Project Change Order No. 4 and Pay Voucher No. 6

Change order No. 4 and Pay Voucher No. 6 was for work to repair Oakgreen Avenue and Circle last fall. This had planned to be brought forward to the February City Council Meeting for approval but was accidentally left off the agenda.

Action: Approve Change Order No. 4 in in amount of \$42,409.98 and Pay Voucher No. 6 in the amount of \$50,512.78 to Park Construction Company for work associated with the Pavement Management Project.

2. Pavement Management Project Change Order No. 5 and Final Payment

The pavement management project has been recently competed and accepted. Oakgreen Avenue and Circle were completed this year. By waiting until this Spring and letting the road heal over the winter, costs came in approximately \$45,000 less than anticipated to repair areas that were experiencing settlement and cracking due to wet subgrade.

Change Order No. 5 is for additional traffic control and mobilization needed to finish the repairs and pave the final wear course.

Action: Approve Change Order No. 5 in the amount of \$5,500 and final payment in the amount of \$265,698.94 to Park Construction Company for completion of the Pavement Management Project.

3. 30th Street Culvert

As discussed at the June Public Works Committee meeting, additional work is necessary to prepare a quote package and obtain permits to complete the replacement of the culvert and restoration of the area. Attached is memo summarizing the work necessary to proceed.

Action: Consider approval of proposal to prepare plans, specifications, and all permit applications to WSB and Associates for \$20,800.

If you have any questions, please contact me at 612-419-3589 or nguilliams@wsbeng.com

CHANGE ORDER NO. 4

2017 PAVEMENT MANAGEMENT PROJECT

January 17, 2018

CITY OF AFTON, MN
WSB PROJECT NO. 1856-54

OWNER:

CITY OF AFTON
3033 ST CROIX TRAIL S
AFTON, MN 55001

CONTRACTOR:

PARK CONSTRUCTION COMPANY
1481 81ST AVE NE
MINNEAPOLIS, MN 55432

YOU ARE DIRECTED TO MAKE THE FOLLOWING CHANGES IN THE CONTRACT DOCUMENT DESCRIPTION:

REPAIRS FOR OAKGREEN CIRCLE AND OAKGREEN AVENUE; ADDITIONAL TOPSOIL AND SHOULDERING WORK

IT IS UNDERSTOOD THAT THIS CHANGE ORDER INCLUDES ALL ADDITIONAL COSTS AND TIME EXTENSIONS WHICH ARE IN ANY WAY, SHAPE, OR FORM ASSOCIATED WITH THE WORK ELEMENTS DESCRIBED ABOVE.

CHANGE IN CONTRACT PRICE:

ORIGINAL CONTRACT PRICE: \$2,225,894.34
PREVIOUS CHANGES \$759,705.38
CONTRACT PRICE PRIOR TO THIS CHANGE ORDER: \$2,985,599.72
NET INCREASE OF THIS CHANGE ORDER: \$42,409.98
CONTRACT PRICE WITH ALL APPROVED CHANGE ORDERS: \$3,028,009.70

CHANGE IN CONTRACT TIME:

ORIGINAL CONTRACT TIME: 8/4/2017
NET CHANGE FROM PREVIOUS CHANGE ORDERS: 53 DAYS
CONTRACT TIME PRIOR TO THIS CHANGE ORDER: 9/29/2017
NET INCREASE WITH CHANGE ORDER: 0 DAYS
CONTRACT TIME WITH APPROVED CHANGE ORDERS 9/29/2017

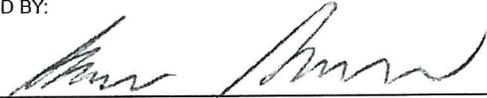
RECOMMENDED BY:



NICK GUILLIAMS, PE, PROJECT MANAGER

WSB & ASSOCIATES, INC.
ENGINEER

APPROVED BY:



CONTRACTOR SIGNATURE

PARK CONSTRUCTION CO.
CONTRACTOR

APPROVED BY:



CITY ENGINEER

January 18, 2018

DATE



CITY ADMINISTRATOR

6-14-18

DATE



January 18, 2018

Ron Moorse
City of Afton
3033 St. Croix Trail South
Afton, MN 55001

Re: 2017 Pavement Management Project
City of Afton, MN
WSB Project No. 01856-54

Dear Mr. Moorse:

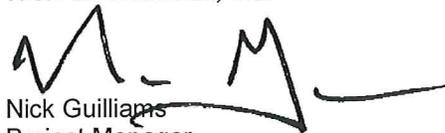
Please find enclosed Construction Pay Voucher No. 6 for the above referenced project in the amount of \$50,512.78. The quantities completed to date have been reviewed and agreed upon by the contractor, and we hereby recommend that the City of Afton approve Construction Pay Voucher No. 6 for Park Construction Company.

The amount indicated above reflects work certified to date through January 18, 2018, with a 5% retainage applied. Please include one executed copy with the payment to Park Construction and return one executed copy to our office for our file.

If you have any questions, please contact me at 651-286-8468.

Sincerely,

WSB & Associates, Inc.

A handwritten signature in black ink, appearing to read "Nick Guilliams", with a horizontal line extending to the right.

Nick Guilliams
Project Manager

Enclosures

Cc: Diane Hankee, WSB & Associates, Inc.

kkp



CITY OF AFTON

3033 Saint Croix Trail
 Afton, MN 55001
 Project 01856-54 - AFTON - 2018 City Engineering
 Pay Voucher No. 6

Contractor: Park Construction Company - Mpls
 1481 81st Avenue NE
 Spring Lake Park, MN 55432

Contract No.
 Vendor No.
 For Period: 11/1/2017 - 1/18/2018
 Warrant # _____ Date _____

Contract Amounts

Original Contract	\$2,225,894.34
Contract Changes	\$802,115.36
Revised Contract	\$3,028,009.70

Funds Encumbered

Original	\$2,225,894.34
Additional	N/A
Total	\$2,225,894.34

Work Certified To Date

Base Bid Items	\$1,831,928.42
Backsheet	\$0.00
Change Order	\$441,251.25
Supplemental Agreement	\$453,206.57
Work Order	\$0.00
Material On Hand	\$0.00
Total	\$2,726,386.24

	Work Certified This Pay Voucher	Work Certified To Date	Less Amount Retained	Less Previous Payments	Amount Paid This Pay Voucher	Total Amount Paid To Date
01856-54	\$53,171.35	\$2,726,386.24	\$136,319.31	\$2,539,554.15	\$50,512.78	\$2,590,066.93
Percent Retained: 5.0000%				Percent Complete: 90.0389%		
Amount Paid This Pay Voucher					\$50,512.78	

This is to certify that the items of work shown in this certificate of Pay Voucher have been actually furnished for the work comprising the above mentioned projects in accordance with the plans and specifications heretofore approved.

Approved By

 Project Engineer

Approved By Park Construction Company - Mpls

 Contractor

January 18, 2018
 Date

1/19/18
 Date

Approved By

 City of Afton, MN

1-14-18
 Date

CITY OF AFTON
 3033 Saint Croix Trail
 Afton, MN 55001
 Project No. 01856-54
 Pay Voucher No. 6

01856-54 Payment Summary

No.	From Date	To Date	Work Certified Per Pay Voucher	Amount Retained Per Pay Voucher	Amount Paid Per Pay Voucher
1	04/18/2017	07/07/2017	\$965,531.85	\$48,276.59	\$917,255.26
2	07/08/2017	07/31/2017	\$286,125.36	\$14,306.27	\$271,819.09
3	08/01/2017	08/31/2017	\$893,271.81	\$44,663.59	\$848,608.22
4	09/01/2017	09/30/2017	\$490,284.25	\$24,514.21	\$465,770.04
5	10/01/2017	10/31/2017	\$38,001.62	\$1,900.08	\$36,101.54
6	11/01/2017	01/18/2018	\$53,171.35	\$2,658.57	\$50,512.78
Totals:			\$2,726,386.24	\$136,319.31	\$2,590,066.93

01856-54 Funding Category Report

Funding Category No.	Work Certified To Date	Less Amount Retained	Less Previous Payments	Amount Paid This Pay Voucher	Total Amount Paid To Date
UNF	2,726,386.20	136,319.31	2,539,554.12	50,512.77	2,590,066.89
Totals:	\$2,726,386.20	\$136,319.31	\$2,539,554.12	\$50,512.77	\$2,590,066.89

01856-54 Funding Source Report

Accounting No.	Funding Source	Amount Paid This Pay Voucher	Revised Contract Amount	Funds Encumbered To Date	Paid To Contractor To Date
UNF	Unfunded	50,512.77	3,028,009.70	2,225,894.34	2,590,066.89
Totals:		\$50,512.77	\$3,028,009.70	\$2,225,894.34	\$2,590,066.89

CHANGE ORDER NO. 5

2017 PAVEMENT MANAGEMENT PROJECT

June 1, 2018

CITY OF AFTON, MN
WSB PROJECT NO. 1856-54

OWNER:

CITY OF AFTON
3033 ST CROIX TRAIL S
AFTON, MN 55001

CONTRACTOR:

PARK CONSTRUCTION COMPANY
1481 81ST AVE NE
MINNEAPOLIS, MN 55432

YOU ARE DIRECTED TO MAKE THE FOLLOWING CHANGES IN THE CONTRACT DOCUMENT DESCRIPTION:

ADDITIONAL MOBILIZATION AND TRAFFIC CONTROL FOR SWITCHING FROM MILL AND OVERLAY TO RECLAIM

IT IS UNDERSTOOD THAT THIS CHANGE ORDER INCLUDES ALL ADDITIONAL COSTS AND TIME EXTENSIONS WHICH ARE IN ANY WAY, SHAPE, OR FORM ASSOCIATED WITH THE WORK ELEMENTS DESCRIBED ABOVE.

CHANGE IN CONTRACT PRICE:

CHANGE IN CONTRACT TIME:

ORIGINAL CONTRACT PRICE:	\$2,225,894.34	ORIGINAL CONTRACT TIME:	8/4/2017
PREVIOUS CHANGES	\$802,115.36	NET CHANGE FROM PREVIOUS CHANGE ORDERS:	53 DAYS
CONTRACT PRICE PRIOR TO THIS CHANGE ORDER:	\$3,028,009.70	CONTRACT TIME PRIOR TO THIS CHANGE ORDER:	9/29/2017
NET INCREASE OF THIS CHANGE ORDER:	\$5,500.00	NET INCREASE WITH CHANGE ORDER:	0 DAYS
CONTRACT PRICE WITH ALL APPROVED CHANGE ORDERS:	\$3,033,509.70	CONTRACT TIME WITH APPROVED CHANGE ORDERS	9/29/2017

RECOMMENDED BY:



NICK GUILLIAMS, PE, PROJECT MANAGER

WSB & ASSOCIATES, INC.
ENGINEER

APPROVED BY:



CONTRACTOR SIGNATURE

PARK CONSTRUCTION CO.
CONTRACTOR

APPROVED BY:



CITY ENGINEER

DATE



CITY ADMINISTRATOR

DATE

CHANGE ORDER NO. 5 DETAIL

2017 PAVEMENT MANAGEMENT PROJECT

June 1, 2018

CITY OF AFTON, MN
WSB PROJECT NO. 1856-540

Item No.	Mat. No.	Description	Unit	Price	Qty	Extended Amount
CO5		ADDITIONAL MOBILIZATION	LS	\$ 4,000.00	1	\$4,000.00
CO5		ADDITIONAL TRAFFIC CONTROL	LS	\$ 1,500.00	1	\$1,500.00

TOTAL CHANGE ORDER NO. 5

\$5,500.00

TOTAL ADJUSTMENT TO ORIGINAL CONTRACT AMOUNT

\$5,500.00



CITY OF AFTON
 3033 Saint Croix Trail
 Afton, MN 55001
 Project 01856-54 - AFTON - 2018 City Engineering
 Final Pay Voucher No. 7

Contractor: Park Construction Company - Mpls
 1481 81st Avenue NE
 Spring Lake Park, MN 55432

Contract No.
 Vendor No.
 For Period: 1/19/2018 - 6/4/2018
 Warrant # _____ Date _____

Contract Amounts

Original Contract	\$2,225,894.34
Contract Changes	\$807,615.36
Revised Contract	\$3,033,509.70

Work Certified To Date

Base Bid Items	\$1,846,097.14
Backsheet	\$0.00
Change Order	\$556,462.16
Supplemental Agreement	\$453,206.57
Work Order	\$0.00
Material On Hand	\$0.00
Total	\$2,855,765.87

Funds Encumbered

Original	\$2,225,894.34
Additional	N/A
Total	\$2,225,894.34

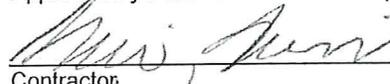
	Work Certified This Pay Voucher	Work Certified To Date	Less Amount Retained	Less Previous Payments	Amount Paid This Pay Voucher	Total Amount Paid To Date
01856-54	\$129,379.63	\$2,855,765.87	\$0.00	\$2,590,066.93	\$265,698.94	\$2,855,765.87
Percent Retained: 0.0000%						
Amount Paid This Final Pay Voucher					\$265,698.94	

I hereby certify that a Final Examination has been made of the noted Contract, that the Contract has been completed, that the entire amount of Work Shown in this Final Voucher has been performed and the Total Value of the Work Performed in accordance with, and pursuant to, the terms of the Contract is as shown in this Final Voucher.

Approved By _____

 Project Engineer

 June 4, 2018
 Date

Approved By Park Construction Company - Mpls

 Contractor

 6/4/18
 Date

Approved By _____

 City of Afton

 6-14-18
 Date

CITY OF AFTON
 3033 Saint Croix Trail
 Afton, MN 55001
 Project No. 01856-54
 Final Pay Voucher No. 7

01856-54 Payment Summary

No.	From Date	To Date	Work Certified Per Pay Voucher	Amount Retained Per Pay Voucher	Amount Paid Per Pay Voucher
1	04/18/2017	07/07/2017	\$965,531.85	\$48,276.59	\$917,255.26
2	07/08/2017	07/31/2017	\$286,125.36	\$14,306.27	\$271,819.09
3	08/01/2017	08/31/2017	\$893,271.81	\$44,663.59	\$848,608.22
4	09/01/2017	09/30/2017	\$490,284.25	\$24,514.21	\$465,770.04
5	10/01/2017	10/31/2017	\$38,001.62	\$1,900.08	\$36,101.54
6	11/01/2017	01/18/2018	\$53,171.35	\$2,658.57	\$50,512.78
7	01/19/2018	06/04/2018	\$129,379.63	(\$136,319.31)	\$265,698.94
Totals:			\$2,855,765.87	\$0.00	\$2,855,765.87

01856-54 Funding Category Report

Funding Category No.	Work Certified To Date	Less Amount Retained	Less Previous Payments	Amount Paid This Pay Voucher	Total Amount Paid To Date	
UNF	2,855,765.82	0.00	2,590,066.89	265,698.93	2,855,765.82	
Totals:		\$2,855,765.82	\$0.00	\$2,590,066.89	\$265,698.93	\$2,855,765.82

01856-54 Funding Source Report

Accounting No.	Funding Source	Amount Paid This Pay Voucher	Revised Contract Amount	Funds Encumbered To Date	Paid To Contractor To Date
UNF	Unfunded	265,698.93	3,033,509.70	2,225,894.34	2,855,765.82
Totals:		\$265,698.93	\$3,033,509.70	\$2,225,894.34	\$2,855,765.82

CITY OF AFTON
 3033 Saint Croix Trail
 Afton, MN 55001
 Project No. 01856-54
 Final Pay Voucher No. 7

01856-54 Project Material Status									
Line	Item	Description	Units	Unit Price	Contract Quantity	Quantity This Pay Voucher	Amount This Pay Voucher	Quantity To Date	Amount To Date
2017 PAVEMENT MANAGEMENT PROJECT									
1	2021.501	MOBILIZATION	LS	\$56,000.00	1	0	\$0.00	1	\$56,000.00
2	2104.501	REMOVE GUARDRAIL	L F	\$5.05	330	0	\$0.00	64	\$323.20
3	2104.505	REMOVE CONCRETE DRIVEWAY PAVEMENT	S Y	\$32.20	60	0	\$0.00	62.5	\$2,012.50
4	2104.505	REMOVE BITUMINOUS DRIVEWAY PAVEMENT	S Y	\$2.25	2000	0	\$0.00	697.2	\$1,568.70
5	2104.505	REMOVE BITUMINOUS PAVEMENT	S Y	\$4.25	800	0	\$0.00	1448.1	\$6,154.43
6	2104.509	REMOVE SIGN	EACH	\$15.10	127	0	\$0.00	127	\$1,917.70
7	2104.511	SAWING CONCRETE PAVEMENT (FULL DEPTH)	L F	\$4.70	100	0	\$0.00	53	\$249.10
8	2104.513	SAWING BITUMINOUS PAVEMENT (FULL DEPTH)	L F	\$1.95	5200	0	\$0.00	228	\$444.60
9	2104.618	SALVAGE & REINSTALL BRICK PAVER	S F	\$20.60	30	0	\$0.00	119	\$2,451.40
10	2105.501	COMMON EXCAVATION	C Y	\$32.80	2000	0	\$0.00	1694.1	\$55,566.48
11	2118.501	AGGREGATE SURFACING CLASS 5	TON	\$47.30	50	299.55	\$14,168.72	1098.65	\$51,966.15
12	2123.610	STREET SWEEPER (WITH PICKUP BROOM)	HOUR	\$121.00	40	0	\$0.00	22.25	\$2,692.25
13	2211.501	AGGREGATE BASE CLASS 5	TON	\$12.50	2500	0	\$0.00	1439.11	\$17,988.88
14	2215.501	FULL DEPTH RECLAMATION	S Y	\$1.10	136000	0	\$0.00	139384	\$153,322.40
15	2231.501	BITUMINOUS PATCHING MIXTURE	TON	\$75.00	200	0	\$0.00	334.09	\$25,056.75
16	2232.501	MILL BITUMINOUS SURFACE	S Y	\$0.93	19400	0	\$0.00	12135.5	\$11,286.02
17	2357.502	BITUMINOUS MATERIAL FOR TACK COAT	GAL	\$2.30	27600	0	\$0.00	4392.5	\$10,102.75
		TYPE SP 12.5 WEARING							

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Line	Item	Description	Units	Unit Price	Contract Quantity	Quantity This Pay Voucher	Amount This Pay Voucher	Quantity To Date	Amount To Date	
18	2360.501	COURSE MIX (2,C)	TON	\$46.60	16200	0	\$0.00	13510.26	\$629,578.12	
19	2360.502	TYPE SP 12.5 NON WEAR COURSE MIX (2,C)	TON	\$47.00	18100	0	\$0.00	15409.52	\$724,247.44	
20	2360.503	TYPE SP 9.5 WEARING COURSE MIX (2,C) 3.0" THICK	SQ YD	\$0.01	2000	0	\$0.00	659.1	\$6.59	
21	2505.601	UTILITY COORDINATION	LS	\$0.94	1	0	\$0.00	1	\$0.94	
22	2506.602	ADJUST FRAME & RING CASTING	EACH	\$618.00	4	0	\$0.00	7	\$4,326.00	
23	2531.507	6" CONCRETE DRIVEWAY PAVEMENT	S Y	\$74.80	60	0	\$0.00	21.8	\$1,630.64	
24	2554.501	TRAFFIC BARRIER DESIGN B8307	L F	\$18.30	330	0	\$0.00	407	\$7,448.10	
25	2554.523	END TREATMENT-ENERGY ABSORBING TERMINAL	EACH	\$2,300.00	4	0	\$0.00	4	\$9,200.00	
26	2563.801	TRAFFIC CONTROL	LS	\$2,210.00	1	0	\$0.00	1	\$2,210.00	
27	2564.531	SIGN PANELS TYPE SPECIAL	S F	\$26.10	90	0	\$0.00	48.92	\$1,276.81	
28	2564.531	SIGN PANELS TYPE C	S F	\$26.10	581	0	\$0.00	606.44	\$15,828.08	
29	2573.535	TEMPORARY ROCK CONSTRUCTION ENTRANCE	EACH	\$653.00	18	0	\$0.00	0	\$0.00	
30	2575.502	SEED MIXTURE 25-151	LB	\$4.25	80	0	\$0.00	237.86	\$1,010.91	
31	2575.519	DISK ANCHORING	ACRE	\$201.00	0.6	0	\$0.00	0	\$0.00	
32	2575.604	SEEDING (INCL TOPSOIL & FERT)	ACRE	\$23,500.00	0.6	0	\$0.00	1.65	\$38,775.00	
33	2575.605	HYDROMULCH TYPE 6	S Y	\$1.50	2900	0	\$0.00	7636.8	\$11,455.20	
Totals For Section 2017 PAVEMENT MANAGEMENT PROJECT:								\$14,168.72		\$1,846,097.14
ALTERNATE 1. - MILL AND OVERLAY IMPROVEMENTS (OAKGREEN CIRCLE)										
34	2021.501	MOBILIZATION	LS	\$1,000.00	1	0	\$0.00	0	\$0.00	
35	2104.505	REMOVE BITUMINOUS	S Y	\$4.25	600	0	\$0.00	0	\$0.00	

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Line	Item	Description	Units	Unit Price	Contract Quantity	Quantity This Pay Voucher	Amount This Pay Voucher	Quantity To Date	Amount To Date
		PAVEMENT							
36	2104.513	SAWING BITUMINOUS PAVEMENT (FULL DEPTH)	LF	\$1.95	150	0	\$0.00	0	\$0.00
37	2123.610	STREET SWEEPER (WITH PICKUP BROOM)	HOUR	\$126.00	10	0	\$0.00	0	\$0.00
38	2231.501	BITUMINOUS PATCHING MIXTURE	TON	\$94.70	80	0	\$0.00	0	\$0.00
39	2232.501	MILL BITUMINOUS SURFACE	SY	\$0.95	14300	0	\$0.00	0	\$0.00
40	2357.502	BITUMINOUS MATERIAL FOR TACK COAT	GAL	\$2.30	1500	0	\$0.00	0	\$0.00
41	2360.501	TYPE SP 12.5 WEARING COURSE MIX (2,C)	TON	\$45.70	1900	0	\$0.00	0	\$0.00
42	2563.601	TRAFFIC CONTROL	LS	\$302.00	1	0	\$0.00	0	\$0.00
Totals For Section ALTERNATE 1. - MILL AND OVERLAY IMPROVEMENTS (OAKGREEN CIRCLE):							\$0.00		\$0.00
Change Order 1 - CONSTRUCTION CHANGES - SUPPLEMENTAL AGREEMENT									
13	2211.501	AGGREGATE BASE CLASS 5	TON	\$12.50	20	0	\$0.00	0	\$0.00
18	2360.501	TYPE SP 12.5 WEARING COURSE MIX (2,C)	TON	\$46.60	35	0	\$0.00	0	\$0.00
19	2360.502	TYPE SP 12.5 NON WEAR COURSE MIX (2,C)	TON	\$47.00	45	0	\$0.00	0	\$0.00
25	2554.523	END TREATMENT-ENERGY ABSORBING TERMINAL	EACH	\$2,300.00	2	0	\$0.00	2	\$4,600.00
87	2573.530	STORM DRAIN INLET PROTECTION	EACH	\$200.00	2	0	\$0.00	0	\$0.00
88	2573.533	SEDIMENT CONTROL LOG TYPE WOOD FIBER	LF	\$3.50	350	0	\$0.00	220	\$770.00
89	2535.501	BITUMINOUS CURB	LF	\$2.75	5300	0	\$0.00	7996.2	\$21,989.55

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Line	Item	Description	Units	Unit Price	Contract Quantity	Quantity This Pay Voucher	Amount This Pay Voucher	Quantity To Date	Amount To Date
90	2021.501	MOBILIZATION	LS	\$12,800.00	1	0	\$0.00	1	\$12,800.00
Totals For Change Order 1 - CONSTRUCTION CHANGES - SUPPLEMENTAL AGREEMENT:							\$0.00		\$40,159.55
Change Order 2 - MILL & OVERLAY TO RECLAMATION									
16	2232.501	MILL BITUMINOUS SURFACE	S Y	(\$0.93)	8500	0	\$0.00	0	\$0.00
18	2360.501	TYPE SP 12.5 WEARING COURSE MIX (2,C)	TON	(\$46.60)	970	0	\$0.00	0	\$0.00
34	2021.501	MOBILIZATION	LS	(\$1,000.00)	1	0	\$0.00	0	\$0.00
35	2104.505	REMOVE BITUMINOUS PAVEMENT	S Y	(\$4.25)	600	0	\$0.00	0	\$0.00
36	2104.513	SAWING BIT PAVEMENT (FULL DEPTH)	L F	(\$1.95)	150	0	\$0.00	0	\$0.00
37	2123.610	STREET SWEEPER (WITH PICKUP BROOM)	HOUR	(\$126.00)	10	0	\$0.00	0	\$0.00
38	2231.501	BITUMINOUS PATCHING MIXTURE	TON	(\$94.70)	80	0	\$0.00	0	\$0.00
39	2232.501	MILL BITUMINOUS SURFACE	S Y	(\$0.95)	14300	0	\$0.00	0	\$0.00
40	2357.502	BITUMINOUS MATERIAL FOR TACK COAT	GAL	(\$2.30)	1500	0	\$0.00	0	\$0.00
41	2360.501	TYPE SP 12.5 WEARING COURSE MIX (2,C)	TON	(\$45.70)	1900	0	\$0.00	0	\$0.00
42	2563.601	TRAFFIC CONTROL	LS	(\$302.00)	1	0	\$0.00	0	\$0.00
91	2021.501	MOBILIZATION	LS	\$9,000.00	1	0	\$0.00	1	\$9,000.00
92	2104.505	REMOVE BITUMINOUS PAVEMENT	S Y	\$9.73	600	75.55	\$735.10	2002.25	\$19,481.89
93	2104.513	SAWING BIT PAVEMENT (FULL DEPTH)	L F	\$3.61	150	0	\$0.00	559.5	\$2,019.80
94	2123.610	STREET SWEEPER (WITH PICKUP BROOM)	HOUR	\$144.45	10	3	\$433.35	6	\$866.70
95	2231.501	BITUMINOUS PATCHING	TON	\$116.99	80	10.4	\$1,216.70	286	\$33,459.14

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Line	Item	Description	Units	Unit Price	Contract Quantity	Quantity This Pay Voucher	Amount This Pay Voucher	Quantity To Date	Amount To Date
		MIXTURE							
96	2231.501	FULL DEPTH RECLAMATION	S Y	\$2.60	14300	0	\$0.00	15152	\$39,395.20
97	2357.502	BITUMINOUS MATERIAL FOR TACK COAT	GAL	\$2.45	1500	500	\$1,225.00	635	\$1,555.75
98	2360.501	TYPE SP 12.5 NON WEAR COURSE MIX (2,C)	TON	\$57.51	1900	0	\$0.00	1708.72	\$98,268.49
99	2360.501	TYPE SP 12.5 WEARING COURSE MIX (2,C)	TON	\$56.02	1425	1425	\$79,828.50	1425	\$79,828.50
100	2563.601	TRAFFIC CONTROL	LS	\$1,070.00	1	0	\$0.00	1	\$1,070.00
101	2021.501	MOBILIZATION	LS	\$3,500.00	1	0	\$0.00	1	\$3,500.00
102	2231.501	FULL DEPTH RECLAMATION	S Y	\$3.45	3500	0	\$0.00	2918.2	\$10,067.79
103	2360.501	TYPE SP 12.5 NON WEAR COURSE MIX (2,C)	TON	\$68.70	400	0	\$0.00	362.11	\$24,876.96
104	2360.501	TYPE SP 12.5 WEARING COURSE MIX (2,C)	TON	\$67.22	300	0	\$0.00	235.15	\$15,806.78
105	2021.501	MOBILIZATION	LS	\$2,915.00	1	0	\$0.00	1	\$2,915.00
106	2215.501	FULL DEPTH RECLAMATION	S Y	\$2.60	5000	0	\$0.00	4398	\$11,434.80
107	2360.502	TYPE SP 12.5 NON WEAR COURSE MIX (2,C)	TON	\$57.51	570	0	\$0.00	467.78	\$26,902.03
108	2360.501	TYPE SP 12.5 WEARING COURSE MIX (2,C)	TON	\$56.02	430	468.98	\$26,272.26	468.98	\$26,272.26
Totals For Change Order 2 - MILL & OVERLAY TO RECLAMATION:							\$109,710.91		\$406,721.09
Change Order 3 - PASTURE RIDGE ROD/45TH ST									
109	2021.501	MOBILIZATION	LS	\$7,400.00	1	0	\$0.00	1	\$7,400.00
110	2112.604	SUBGRADE PREPARATION	S Y	\$1.97	7150	0	\$0.00	7027	\$13,843.19
111	2232.501	MILL BITUMINOUS SURFACE	S Y	\$5.40	4000	0	\$0.00	3970	\$21,438.00
112	2360.501	TYPE SP 12.5 WEARING COURSE MIX	TON	\$47.00	405	0	\$0.00	404.05	\$18,990.35

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Line	Item	Description	Units	Unit Price	Contract Quantity	Quantity This Pay Voucher	Amount This Pay Voucher	Quantity To Date	Amount To Date
		(2,C)							
Totals For Change Order 3 - PASTURE RIDGE ROD/45TH ST:							\$0.00		\$61,671.54
Change Order 4 - OAKGREEN CIRCLE AND AVE REPAIRS									
113	113	ADDITIONAL TOPSOIL AND SHOULDERING WORK	L S	\$42,409.98	1	0	\$0.00	1	\$42,409.98
Totals For Change Order 4 - OAKGREEN CIRCLE AND AVE REPAIRS:							\$0.00		\$42,409.98
Change Order 5 - ADDED MOBILIZATION AND TRAFFIC CONTROL									
114	2021.501	MOBILIZATION	LS	\$4,000.00	1	1	\$4,000.00	1	\$4,000.00
115	2563.901	TRAFFIC CONTROL	LS	\$1,500.00	1	1	\$1,500.00	1	\$1,500.00
Totals For Change Order 5 - ADDED MOBILIZATION AND TRAFFIC CONTROL:							\$5,500.00		\$5,500.00
Supplemental Agreement 1 - Additional work									
65	2021.501	MOBILIZATION	LS	\$20,800.00	1	0	\$0.00	1	\$20,800.00
66	2104.503	REMOVE CONCRETE DRIVEWAY PAVEMENT	SQ YD	\$32.20	100	0	\$0.00	71.5	\$2,302.30
67	2104.509	REMOVE SIGN	EACH	\$15.10	25	0	\$0.00	0	\$0.00
68	2564.531	SIGN PANELS TYPE C	S F	\$26.10	115	0	\$0.00	94.75	\$2,472.98
69	2564.531	SIGN PANELS TYPE SPECIAL	S F	\$26.10	10	0	\$0.00	1.67	\$43.59
70	2104.505	REMOVE BITUMINOUS DRIVEWAY PAVEMENT	S Y	\$2.25	760	0	\$0.00	358.9	\$807.53
71	2104.511	SAWING CONCRETE PAVEMENT (FULL DEPTH)	L F	\$4.70	170	0	\$0.00	85	\$399.50
72	2104.513	SAWING BITUMINOUS PAVEMENT (FULL DEPTH)	L F	\$1.95	1500	0	\$0.00	97	\$189.15
73	2105.501	COMMON EXCAVATION	C Y	\$32.80	300	0	\$0.00	590.9	\$19,381.52
74	2123.610	STREET SWEEPER (WITH PICKUP BROOM)	HOUR	\$121.00	15	0	\$0.00	8.5	\$1,028.50
75	2215.501	FULL DEPTH RECLAMATION	S Y	\$1.10	35200	0	\$0.00	35004	\$38,504.40
76	2211.501	AGGREGATE BASE CLASS 5	TON	\$12.50	600	0	\$0.00	473.11	\$5,913.88
		BITUMINOUS							

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Line	Item	Description	Units	Unit Price	Contract Quantity	Quantity This Pay Voucher	Amount This Pay Voucher	Quantity To Date	Amount To Date	
77	2357.502	MATERIAL FOR TACK COAT	GAL	\$2.30	2000	0	\$0.00	2140	\$4,922.00	
78	2360.501	TYPE SP 12.5 WEARING COURSE MIX (2,C)	TON	\$46.60	3000	0	\$0.00	3348.13	\$156,022.86	
79	2360.502	TYPE SP 12.5 NON WEAR COURSE MIX (2,C)	TON	\$47.00	4000	0	\$0.00	4142.11	\$194,679.17	
80	2360.503	TYPE SP 9.5 WEARING COURSE MIX (2,C)(3.0" THICK) DWY	S Y	\$0.01	760	0	\$0.00	446.7	\$4.47	
81	2505.601	UTILITY COORDINATION	LS	\$0.28	1	0	\$0.00	1	\$0.28	
82	2531.507	6" CONCRETE DRIVEWAY PAVEMENT	S Y	\$74.80	100	0	\$0.00	67.8	\$5,071.44	
83	2506.602	ADJUST FRAME AND RING CASTING (STORM)	EACH	\$618.00	2	0	\$0.00	0	\$0.00	
84	2118.501	AGGREGATE SURFACING CLASS 5	TON	\$47.30	15	0	\$0.00	0	\$0.00	
85	2563.601	TRAFFIC CONTROL	LS	\$663.00	1	0	\$0.00	1	\$663.00	
86	2573.535	TEMPORARY ROCK CONSTRUCTION ENTRANCE	EACH	\$653.00	5	0	\$0.00	0	\$0.00	
Totals For Supplemental Agreement 1 - Additional work:							\$0.00		\$453,206.57	
Project Totals:								\$129,379.63		\$2,855,765.87

01856-54 Contract Changes

No.	Type	Date	Explanation	Estimated Amount	Amount Paid To Date
SA1	Supplemental Agreement	5/15/2017	WHEREAS: Additions were made to the contract scope NOW, THEREFORE, IT IS HEREBY MUTUALLY AGREED AND UNDERSTOOD THAT: The following items will be added to the contract.	\$436,730.38	\$453,206.57
CO1	Change Order	7/20/2017	CONSTRUCTION CHANGES - SUPPLEMENTAL AGREEMENT	\$37,596.00	\$40,159.55
CO2	Change Order	7/20/2017	ADDITIONAL STREETS SWITCHING FORM M&O TO RECLAMATION	\$223,258.50	\$406,721.09
CO3	Change Order	9/13/2017	PASTURE RIDGE RD/45TH ST	\$62,120.50	\$61,671.54
CO4	Change Order	1/18/2018	OAKGREEN CIRCLE AND AVE REPAIRS	\$42,409.98	\$42,409.98

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01856-54 Contract Changes					
No.	Type	Date	Explanation	Estimated Amount	Amount Paid To Date
CO5	Change Order	6/1/2018	ADDED MOBILIZATION AND TRAFFIC CONTROL	\$5,500.00	\$5,500.00
Contract Change Totals:				\$807,615.36	\$1,009,668.73



Memorandum

To: *Honorable Mayor and City Council, City of Afton*

From: *Nick Guilliams, PE, City Engineer*

Date: *June 19, 2018*

Re: *30th Street Culvert
WSB Project No. 11166-000*

This memorandum is to provide City Council an update on 30th Street culvert replacement. Staff was directed to prepare a quote package to remove and replace the entire Masonry Section and existing box culvert with a new 7 x 6 culvert.

Upon review of this option, WSB coordinated with the Valley Branch Watershed District (VBWD) to discuss options and impacts. To proceed the City must obtain permits from various agencies which requires the preparation of a plans and specifications. The various permits and associated timing is as follows:

VBWD Permit

A Valley Branch Watershed District Permit is required for any project that impacts a waterway via fill or other alterations. The culvert extension will require fill and thus qualify as a waterway alteration. Specific VBWD standards including wetland protection and erosion and sediment control must be followed to comply with the rules of the watershed district. VBWD has 60 days to act on a complete permit application.

DNR Work in Public Waters:

A DNR Work in Public Waters permit is required for any construction activity that occurs below the bank of a public water course. The unnamed public watercourse branch of Valley Branch Creek starts within the culvert so the replacement of the 30th Street culvert involves below the bank of the public watercourse.

Required for any work that affects public waters. Estimated to take 45-90 days. The permit will have a condition that work cannot be completed that disturbs the bed of the public water during the fish exclusion dates. The dates are September 1 to April 1

USCOE Section 404 Permit:

A section 404 permit is required for any project that discharges temporarily or permanently fill within a water, watercourse or wetland. The 30th Street culvert is considered fill. The Section 404 permit requires a permit application submitted to the USACE describing the purpose and need of the project and two alternatives that avoid fill.

The COE does not provide an official timeline but plan for 2-3 months to receive the permit. This timeline could be longer if after reviewing the application the COE determines the City needs to complete a historic architecture survey for the bridge. A survey would add another 2 months

Due to the timing of the permit process it is unlikely that the culvert can be replaced before September 1, 2018. Therefore, staff is recommending that some temporary measures be implemented to reduce the

amount of erosion in the area. Staff met with the Public Works Director and Tri-County services and several options are available.

A summary of costs including design and permitting is as follows:

Material Costs

- Will require an additional 50' of 7'x6' Box Culvert for approximately **\$30,000**. An additional 14' is needed to extend beyond the existing retaining wall.

Estimated Construction Costs

- Construction will need to be quoted
- Labor, road restoration, guard rail, curb and gutter, erosion control, etc. - **\$84,000**

Design and Permitting (WSB Fee)

- Preparation of plans and specifications for VBWD review: \$9,000
- Geotechnical boring of existing soils conditions and review: \$3,000
- Permitting, wetland delineation, USACE permitting: \$6,300
- Preparation of quote package and bidding administration: \$2,500
- Total estimated cost for design and permitting: **\$20,800**

Total for material, construction, design and permitting: \$134,800



If you have any questions, please contact me at 651-286-8479 or nguilliams@wsbeng.com

City of Afton
3033 St. Croix Trl, P.O. Box 219
Afton, MN 55001

Meeting Date June 19, 2018

Council Action Memo

To: Mayor Bend and Members of the City Council
From: Ron Moorse, City Administrator
Date: June 14, 2018
Re: Pay Voucher No. 1 for Great Northern landscapes, Inc.

Attached is Pay Voucher No. 1 for Great Northern Landscapes for the Downtown Landscape Project in the amount of \$64,183.90. This Pay Voucher has been provided to Washington County for reimbursement of portions of these costs.

Council Action Requested:

Motion regarding the payment of Pay Voucher No. 1 from Great Northern Landscapes in the amount of \$64,183.90

APPLICATION AND CERTIFICATION FOR PAYMENT

AIA DOCUMENT G702

PAGE ONE OF FOUR PAGES

TO OWNER City of Afton

PROJECT: Downtown Village

APPLICATION NO: 1

Distribution to:

<input type="checkbox"/>	OWNER
<input type="checkbox"/>	ARCHITECT
<input type="checkbox"/>	CONTRACTOR
<input type="checkbox"/>	
<input type="checkbox"/>	

PERIOD TO: May 24 - June 6, 2018

FROM CONTRACTOR:

VIA ARCHITECT: WSB

Great Northern Landscapes, Inc.

PROJECT NOS: 1856-52

CONTRACT FOR: Landscaping

CONTRACT DATE: March 8, 2018

CONTRACTOR'S APPLICATION FOR PAYMENT

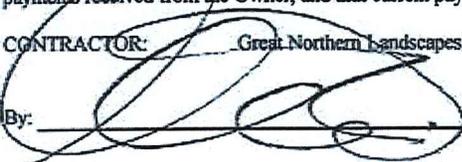
Application is made for payment, as shown below, in connection with the Contract Continuation Sheet, AIA Document G703, is attached.

1. ORIGINAL CONTRACT SUM	\$	84,092.00
2. Net change by Change Orders	\$	0.00
3. CONTRACT SUM TO DATE (Line 1 ± 2)	\$	84,092.00
4. TOTAL COMPLETED & STORED TO DATE (Column G on G703)	\$	67,562.00
5. RETAINAGE:		
a. 5 % of Completed Work (Column D + E on G703)	\$	3,378.10
b. 5 % of Stored Material (Column F on G703)	\$	0
Total Retainage (Lines 5a + 5b or Total in Column I of G703)		
	\$	3,378.10
6. TOTAL EARNED LESS RETAINAGE (Line 4 Less Line 5 Total)	\$	64,183.90
7. LESS PREVIOUS CERTIFICATES FOR PAYMENT (Line 6 from prior Certificate)	\$	
8. CURRENT PAYMENT DUE	\$	64,183.90
9. BALANCE TO FINISH, INCLUDING RETAINAGE (Line 3 less Line 6)	\$	19,908.10

CHANGE ORDER SUMMARY	ADDITIONS	DEDUCTIONS
Total changes approved in previous months by Owner		
Total approved this Month		
TOTALS		
NET CHANGES by Change Order	\$0.00	

The undersigned Contractor certifies that to the best of the Contractor's knowledge, information and belief the Work covered by this Application for Payment has been completed in accordance with the Contract Documents, that all amounts have been paid by the Contractor for Work for which previous Certificates for Payment were issued and payments received from the Owner, and that current payment shown herein is now due.

CONTRACTOR: Great Northern Landscapes, Inc. Alice Tillmann

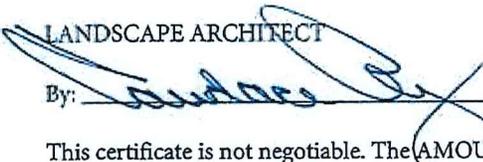
By:  Date: June 11, 2018

LANDSCAPE ARCHITECT'S CERTIFICATE FOR PAYMENT

In accordance with the Contract Documents, based on on-site observations and the data comprising the application, the Architect certifies to the Owner that to the best of the Landscape Architect's knowledge, information and belief the Work has progressed as indicated, the quality of the Work is in accordance with the Contract Documents, and the Contractor is entitled to payment of the AMOUNT CERTIFIED.

AMOUNT CERTIFIED: \$ 64,183.90

LANDSCAPE ARCHITECT

By:  Date: 6-11-2018

This certificate is not negotiable. The AMOUNT CERTIFIED is payable only to the Contractor named herein. Issuance, payment and acceptance of payment are without prejudice to any rights of the Owner or Contractor under this Contract.

CONTINUATION SHEET

AIA DOCUMENT G703

PAGE 2 OF PAGES

AIA Document G702, APPLICATION AND CERTIFICATION FOR PAYMENT, containing
 Contractor's signed certification is attached.
 In tabulations below, amounts are stated to the nearest dollar.
 Use Column I on Contracts where variable retainage for line items may apply.

APPLICATION NO: 1
 APPLICATION DATE: June 11, 2018
 PERIOD TO: March 8, 2018
 ARCHITECT'S PROJECT NO: 1856-52

A	B	C	D	E	F	G	H	I	
ITEM NO.	DESCRIPTION OF WORK	SCHEDULED VALUE	WORK COMPLETED FROM PREVIOUS APPLICATION (D+E)	THIS PERIOD	MATERIALS PRESENTLY STORED (NOT IN D OR E)	TOTAL COMPLETED AND STORED TO DATE (D+E+F)	% (G+C)	BALANCE TO FINISH (C-G)	RETAINAGE IF VARIABLE RATE
1	2563.601 Traffic Control	4500.00		4500.00		4500.00	100.00%		
2	2104.505 Remove Concrete Walk	720.00	0.00	0.00			0.00%	720.00	
3	2331.603 Saw Cut	480.00		0.00			0.00%	480.00	
4	2521.501 4" Concrete Walk	1050.00		0.00			0.00%	1050.00	
5	2540.603 Alum Landscape Edger	1575.00		1575.00		1575.00	100.00%		
6	2571.602 Tree Grate	8400.00		6300.00		6300.00	75.00%	2100.00	
7	2571.501 Conf Tree 6' HT B&B	5800.00		4640.00		4640.00	80.00%	1160.00	
8	2571.502 Decid Tree 1.5" CAL B&B	14190.00		12870.00		12870.00	90.70%	1320.00	
9	2571.502 Decid Tree 2.5" CAL B&B	22000.00		17600.00		17600.00	80.00%	4400.00	
10	2571.505 Decid Shrub #5 Cont	2072.00		2072.00		2072.00	100.00%		
11	2571.507 Perennial #1 Cont	8448.00		8448.00		8448.00	100.00%		
12	2571.541 Transplant Existing Tree (Spade Size 85")	300.00		0.00			0.00%	300.00	
13	2571.541 4" CAL Transplant Tree (Spade Size 85")	1500.00		1500.00		1500.00	100.00%		
14	2105.604 Geotextile Fabric Tuype III (Beneath Rock)	492.00		492.00		492.00	100.00%		
15	2571.604 Geotextile Weed Barrier Paper	2185.00		2185.00		2185.00	100.00%		
16	2575.505 Sodding Type Salt Tolerant	5000.00		0.00			0.00%	5000.00	
17	2575.513 Mulch Material Type 6	3840.00		3840.00		3840.00	100.00%		
18	2575.607 Landscape River Rock	1540.00		1540.00		1540.00	100.00%		
19									
20									
Page Totals		84092.00	0.00	67562.00	0.00	67562.00	80.34%	16530.00	0.00

Users may obtain validation of this document by requesting of the license a completed AIA Document D401 - Certification of Document's Authenticity

City of Afton
3033 St. Croix Trl, P.O. Box 219
Afton, MN 55001

Meeting Date June 19, 2018

Council Action Memo

To: Mayor Bend and Members of the City Council
From: Ron Moorse, City Administrator
Date: June 14, 2018
Re: Pay Voucher No. 13 from Geislinger and Sons for the Downtown Improvement Project

Attached is Pay Voucher No. 13 from Geislinger and Sons, Inc. for the Downtown Village Improvement Project in the amount of \$53,685.08. This Pay Voucher has been provided to both Washington County and the PFA for reimbursement of portions of these costs. Tom Niedzwiecki, in his monthly report, will provide an explanation of the sources of funding for this payment request.

Council Action Requested:

Motion regarding the payment of Pay Voucher No. 13 from Geislinger and Sons, Inc. for the Downtown Village Improvement Project in the amount of \$53,685.08.



CITY OF AFTON

3033 Saint Croix Trail
Afton, MN 55001

Project 01856-52 - AFTON - Downtown Village Improvement Project
Pay Voucher No. 13

Contractor: Geislinger and Sons, Inc.
511 Central Avenue South
Watkins, MN 55389

Contract No.
Vendor No.
For Period: 5/8/2018 - 6/12/2018
Warrant # _____ Date _____

Contract Amounts

Original Contract	\$12,542,476.71
Contract Changes	\$245,134.30
Revised Contract	\$12,787,611.01

Funds Encumbered

Original	\$12,542,476.71
Additional	N/A
Total	\$12,542,476.71

Work Certified To Date

Base Bid Items	\$10,441,739.96
Backsheet	(\$1,000.00)
Change Order	\$243,796.64
Supplemental Agreement	\$0.00
Work Order	\$0.00
Material On Hand	\$0.00
Total	\$10,684,536.60

	Work Certified This Pay Voucher	Work Certified To Date	Less Amount Retained	Less Previous Payments	Amount Paid This Pay Voucher	Total Amount Paid To Date
01856-52	\$56,510.61	\$10,684,536.60	\$534,226.83	\$10,096,624.69	\$53,685.08	\$10,150,309.77
Percent Retained: 5.0000%				Percent Complete: 83.5538%		
Amount Paid This Pay Voucher					\$53,685.08	

This is to certify that the items of work shown in this certificate of Pay Voucher have been actually furnished for the work comprising the above mentioned projects in accordance with the plans and specifications heretofore approved.

Approved By _____

Approved By Geislinger and Sons, Inc.

Project Engineer

Contractor

Date

Date

Approved By _____

Approved By _____

City of Afton

Washington County

Date

Date

CITY OF AFTON
 3033 Saint Croix Trail
 Afton, MN 55001
 Project No. 01856-52
 Pay Voucher No. 13

01856-52 Payment Summary

No.	From Date	To Date	Work Certified Per Pay Voucher	Amount Retained Per Pay Voucher	Amount Paid Per Pay Voucher
1	03/13/2017	04/30/2017	\$1,202,028.58	\$60,101.43	\$1,141,927.15
2	05/01/2017	05/31/2017	\$1,594,172.45	\$79,708.62	\$1,514,463.83
3	06/01/2017	06/30/2017	\$1,481,064.15	\$74,053.21	\$1,407,010.94
4	07/01/2017	07/31/2017	\$896,312.39	\$44,815.62	\$851,496.77
5	08/01/2017	08/31/2017	\$731,355.04	\$36,567.75	\$694,787.29
6	09/01/2017	09/30/2017	\$1,032,908.44	\$51,645.42	\$981,263.02
7	10/01/2017	10/31/2017	\$969,692.31	\$48,484.62	\$921,207.69
8	11/01/2017	11/30/2017	\$1,444,172.22	\$72,208.61	\$1,371,963.61
9	12/01/2017	12/31/2017	\$758,242.86	\$37,912.14	\$720,330.72
10	01/01/2018	01/31/2018	\$134,158.51	\$6,707.93	\$127,450.58
11	02/01/2018	04/12/2018	\$370,239.64	\$18,511.98	\$351,727.66
12	04/13/2018	05/07/2018	\$13,679.40	\$683.97	\$12,995.43
13	05/08/2018	06/12/2018	\$56,510.61	\$2,825.53	\$53,685.08
Totals:			\$10,684,536.60	\$534,226.83	\$10,150,309.77

01856-52 Funding Category Report

Funding Category No.	Work Certified To Date	Less Amount Retained	Less Previous Payments	Amount Paid This Pay Voucher	Total Amount Paid To Date
001	1,198,867.75	59,943.39	1,126,794.33	12,130.03	1,138,924.36
002	660,074.64	33,003.73	627,070.91	0.00	627,070.91
003	242,553.97	12,127.70	230,426.27	0.00	230,426.27
004	2,412,724.35	120,636.22	2,277,838.13	14,250.00	2,292,088.13
005	1,702,640.93	85,132.05	1,617,508.88	0.00	1,617,508.88
006	278,322.53	13,916.13	264,406.40	0.00	264,406.40
007	2,178,034.19	108,901.71	2,043,430.68	25,701.80	2,069,132.48
008	902,331.44	45,116.57	857,214.87	0.00	857,214.87
009	370,791.88	18,539.59	350,649.04	1,603.25	352,252.29
010	235,774.78	11,788.74	223,986.04	0.00	223,986.04
011	376,006.19	18,800.31	357,205.88	0.00	357,205.88
012	126,413.95	6,320.70	120,093.25	0.00	120,093.25
Totals:	\$10,684,536.58	\$534,226.84	\$10,096,624.67	\$53,685.07	\$10,150,309.74

01856-52 Funding Source Report

Accounting No.	Funding Source	Amount Paid This Pay Voucher	Revised Contract Amount	Funds Encumbered To Date	Paid To Contractor To Date
01	Local	26,380.03	7,616,488.38	7,312,999.47	5,906,018.55
02	State	27,305.04	4,530,049.67	4,604,328.44	3,766,992.08
03	State	0.00	641,072.96	625,148.80	477,299.13
Totals:		\$53,685.07	\$12,787,611.01	\$12,542,476.71	\$10,150,309.75

City of Afton
3033 St. Croix Trl, P.O. Box 219
Afton, MN 55001

Meeting Date June 19, 2018

Council Action Memo

To: Mayor Bend and Members of the City Council
From: Ron Moorse, City Administrator
Date: June 14, 2018
Re: Bridge Repair Items

Based on the annual bridge inspections conducted by WSB, several bridge repair items were recommended as follows:

- Trading Post Trail Bridge south of 40th Street: Repair Tuckpointing: \$3,000
- West Valley Creek Trail bridge over Valley Creek : Replacement of guard rail and removal of debris in channel: \$25,000
- 60th Street bridge over Trout Brook: remove upstream dam, remove heavy tree debris across inlet and remove heavy vegetation growing among end treatments: \$2,000
- Valley Creek Trail bridge off Stagecoach Trail over Valley Creek: clean ends and clean out barrels: \$1,000

Staff is requesting authorization to obtain price quotes for this work and bring the quotes back to the July Council meeting.

Council Action Requested:

Motion to authorize staff to obtain price quotes for bridge repair items

<p>City of Afton 3033 St. Croix Trl, P.O. Box 219 Afton, MN 55001</p>
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Meeting Date June 19, 2018

Council Action Memo

To: Mayor Bend and Members of the City Council
 From: Ron Moorse, City Administrator
 Date: June 12, 2018
 Re: 50th Street Large Patches

While the majority of 50th street is in good condition, four areas have severe alligating of the pavement that requires the loose pavement to be removed and a patch provided in its place. These are large areas that are beyond normal pothole patching. The costs of the patches are as follows

- 13' by 148': \$4,600
- 20'X 121': \$5,900
- 13'X 60': \$2,050
- 24'X 114': \$6,675
- Total \$19,225

Because these large patches are beyond the normal cost of pothole patches, which are budgeted in the General Fund, it is recommended that these patches be funded from the Street Improvement Capital Fund.

Council Action Requested:

Motion regarding the approval of four large patches on 50th Street at a cost of \$19,225, to be funded from the Street Improvement Capital Fund.

City of Afton
3033 St. Croix Trl, P.O. Box 219
Afton, MN 55001

Meeting Date June 19, 2018

Council Action Memo

To: Mayor Bend and Members of the City Council
From: Ron Moorse, City Administrator
Date: June 14, 2018
Re: BJS Restaurants LLC Application for On Sale and Sunday Liquor License for the Boatyard Grill Restaurant at 16071 31st Street

BJS Restaurants LLC has applied for an on-Sale and Sunday liquor license for the Boatyard Grill restaurant which is planned to be located at 16071 31st Street. The applicant is the same as for the Lumberyard Pub, for which the Sheriff's Department completed a review for any state or local violations at the end of 2017, and did not find any violations. The Sheriff's Department is in the process of completing an updated review. The City allows up to 5 on-sale liquor licenses and currently has two on-sale licenses. Staff recommends the application be approved subject to the results of the Sheriff's review and subject to approval of the CUP for the Boatyard Grill restaurant.

Council Action Requested:

Motion regarding the Boatyard Grill On Sale and Sunday liquor licenses.

City of Afton
3033 St. Croix Trl, P.O. Box 219
Afton, MN 55001

Meeting Date June 19, 2018

Council Action Memo

To: Mayor Bend and Members of the City Council
From: Ron Moorse, City Administrator
Date: June 14, 2018
Re: Retaining Wall at Lift Station Control Panel Adjacent to Steamboat Park Parking Lot.

The grading in the area of the large Lift Station control panel adjacent to the Steamboat Park parking lot is nearing completion. The owners of the property directly to the south of the lift station have requested a retaining wall to be installed south of the lift station to provide a flat area for them to get into their backyard because the slope up from the lift station is too steep to easily navigate. The landscaping plan for this area is also in process of being finalized. Staff will provide the proposed landscape plan and an option for a retaining wall at the Council meeting for the Council's review and direction.

Council Action Requested:

Motion to provide direction regarding the retaining wall and landscaping plan in the area of the lift station adjacent to the Steamboat Park parking lot.

City of Afton
3033 St. Croix Trl, P.O. Box 219
Afton, MN 55001

Meeting Date June 19, 2018

Council Action Memo

To: Mayor Bend and Members of the City Council
From: Ron Moorse, City Administrator
Date: June 14, 2018
Re: Security Cameras at Town Square Park Restroom

Due to recent vandalism inside one of the restroom areas, Council member Ross has requested the Council consider the installation of security cameras at the restroom. The cost would be \$1,150. The price quote from Get Connected Tech is attached.

Council Action Requested:

Motion regarding the price quote from Get Connected Tech for the purchase and installation of a security system at the Town Square Park restroom at a cost of \$1,150.

June 3, 2018

Get Connected Tech is pleased to offer a digital video camera system for the public restrooms located in the Afton City Park.

Scope:

This system will provide surveillance outside the restrooms to discourage vandalism to the restrooms and the park.

Proposal: Digital Surveillance System

- Interlogix Network Video Recorder
 - 8 channels
 - Real Time HD
 - 2 TB Drive
 - Power over Ethernet (POE)
- 4 Indoor / Outdoor HD cameras
 - Infrared for night viewing
 - 2 Megapixel
 - Bullet cameras
- Installation
- One-year warranty on labor. Parts carry the manufacturers warranty.

TOTAL: \$1150.00

**Optional 19" Samsung or HP HDMI monitor with swivel mount
(mounted to wall in utility area of restrooms):**

Add \$250.

Our company:

Get Connected Tech is Afton based and has been providing security and electronic solutions since 2008.

Get Connected Tech is licensed by the State of Minnesota as a Technology Systems Contractor. License number: TS001663.

We are bonded and insured as required by state law.

Power Limited Technician number: PL10511

Lee Johnson
Get Connected Tech
4433 Pateley Bridge Av S
Afton, MN 55001
651-356-1019

PROPOSAL

18-6_Audio System Upgrades

City of Afton

3033 St Croix Trail S
PO Box 219
Afton, MN 55001

Revision: 0
Modified: 6/11/2018



Presented By:

Audio Logic Systems

7512 Washington Ave. South
Eden Prairie, MN 55344 USA
952-400-2222
Pricing good for 30 days



Pricing good for 30 days

**1 ALS Installs Disclaimer**

Labor is estimated and will be billed as actual. Locations of certain equipment and cable paths have yet to be determined and will affect labor.

**1 ALS Installs Misc OFE**

Owner Furnished - Equipment Rack (Additional hardware required for racking as current does not have any rack rail)

**1 ALS Installs Shipping**

Free normal ground shipping charges are included in all costs.

Admin Total

* Price Includes Accessories

18-6_Audio System Upgrades

Project No : ALS-0617

Rev. 0

6/11/2018

Speaker System with Current Mixer & Podium Mic



- 1 ALS Installs Connectors**
Misc Connectors / Shop Supplies / Rack Rail



- 12 ALS Installs Install Labor**
Installation Commercial Labor (Man Hours) Estimated - Billed as actual @ \$110/hr.



- 1 Shure MX412D/C**
Cardioid-12" Desktop Gooseneck Condenser Microphone, This microphone matches your current gooseneck mics and would sit on top of the owner furnished podium.

Alternates



- 1 Shure MX418/C** Add \$53.75
18" Gooseneck condenser cardioid microphone Attached XLR Preamp, Shock & Flange Mount, Snap-Fit Foam Windscreen - **Cost includes installation labor which requires drilling a hole into the OFE podium.**



- 1 Yamaha VXS1MLW** *
Full-range 1.5" driver. Low-impedance only. White. 170 deg. Conical. Surface Mounted - positioned downward and away from microphones.



West Penn Wire-cdt 227-BK
2 cond 12 (19x25) bare cmr BLACK



- 1 Yamaha Commercial Audio PA2030a** *
Power amp with euroblock and RCA inputs, for use as zone expansion for the MA2030 mixer amplifier or as a stand-alone power amp. Lo-Z: 30 watts x 2 channels (3Ω/4Ω/8Ω); Hi-Z: 60 watts x 1 channel; HPF and LPF setting available for use with VXS10S Subwoofer



- 1** Yamaha Commercial Audio RKH1
Rack mount kit for MA2030 and PA2030

Speaker System with Current Mixer & Podium Mic Total

\$2,078.47

* Price Includes Accessories

18-6_Audio System Upgrades

Project No : ALS-0617

Rev. 0

6/11/2018

Optional Hearing Assist System Pricing



1 Williams Sound PPA 457 PRO

Personal PA® System includes: (1) PPA T45 FM base-station transmitter with (1) ANT 005 coaxial antenna, (1) RPK 005 rack panel kit, (4) PPA R37 receivers72.1MHz, (4) EAR 013 single mini earbuds, (2) NKL 001 necklace. Cost includes installation

Alternates



1 Williams Sound PPA 457 - 00

Subtract \$387.37

Personal PA FM Assistive Listening System - Whip antenna, 4 receivers, 4 earbuds.

Optional Hearing Assist System Pricing Total \$1,476.81

* Price Includes Accessories

City of Afton
3033 St. Croix Trl, P.O. Box 219
Afton, MN 55001

Meeting Date June 19, 2018

Council Action Memo

To: Mayor Bend and Members of the City Council
From: Ron Moore, City Administrator
Date: June 14, 2018
Re: Tree Removal in Town Square Park

Attached is a price quote from SavATree for the removal of a hazardous, partially dead tree in Town Square Park. The cost is \$1,378.

Council Action Requested:

Motion regarding the price quote from SavATree to remove a dead tree from Town Square Park at a cost of \$1,378.



SavATree &
 12450 Hudson Road S., Afton MN 55001
 P: 651-964-4001 F: (715) 749-3465
 E: afton@savatree.com

Estimate # 215356 Prepared By Scott Henke

ISA Certified Arborist
 shenke@savatree.com

Estimate for

Ken Johnson - City Of Afton

For Service At:

3033 St. Croix Tr. S., Afton MN 55001

Account Key: 1017952

Recommendations

General Tree Care

General Tree Care

\$900.00

One (1) 22" DBH Butternut (*Juglans cinerea*), South side of city park (adjacent to parking area) - remove to ground level.

Equipment : 2 man bucket truck, loader truck.

Notes : Haul away all wood

Identified hazards and obstacles

Hazard: Pedestrians

Hazard: Cavities

Hazard: Cracks

Hazard: Decay

Obstacle: pavers

Stump Grinding - 1

\$100.00

One (1) 22" DBH Butternut (*Juglans cinerea*), South side of city park (adjacent to parking area) - grind stump 6-8" below grade, leave all chips on site - no clean up.

Equipment : mobile stump grinder

Notes : leave all chips on site.

Identified hazards and obstacles

Hazard: Pedestrians

Obstacle: pavers

Stump Grinding Standard

\$378.00

One (1) 22" DBH Butternut (*Juglans cinerea*), South side of city park (adjacent to parking area) - grind stump 6-8" below grade, Haul away all chips from site, backfill hole with topsoil and level out.

Equipment : mobile stump grinder

Notes : complete clean up, backfill with topsoil

Identified hazards and obstacles

Hazard: Pedestrians

Obstacle: pavers

General Tree Care	\$900.00
Recycling	\$0
Cabling & Bracing	\$0
Special Work / Special Equipment	\$0
Stump Grinding	\$478.00
Permit(s)	\$0
Plant Health Care	\$0
Lawn Care	\$0
Irrigation	\$0

This proposal has been provided to you on a confidential basis. We kindly request that neither this proposal nor any of its contents be reproduced or shared with any competitor without the prior written consent of SavATree.

Sales tax, if applicable, will be added to the amounts of this estimate per your local and state tax jurisdiction.

If you wish to pay via credit card, please enter deposit amount and click button to pay. A deposit of 50% may be required prior to the commencement of General Tree Care work. Thank you!

Note: Included in this program are 3 services for a total of \$1,378.00.

OUR UNCONDITIONAL GUARANTEE

Should our service fall short of your expectations, please contact us immediately and we will do everything we can to make it right! Rev. 6-1-2018 aso-pdf

Fully Licensed & Insured

Tree Care Industry Accredited



[Testimonials](#)

www.savatree.com

[VIEW FULL TERMS AND CONDITIONS](#)

City of Afton
3033 St. Croix Trl, P.O. Box 219
Afton, MN 55001

Meeting Date June 19, 2018

Council Action Memo

To: Mayor Bend and Members of the City Council
From: Ron Moorse, City Administrator
Date: June 14, 2018
Re: Repainting of City Hall

City Hall is in need of repainting, due to discoloring of the siding and because it will be adjacent to the new Deputies Facility, which will be painted this spring. At the May 15, 2018 Council meeting staff provided two price quotes and recommended that the price quote from Kerschbaum Renovation in the amount of \$4,400 be accepted. The Council questioned whether either of the price quotes included repainting the windows. Staff has talked with each of the two contractors, who both indicated the windows were not included in their price quote. Kerschbaum Renovation has indicated that the windows should be replaced soon and the cost of painting them would be high due to a large amount of labor. They recommended that, rather than spending money on painting the windows, the city should plan to replace the windows.

Council Action Requested:

Motion regarding accepting the price quote of Kerschbaum Renovation in the amount of \$4,400 for the painting of the City Hall and staining the exterior stairs.

City of Afton
3033 St. Croix Trl, P.O. Box 219
Afton, MN 55001

Meeting Date June 19, 2018

Council Action Memo

To: Mayor Bend and Members of the City Council
From: Ron Moorse, City Administrator
Date: June 14, 2018
Re: Videographer Compensation

The videographer currently is paid \$25.00 per hour for his time videotaping the City Council and Planning Commission meetings. He has requested an increase to \$30.00 per hour and a 4-hour minimum. Currently, the Planning Commission meetings run about 2 to 2.5 hours and the Council meetings run about 4 hours. While the increase to \$30 would increase the cost per meeting by \$20 for Council meetings and by \$10 for Planning Commission meetings, the increase to a 4 hour minimum would increase the cost of Planning Commission meetings by an additional \$45 to \$60.

Council Action Requested:

Motion regarding adjusting the compensation for the videographer from \$25 per hour to \$30 per hour and with a 4 hour minimum per meeting.

City of Afton
3033 St. Croix Trl, P.O. Box 219
Afton, MN 55001

Meeting Date June 19, 2018

Council Action Memo

To: Mayor Bend and Members of the City Council
From: Ron Moorse, City Administrator
Date: June 14, 2018
Re: Council Chambers Audio System Upgrade

Particularly during City Council or Planning Commission meetings when the room is full of people, those in the rear of the Council Chambers can have a difficult time hearing the various speakers. This could be remedied by adding ceiling speakers toward the rear of the room. Attached is a proposal from Audio Logic, who installed the current audio system, to add two ceiling speakers along with necessary related equipment. The cost of the upgrade would be \$2,078.47. Audio Logic also provided a proposal for an assistive listening system to meet ADA requirements. The cost of this is \$1,476.81.

Council Action Requested:

Motion regarding accepting the price quote of Audio Logic for the upgrade of the audio system in the Council Chambers at a cost of \$2,078.47.

PROPOSAL

18-6_Audio System Upgrades

City of Afton

3033 St Croix Trail S
PO Box 219
Afton, MN 55001

Revision: 0
Modified: 6/11/2018



Presented By:

Audio Logic Systems

7512 Washington Ave. South
Eden Prairie, MN 55344 USA
952-400-2222
Pricing good for 30 days



Pricing good for 30 days



1 ALS Installs Disclaimer

Labor is estimated and will be billed as actual. Locations of certain equipment and cable paths have yet to be determined and will affect labor.



1 ALS Installs Misc OFE

Owner Furnished - Equipment Rack (Additional hardware required for racking as current does not have any rack rail)



1 ALS Installs Shipping

Free normal ground shipping charges are included in all costs.

Admin Total

* Price Includes Accessories

18-6_Audio System Upgrades

Project No : ALS-0617

Rev. 0

6/11/2018

Speaker System with Current Mixer & Podium Mic



- 1 ALS Installs Connectors**
Misc Connectors / Shop Supplies / Rack Rail



- 12 ALS Installs Install Labor**
Installation Commercial Labor (Man Hours) Estimated - Billed as actual @ \$110/hr.



- 1 Shure MX412D/C**
Cardioid-12" Desktop Gooseneck Condenser Microphone, This microphone matches your current gooseneck mics and would sit on top of the owner furnished podium.

Alternates



- 1 Shure MX418/C** Add \$53.75
18" Gooseneck condenser cardioid microphone Attached XLR Preamp, Shock & Flange Mount, Snap-Fit Foam Windscreen - Cost includes installation labor which requires drilling a hole into the OFE podium.



- 1 Yamaha VXS1MLW** *
Full-range 1.5" driver. Low-impedance only. White. 170 deg. Conical. Surface Mounted - positioned downward and away from microphones.



West Penn Wire-cdt 227-BK
2 cond 12 (19x25) bare cmr BLACK



- 1 Yamaha Commercial Audio PA2030a** *
Power amp with euroblock and RCA inputs, for use as zone expansion for the MA2030 mixer amplifier or as a stand-alone power amp. Lo-Z: 30 watts x 2 channels (3Ω/4Ω/8Ω); Hi-Z: 60 watts x 1 channel; HPF and LPF setting available for use with VXS10S Subwoofer



- 1** Yamaha Commercial Audio RKH1
Rack mount kit for MA2030 and PA2030

Speaker System with Current Mixer & Podium Mic Total

\$2,078.47

* Price Includes Accessories

18-6 Audio System Upgrades

Project No : ALS-0617

Rev. 0

6/11/2018

Optional Hearing Assist System Pricing



1 Williams Sound PPA 457 PRO

Personal PA® System includes: (1) PPA T45 FM base-station transmitter with (1) ANT 005 coaxial antenna, (1) RPK 005 rack panel kit, (4) PPA R37 receivers 72.1MHz, (4) EAR 013 single mini earbuds, (2) NKL 001 necklace. Cost includes installation.

Alternates



1 Williams Sound PPA 457 - 00

Subtract \$387.37

Personal PA FM Assistive Listening System - Whip antenna, 4 receivers, 4 earbuds.

Optional Hearing Assist System Pricing Total

\$1,476.81

* Price Includes Accessories

18-6 Audio System Upgrades

Project No : ALS-0617

Rev. 0

6/11/2018

City of Afton
3033 St. Croix Trl, P.O. Box 219
Afton, MN 55001

Meeting Date June 19, 2018

Council Action Memo

To: Mayor Bend and Members of the City Council
From: Ron Moorse, City Administrator
Date: June 14, 2018
Re: Schedule Special Council meeting

Staff would like to schedule a Special Council meeting regarding the annual audit report.

Council Action Requested:

Motion to schedule a Special Council meeting.

City of Afton
3033 St. Croix Trl, P.O. Box 219
Afton, MN 55001

Meeting Date June 19, 2018

Council Action Memo

To: Mayor Bend and Members of the City Council
 From: Ron Moore, City Administrator
 Date: June 12, 2018
 Re: Appeal of Administrative Determination Regarding the Scannell Properties Application for a CUP for a Bus Transportation Terminal to the Board of Adjustment and Appeal –
Administrative Hearing

Appeal

Scannell Properties has submitted an appeal of the administrative determination that a Conditional Use Permit (CUP) application for a bus transportation terminal that involved exterior storage could not be accepted or processed during the period of the current moratorium that prohibits permits or applications for uses that involve exterior storage. Scannell Properties also appeals from their assertion that the City failed to issue a CUP or otherwise act on its CUP application on or before May 19, 2018 – 60 days after the application was submitted on March 20, 2018. Scannell Properties has provided a number of grounds for the appeal, including the following:

1. Pursuant to Minnesota Statutes Section 15.99 subd. 3, the City was required to inform Scannell in writing of any deficiencies in its application within 15 days if there were any deficiencies. The City did not inform Scannell properties in writing of any deficiencies within 15 days.
2. Pursuant to Minnesota Statutes Section 15.99 subd. 2, Afton was required to approve or deny Scannell's application and request for CUP within 60 days. Afton did not approve or deny the request for CUP within 60 days.
3. Pursuant to Minnesota Statutes Section 15.99 subd. 2, Afton's failure to deny Scannell's application and request for CUP within 60 days is approval of the request and the requested CUP must be issued by Afton.
4. The use proposed does not involve exterior storage.
5. Afton arbitrarily and unlawfully enacted the Moratorium to delay or prevent a single project - a proposed real estate transaction between Scannell and Independent School District 834, Stillwater School District.

Background

On July 24, 2017, the City put in place a moratorium on permits or applications related to uses that involve exterior storage. Attached is the ordinance putting in place the moratorium. The specific language of the moratorium indicates "there is hereby established a moratorium on the consideration of new zoning applications, the issuance of new permits for use or any expanded new use of land currently identified on the attached Exhibit A as being industrially zoned within the City in which exterior storage of any sort is to be used or proposed."

On March 20, 2018, Scannell Properties submitted an application for a CUP for a bus transportation terminal that involved the exterior storage of buses. After initial review of the application, staff confirmed with the City's consultant planner that keeping buses on the site when not in use would be considered exterior storage. Through a phone conversation with Mr. Mike Simmons of Scannell Properties, staff advised Scannell Properties that the application could not be accepted or processed due to the restrictions of the moratorium. Staff also provided the attached letter to Scannell Properties documenting the conversation with Mr. Simmons and returning the application fee and escrow deposit.

On June 1, 2018, Scannell Properties submitted an appeal of the determination that the CUP application was not allowed under the moratorium and that because the City did not deny the application within 60 days of receipt of the application, the application is considered to be approved. The letter of appeal and the related materials are attached. The appeal is

being made to the Board of Adjustment and Appeal. The Council acts as the Board of Adjustment and Appeal. Attached is the section of the zoning code related to appeals to the Board of Adjustment and Appeal, with language related to the appeal process bolded. The appeal is to be heard by the Board of Adjustment and Appeal not earlier than 15 days from receipt and not more than 45 days from receipt. The appeal involves a hearing held by the Board of Adjustment and Appeal.

Administrative Hearing

The administrative hearing involves the Council hearing arguments and obtaining facts regarding the appeal as the basis for making a ruling on the appeal.

Findings Regarding the Appeal

The following are a recommended set of findings regarding the appeal. The Council may add findings and/or revise the findings.

- Upon receipt and preliminary review of the application, the City advised the applicant that the application could not be accepted or processed because it was not allowed to be considered under the terms of the moratorium.
- The City advised the applicant in writing within 60 days of the receipt of the application that the application could not be accepted or considered under the terms of the moratorium.
- Both the City's planning consultant and the City Attorney have indicated the keeping of a fleet of buses on a lot when not in use is exterior storage.
- The City began discussing amendments to its Industrial District ordinances, particularly in relation to exterior storage, in 2016, which resulted in an ordinance eliminating exterior storage as a principal use. This process identified a number of exterior storage uses that needed to be addressed. The moratorium was put in place to enable the City to complete a study of exterior storage uses and other uses and put in place an ordinance amendment reflecting the results of the study.

Council Deliberation and Action

Based on the ordinance requirements related to the appeal and hearing process, the Council has 30 days from the date of the hearing to provide a decision regarding the appeal. The Council could provide a decision with findings at this time, or could continue this item to its July 17 regular meeting.

Council Action Requested:

Motion regarding the appeal of the administrative determination regarding the Scannell Properties application for a CUP for a Bus Transportation Terminal.

Sec. 12-77. Appeals and variances; Board of Adjustments and Appeals.

A. Appeals to the Board of Adjustments and Appeals may be taken by any affected person upon compliance with any reasonable conditions imposed by the Zoning Ordinance. The Board of Adjustments and Appeals has the following powers with respect to the Zoning Ordinance:

1. To hear and decide appeals where it is alleged that there is an error in any order, requirement decision, or determination made by an administrative officer in the enforcement of the Zoning Ordinance.

B. Composition. The City Council shall serve as the Board of Adjustments and Appeals. Any question of whether a particular Board member should be disqualified from voting upon an issue shall be determined by a majority vote of all members, except the member who is being challenged.

C. Appeals. An appeal from any order, requirement, decision or determination of any administrative official may be initiated by any person affected thereby, or by any officer, department, board or bureau of the City, County or State within 30 days from the date of any such order, requirement, decision or determination by filing with the Zoning Administrator a written notice of appeal.

1. The notice of appeal shall state:

a. The particular order, requirement, decision or determination from which the appeal is taken;

b. The name and address of the appellant;

c. The grounds for the appeal;

d. The relief requested by the appellant.

2. An appeal stays all proceedings in furtherance of the action appealed from unless the Board of Adjustments and Appeals, to whom the appeal is taken certifies that by reason of the facts stated in the certificate, a stay would cause imminent peril to life or property.

3. The Board of Adjustments and Appeals may reverse or affirm, wholly or partly, or may modify the order, requirement, decision or determination appealed from and to that extent shall have all the powers of the officer from whom the appeal was taken, and may direct the issuance of a permit.

E. Hearing procedure. The Zoning Administrator shall, upon the filing of a notice of appeal or an application for a variance, refer the matter to the Board of Adjustments and Appeals and the Planning Commission and establish a time for the hearing thereof by said board and commission no less than 15 days after the filing of the notice or application and no more than 45 days after the filing thereof. On variance applications, the Planning Commission shall hold at least one public hearing, affording an opportunity for all parties interested to be heard, and shall give no less than ten days' nor more than 30 days' notice of the time and place of such hearing, published in the designated legal newspaper for the City. Such notice shall also contain a description of the land and the requested variance. At least ten days before the hearing, the Zoning Administrator shall mail an identical notice to the owner and to each of the property owners of record for property within 500 feet of the outside boundaries of the land in question. The Planning Commission shall review all requests for variances prior to final action by the

board; a recommendation may be made to the board for approval, denial or approval with conditions deemed to be in the public interest. **The Board of Adjustment and appeals shall decide any appeal or any application for a variance and issue its order with respect thereto within 30 days from the date of the hearing thereon.**

F. Findings of the Board. The Board of Adjustments and Appeals shall make written findings in any case of an appeal or application for a Variance and shall state therein the reasons for its decision.

1. In addition to meeting the criteria set forth in Section 12-77 (A), the following criteria must be met before a Variance may be granted:

a. The Variance, if granted, will not have a significant adverse effect on the public health, safety, welfare or environment.

b. The granting of the Variance requested will not confer on the applicant any special privilege that is denied by the Ordinance to owners of other land, structures or buildings in the same district.

c. Exceptional or extraordinary circumstances apply to the property which does not apply generally to other properties in the same zoning district or vicinity, and result from lot size or shape, topography, or other circumstances over which the owners of the property have had no control.

d. The literal interpretation of the provisions of this Ordinance would deprive the applicant of the rights commonly enjoyed by other property in the same district under the terms of this Ordinance.

e. The Variance requested is the minimum Variance that would alleviate the practical difficulty.

2. The order issued by the Board of Adjustments and Appeals shall include the legal description of the land involved. Any such order shall be filed with the Zoning Administrator who shall immediately mail a copy thereof, bearing the notation of the filing date, to the appellant or applicant.)

a. A certified copy of any order issued by the Board of Adjustments and Appeals acting upon any appeal from an order, requirement, decision or determination of an administrative officer, or upon any application for a Variance, shall be filed with the County Recorder.

b. Such filing shall be made by the Zoning Administrator or other agent designated by the Board as soon as is reasonably possible after the filing of the order with the Zoning Administrator.

c. The cost of such filing with the County Recorder shall be borne by the appellant or applicant.

G. Finality of decision. All decisions of the Board of Adjustment and appeals acting upon an appeal from an order, requirement, decision or determination by an administrative officer or upon an application for a variance shall be final except that any aggrieved person may have any decision or order of the board reviewed by an appropriate remedy in district court as provided by law.

STATE OF MINNESOTA
COUNTY OF WASHINGTON
CITY OF AFTON

ORDINANCE NO. 04-2017
CITY OF AFTON
WASHINGTON COUNTY, MINNESOTA

AN INTERIM ORDINANCE PLACING A TEMPORARY MORATORIUM ON ZONING APPLICATIONS FOR CERTAIN USE CLASSIFICATIONS IN THE CITY AND DIRECTING THAT STUDIES OF OFFICIAL CONTROLS RELATED THERETO BE CONDUCTED

The City Council ("Council") of the City of Afton, Minnesota ("City"), does hereby ordain:

Section 1. Moratorium.

Section A. Purpose.

1. The City has adopted official zoning controls through the adoption of its Zoning Code, Chapter 12 of the Afton City Code, which regulates the use classifications.
2. Section 12-134 of the City's Code of Ordinances defines certain use classifications within the City.
3. Recently, the City has reviewed language within its Zoning Code regarding the use classifications in its Industrial Zones to ensure the classifications are relevant, functional, and reflect conformity with current technology, community plans, and conformity with usages in other areas within and adjoining the City. Specifically, the City is looking at the way land in industrial areas of the City is being or may be utilized for exterior storage of any kind.
4. Because of these important zoning and permitting issues, the City and this Council desire to conduct further studies for the purpose of consideration of possible revision and amendments to the City's official controls to address issues related to its use classifications as identified in Section 12-134, most specifically to those matters related to exterior storage in industrially zoned areas within the City. The purpose of such revisions and amendments is to create a clearer and more updated regulatory framework. Those areas of the City currently zoned for industrial uses are identified in the attached document and incorporated herein as **Exhibit A**.
5. This Council, therefore, pursuant to Minnesota Statutes, Section 462.355, Subdivision 4(a), finds that a moratorium is required to protect the permitting and planning process within the City for those use classifications involving exterior storage within an industrial zone. This Council further finds that it is necessary to preserve within this process the existing use classifications. The study period required under the moratorium,

including all necessary revisions and amendments to the City's Zoning Code is anticipated to be completed by June 15, 2018.

Section B. Moratorium Established and Scope.

1. In accordance with the findings set forth within Section 1(A) of this Ordinance and pursuant to the direction of this Council, there is hereby established a moratorium on the consideration of new zoning applications, the issuance of new permits for use or any expanded new use of land currently identified on the attached **Exhibit A** as being industrially zoned within the City in which exterior storage of any sort is to be used or proposed.

2. During the period of the moratorium, permits previously issued for the identified use classifications shall continue under the existing regulations established by the City Code.

Section C. Applicability.

The moratorium shall be applied throughout the City of Afton from the Effective Date.

Section 2. Effective Date.

This ordinance shall be in full force and effect from and after its passage and publication according to law and shall remain effective until June 15, 2018 unless further extended by order of this Council.

PASSED AND ADOPTED by the City Council of the City of Afton, Washington County, Minnesota, on this 24th day of July, 2017.

CITY OF AFTON


Richard Bend, Mayor

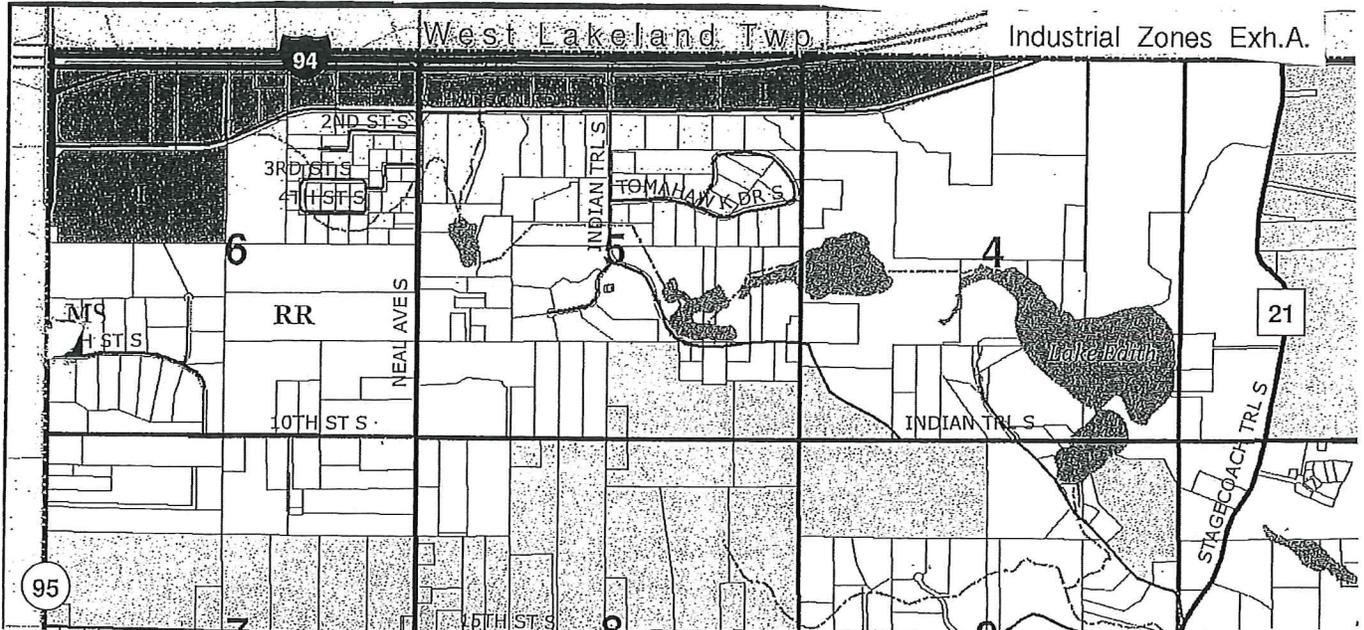
ATTEST:

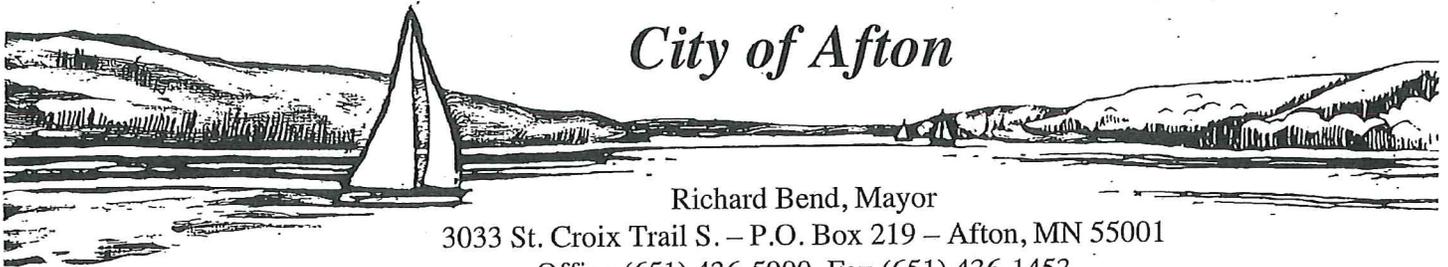


Ronald J. Moorese, City Administrator

(SEAL)

Document Drafted by:
Frederic W. Knaak, Esq.
4501 Allendale Drive
St. Paul, MN 55127
(651) 490-9078/fknaak@klaw.us





City of Afton

Richard Bend, Mayor

3033 St. Croix Trail S. – P.O. Box 219 – Afton, MN 55001

Office (651) 436-5090 Fax (651) 436-1453

www.ci.afton.mn.us

Bill Palmquist - Ward 1

Joe Richter - Ward 2

Stan Ross - Ward 3

Randy Nelson - Ward 4

May 4, 2018

Mike Simmons

Scannell Properties #107, LLC

8801 River Crossing Blvd, Ste 300

Indianapolis, IN 46420

RE: Conditional Use Permit Application for Bus Transportation Terminal

Dear Mr. Simmons;

This letter is to follow-up on our conversation regarding your application for a Conditional Use Permit for a Bus Transportation Terminal, which involves exterior storage of buses and interior bus maintenance activities. As you know, the City's industrial zoning districts are currently under a moratorium that prohibits permits or applications for uses that involve exterior storage. As I indicated in our conversation, the use proposed in the CUP application involves the exterior storage of buses, which is subject to the moratorium. Therefore, the CUP application cannot be accepted or processed during the period of the moratorium. Therefore, the check provided with the application in the amount of \$850.00, in payment of the CUP application fee and escrow deposit, is being returned to you with this letter. If you have any questions regarding this letter, please call me at 651-436-8957.

Sincerely,

Ronald J. Moorse

City Administrator

City of Afton



RECEIVED
JUN 11 2018
CITY OF AFTON

Headquarters
8801 River Crossing Blvd.
Suite 300
Indianapolis, IN 46240
tel: 317.843.5959
fax:317.843.5957

Offices
Charlotte
Chicago
Denver
Kansas City
Minneapolis
San Francisco
Washington DC

June 1, 2018

Ronald J. Moore
City Administrator
City of Afton
3033 St. Croix Trail South
P.O. Box 219
Afton, MN 55001

By Fax: (651) 436-1453,
Email: rmoorse@ci.afton.mn.us and
U.S. Mail

Re: **Notice of Appeal to Board of Adjustments and Appeals Regarding May 4, 2018,
Decision Regarding Application for Conditional Use Permit**

Dear Mr. Moore:

This constitutes Applicant Scannell Properties #107, LLC's ("Scannell") Notice of Appeal to the City of Afton's ("Afton") Board of Adjustments and Appeals (the "Board") pursuant to Afton City Code Section 12-77.

Order, requirement, decision or determination from which the appeal is taken:

Scannell appeals from the decision shown in the letter enclosed herewith as Exhibit A (the "Administrator's Letter") dated May 4, 2018, and received by Scannell on May 11, 2018, from the City Administrator/Zoning Administrator (the "Administrator") regarding Scannell's Conditional Use Permit ("CUP") Application enclosed herewith as Exhibit B (the "Application").

Scannell also appeals from the City's failure to issue a CUP or otherwise act on its Application on or before May 19, 2018—60 days after the Application was submitted on March 20, 2018.

Name and address of the appellant:

Scannell Properties #107, LLC
8801 River Crossing Blvd., Ste. 300
Indianapolis, IN 46240

The address of subject property is shown in the Application.

Grounds for the appeal:

1. Pursuant to Minnesota Statute Section 15.99, subd. 3, the City was required to inform Scannell in writing of any deficiencies in its Application within 15 business days if there

were any deficiencies. The City did not inform Scannell in writing of any deficiencies in its Application within 15 business days.

2. Pursuant to Minnesota Statute Section 15.99, subd. 2, Afton or Afton's City Council was required to approve or deny Scannell's Application and request for CUP within 60 days. Neither Afton nor its City Council approved or denied Scannell's Application and request for CUP within 60 days.
3. Pursuant to Minnesota Statute Section 15.99, subd. 2, Afton's or Afton's City Council's failure to deny Scannell's Application and request for CUP within 60 days is approval of the request and the requested CUP must be issued by Afton.
4. The Administrator's Letter asserts that:

the City's industrial zoning districts are currently under a moratorium that prohibits permits or applications for uses that involve exterior storage. . . . [T]he use proposed in the CUP application involves the exterior storage of buses, which is subject to the moratorium. Therefore, the CUP application cannot be accepted or processed during the period of the moratorium

Ex. A.

5. The Administrator's Letter is incorrect. The use proposed in the Application does not involve exterior storage and the Application explicitly stated that Scannell "seeks a CUP for a Bus Transportation Terminal with associated parking. The use will have no exterior storage. All maintenance activities, and related materials storage, will be inside."
6. Neither the Administrator nor any other Afton personnel or officials requested information or clarification regarding storage of materials (whether exterior, interior, or otherwise) from Scannell.
7. Neither the Administrator nor any other Afton personnel or official has any personal knowledge of or regarding the use proposed in the Application except as set forth on the face of the Application.
8. The Administrator's Letter appears to mistakenly or erroneously confuses, conflates, or equates "parking" and "storage." "Parking" and "storage" are different, separate and distinct as a matter of law and as used in the Afton City Code and its regulations.
9. The moratorium (the "Moratorium") referenced in the Administrator's letter does not prohibit new uses or new CUPs for uses that include or involve exterior parking but do not include or involve exterior storage.

Ronald J. Moorse
June 1, 2018
Page 3

10. The Moratorium does not prohibit or prevent the use proposed by Scannell in the Application, Afton's issuance of the CUP requested by Scannell in the Application, or Afton's consideration of the Application.
11. Even if Afton's Moratorium did bar Scannell's requested CUP, the Application, or Afton's consideration of the Application, which it does not, Afton arbitrarily and unlawfully enacted the Moratorium to delay or prevent a single project—a proposed real estate transaction between Scannell and Independent School District 834, Stillwater School District.

Relief requested by the appellant:

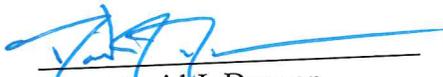
Scannell requests that the Board reverse or overturn or determine that the decision or opinion set forth in the Administrator's Letter is incorrect or ineffective and direct the issuance of the CUP requested in the Application. Scannell requests that Afton issue the CUP requested in the Application as expeditiously as possible to avoid further harm and damages to Scannell.

Conclusion

Scannell reserves all of its rights and legal and equitable remedies. Please let me know if the Board or Afton needs any more information. Scannell or its counsel, Samuel Diehl with the Gray Plant Mooty law firm may provide additional discussion related to the above-stated grounds for appeal and relevant law in advance of the Board's hearing on this Appeal.

Sincerely,

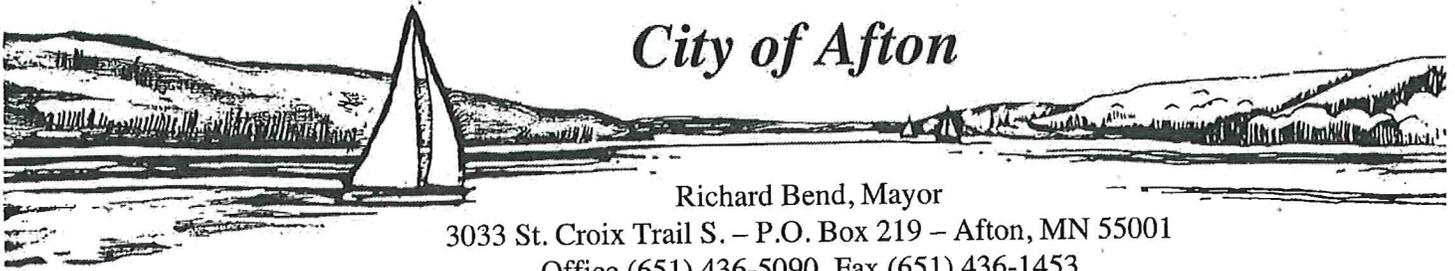
Scannell Properties #107



By: David J. Duncan
Its: Counsel

Enclosures

Exhibit A



City of Afton

Richard Bend, Mayor

3033 St. Croix Trail S. – P.O. Box 219 – Afton, MN 55001

Office (651) 436-5090 Fax (651) 436-1453

www.ci.afton.mn.us

Bill Palmquist - Ward 1
Joe Richter - Ward 2

Stan Ross - Ward 3
Randy Nelson - Ward 4

MAY 11 2018

May 4, 2018

Mike Simmons
Scannell Properties #107, LLC
8801 River Crossing Blvd, Ste 300
Indianapolis, IN 46420

RE: Conditional Use Permit Application for Bus Transportation Terminal

Dear Mr. Simmons;

This letter is to follow-up on our conversation regarding your application for a Conditional Use Permit for a Bus Transportation Terminal, which involves exterior storage of buses and interior bus maintenance activities. As you know, the City's industrial zoning districts are currently under a moratorium that prohibits permits or applications for uses that involve exterior storage. As I indicated in our conversation, the use proposed in the CUP application involves the exterior storage of buses, which is subject to the moratorium. Therefore, the CUP application cannot be accepted or processed during the period of the moratorium. Therefore, the check provided with the application in the amount of \$850.00, in payment of the CUP application fee and escrow deposit, is being returned to you with this letter. If you have any questions regarding this letter, please call me at 651-436-8957.

Sincerely,

Ronald J. Moorse
City Administrator
City of Afton

DATE
3/20/18

CHECK NUMBER
39109

\$850.00

REGIONS BANK

20-1421/740

039109

39109

Scannell Properties #107 Century, Afton
8801 River Crossing Blvd.
Suite 300
Indianapolis IN 46240

Eight Hundred Fifty and 00/100 Dollars

PAY

TO THE
ORDER
OF:

City of Afton
3033 St. Croix Trail S
P.O.Box 219
Afton, MN 55001

DATE
Mar 20, 2018

AMOUNT
*****\$850.00

AUTHORIZED SIGNATURE

⑈039109⑈ ⑆074014213⑆ 82 7010 4030⑈

THIS DOCUMENT HAS A COLORED BACKGROUND

MICROPRINTING IN THE SIGNATURE LINE
Details on back
Security Features Included

MP

Exhibit B

Updated April, 2012

CITY OF AFTON

**APPLICATION FOR A
CONDITIONAL USE PERMIT OR
AMENDED CONDITIONAL USE PERMIT**

**Conditional Use Permit
\$250 FEE + \$600 ESCROW**

**Amended Conditional Use Permit
\$250 FEE + \$350 ESCROW**

**Work authorized must begin within 12 months of the
date of issuance of this permit. If not, this permit will
EXPIRE and become INVALID.**

CITY OF AFTON CONDITIONAL USE PERMIT APPLICATION

Owner	Address	City	State	Zip	Phone
Scannell Properties #107, LLC	8801 River Crossing Blvd, Ste 300	Indianapolis	IN	46240	317-843-5951
Applicant (if different than owner)	Address	City	State	Zip	Phone
Scannell Properties #107, LLC	8801 River Crossing Blvd, Ste 300	Indianapolis	IN	46240	317-843-5951
Project Address		AFTON	MN	55001	
14386 Hudson Rd South					
Zoning Classification	Existing Use of Property	PID# or Legal Description			
Industrial I-1B	Truck training facility.	04.028.20.21.0005			
Description of Request					
<small>Scannell Properties seeks a CUP for a Bus Transportation Terminal with associated parking. The use will have no exterior storage. All maintenance activities, and related materials storage, will be inside.</small>					
<small>Scannell Properties seeks a CUP for a Bus Transportation Terminal with associated parking. The use will have no exterior storage. All maintenance activities, and related materials storage, will be inside.</small>					
<p>By signing this application, the applicant agrees to pay all expenses incurred by the City of Afton. In connection with this request, your signature constitutes permission for a representative of the City of Afton to enter your property, during business hours, to evaluate this request. This may involve minor excavating or soil borings. If you would like to be present during this evaluation, please contact the City. If work authorized by this Conditional Use Permit is not started within 12 months of the date issued, this CUP will EXPIRE and be INVALID.</p>					
					3/20/18 Date
Signature of Owner/Applicant					
Make checks payable to City of Afton :					
FEES:			ESCROW DEPOSIT:		
CUP	\$250	CUP Escrow	\$600	TOTAL: <u>\$850</u>	
Amended CUP	\$250	Amend CUP Escrow	\$350	DATE PAID: _____	
City Engineer	_____	Engineer Escrow	_____	CHECK #: _____	
Other	_____	Other	_____	RECVD. BY: _____	
ATTACH COPY OF DEED OR PROOF OF OWNERSHIP TO APPLICATION					

**CITY OF AFTON
CONDITIONAL USE PERMIT CHECKLIST**

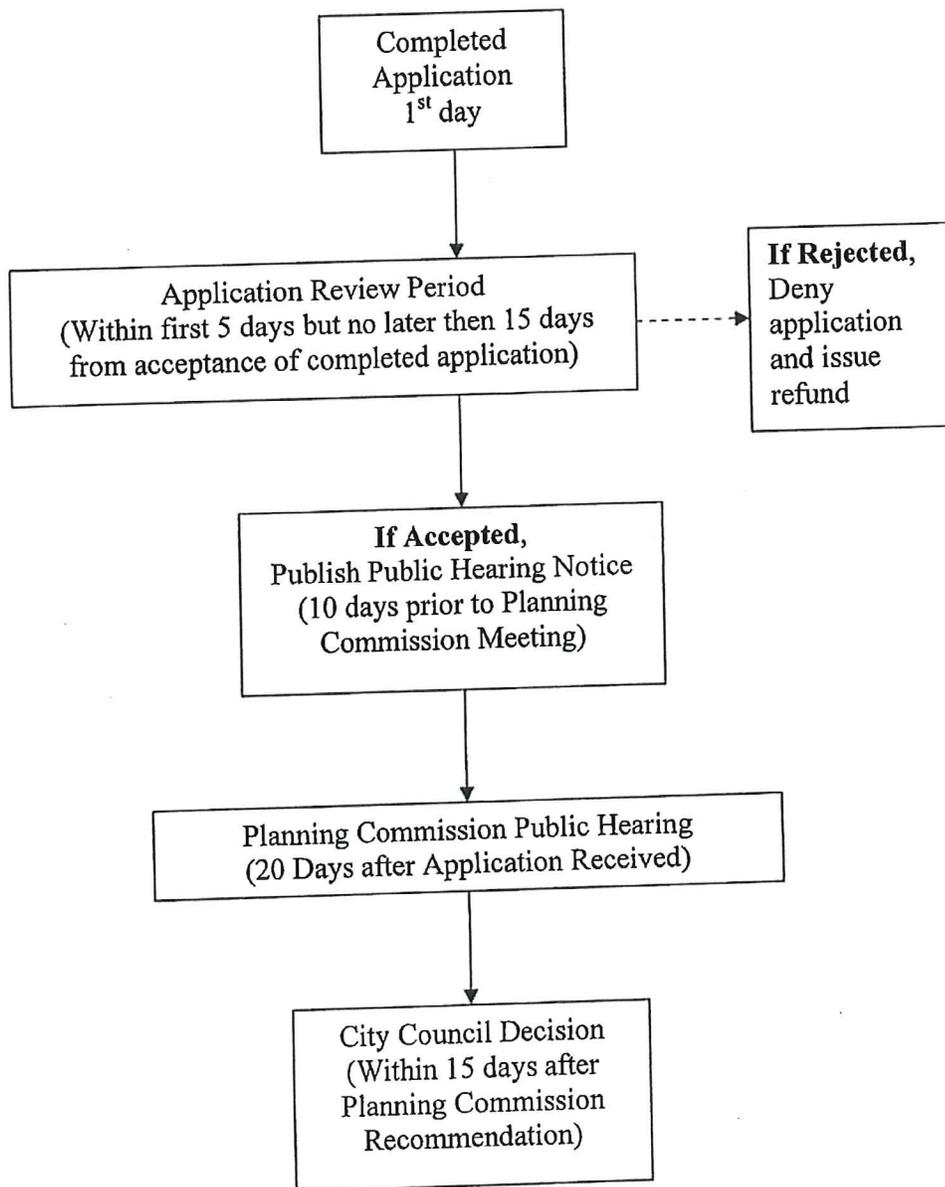
APPLICANT	CITY
<input type="checkbox"/> Design Review/Historic Pres. Commission notification (VHS-R or VHS-C)	<input type="checkbox"/>
<input type="checkbox"/> Completed application form, including full legal name (first, middle, and last) and address of the applicant, fee owner, and any other persons having a legal interest in the property.	<input type="checkbox"/>
<input type="checkbox"/> Fee as set forth in the current Fee schedule as adopted by the City.	<input type="checkbox"/>
<input type="checkbox"/> Location map showing the general location of the proposed use within the City	<input type="checkbox"/>
<input type="checkbox"/> Legal description of the property, including street address, if any, property identification number, and proof of legal ownership.	<input type="checkbox"/>
<input type="checkbox"/> Written statement explaining requested use of the property.	<input type="checkbox"/>
<input type="checkbox"/> Site Plan (and/or Certificate of Survey) drawn to scale showing:	<input type="checkbox"/>
<input type="checkbox"/> Property dimensions	
<input type="checkbox"/> Adjacent roads and location of existing and proposed curb cuts, driveways, and parking spaces	
<input type="checkbox"/> Location of existing and proposed buildings, including setbacks, dimensions and square footage	
<input type="checkbox"/> Building setbacks from the crest of slopes greater than 18 percent	
<input type="checkbox"/> Existing topographic information and finished grading and drainage plan	
<input type="checkbox"/> Existing and proposed wells and septic systems	
<input type="checkbox"/> Sewer and water plan with estimated use per day (if applicable)	
<input type="checkbox"/> Existing vegetation and proposed landscaping and screening plans, including species and sizes of trees and shrubs	
<input type="checkbox"/> Location of wetlands	
<input type="checkbox"/> Soil type and soil limitations for the intended use. If severe soil limitations for the intended use are noted, a plan or statement indicating the soil conservation practice or practices to be used to overcome said limitation shall be made part of the permit application	
<input type="checkbox"/> Type of business or activity and proposed number of employees (if applicable)	
<input type="checkbox"/> Proposed floor plan, with uses indicated, and elevations of buildings (if applicable)	
<input type="checkbox"/> Photometric lighting plan	
<input type="checkbox"/> Map showing principal land uses within five hundred (500) feet of the subject parcel	<input type="checkbox"/>
<input type="checkbox"/> An accurate list of the names and mailing addresses of the recorded owners of all property within a minimum of 500 feet of the boundaries of the property for which the application is submitted, and mailing labels for listed owners	<input type="checkbox"/>

ALL ITEMS REQUIRED UNLESS SPECIFICALLY WAIVED BY ADMINISTRATOR!

Note: The City may waive or modify some of these submittal requirements if appropriate to the specific situation. Call the Zoning Administrator at (651) 436-8957 with questions about specific submittal requirements.

**CITY OF AFTON
CONDITIONAL USE PERMIT
FLOW CHART**

APPLICATIONS MUST BE RECEIVED NO LATER THEN 21 DAYS PRIOR TO THE NEXT REGULARLY SCHEDULED PLANNING COMMISSION MEETING



**CITY OF AFTON
CONDITIONAL USE PERMIT
PROCESS
(For Office Use Only)**

Project Name: _____

Applicant: _____ Phone Number: _____

NAC Project Number: _____

Application Fee Paid: _____

Date Received: _____ 15 days to notice of completion _____

60 days from submittal (unless deemed incomplete): _____

60 day extension: Y/N _____ Final Date For Council Decision: _____

Noticed For Public Hearing: _____

Planning Commission Date: _____ Recommendation (Vote): _____

Planning Commission Date: _____ Recommendation (Vote): _____

City Council Date: _____ Decision (Vote): _____

City Council Date: _____ Decision (Vote): _____

Sec. 12-78. Conditional Use Permits. ³¹

- A. *Purpose.* The purpose of a conditional use permit is to provide the City of Afton with a reasonable degree of discretion in determining the suitability of certain designated uses upon the general welfare, public health and safety. In making this determination, whether or not the conditional use is to be allowed, the City may consider the nature of the adjoining land or buildings, the effect upon traffic into and from the premises or on any adjoining roads, and all other factors the City shall deem a prerequisite of consideration in determining the effect of the general welfare, public health and safety. Conditional Use permits may be granted in accordance with this subdivision for any use or purpose listed as a conditional use for the zoning districts per Section 12-134 of the Zoning Ordinance.
- B. *Application.* Requests for conditional use permits, as provided within this Ordinance, shall be filed with the Zoning Administrator on an official application form. Such application shall be accompanied by a deposit and fee per the City's current fee schedule. The application shall also include development plans for the proposed use showing such information as may be reasonably required by the administrator, including but not limited to those things below.
1. Name and mailing address of the applicant;
 2. The legal property description of the land involved in the request, including the street address, if any, of the property;
 3. The names and mailing addresses of the owners of the property and any other persons having a legal interest therein;
 4. Site plan drawn to scale, dimensions indicated, including: proposed structure, house, existing accessory buildings, well, septic system (tank and drainfield), adjacent public streets, driveway, lot size and lot dimensions:
 - a. Distance between existing structures, proposed structures, well and septic system.
 - b. Setbacks of existing and proposed structures from: Lot lines, non-buildable easements, public street right-of-way line or centerline, shoreland, bluffline or crest of slope 18 percent or steeper.
 - c. Possible location of any and all detached accessory buildings permitted by this article for the property for which the application is being made.
 5. Landscaping and screening plans including species and size of trees and shrubs proposed;

³¹ Amended 12/21/04, Ordinance 2004-16

LAND USE

6. Finished grading and drainage plans sufficient to drain the developed portion of the site and to retain as much run-off on the site as possible;
 7. Type of business or activity and proposed number of employees or occupants;
 8. Proposed floor plan and elevations of all buildings with use indicated;
 9. Photometric lighting plan;
 10. Soil type and soil limitations for the intended use. A plan or statement indicating the soil conservation practice or practices to be used to overcome any soil limitation shall be made part of the application;
 11. A location map showing the parcels general location within the City;
 12. Proof of ownership of the property for which the application is submitted, consisting of an abstract of title or registered property certificate certified by a licensed abstractor, or a title opinion prepared by an attorney licensed to practice in the state, together with any unrecorded documents whereby the petitioners acquired legal or equitable ownership;
 13. An accurate list showing the names and mailing addresses of the recorded owner of all property within a minimum of 500 feet of the boundaries of the property for which the application is submitted, the accuracy of which is verified by the applicant.
- C. *Staff review/Technical Procedure Reports.* Upon receipt of an application for a conditional use permit, the Zoning Administrator shall refer the request to appropriate staff to ensure that informational requirements are complied with. When all informational requirements have been complied with, the request shall be considered officially submitted. The Zoning Administrator shall instruct the appropriate staff persons to prepare technical reports and/or provide general assistance in preparing a recommendation on the request to the Planning Commission and City Council.
- D. *Public Hearing.* Upon official submission of the request, the Zoning Administrator shall set a public hearing on the request for the next regularly scheduled Planning Commission meeting occurring at least ten (10) working days from such date as a notice of the hearing is published in the official newspaper. Such notice shall contain a legal property description and description of the request, and shall be published no more than thirty (30) days and no less than ten (10) days prior to the hearing. Written notification of the hearing shall also be mailed at least ten (10) working days prior to the date of the hearing to all owners of land within five hundred (500) feet of the boundary of the property in question. Failure of the property owner to receive said notice shall not invalidate any such proceedings as set forth within this Ordinance.
- E. *Planning Commission Action.* The Planning Commission shall conduct the public hearing at which time the applicant or a representative thereof shall appear to answer questions concerning the proposed request.
1. The Planning Commission shall consider possible³² adverse effects of the proposed conditional use permit. Its judgment shall be based upon (but not limited to) the following factors:
 - a. The proposed action has been considered in relation to the specific policies and provision of and has been found to be consistent with the official City Comprehensive Plan; and
 - b. The proposed use is or will be compatible with present and future land uses of the surrounding area; and
 - c. The proposed use will not seriously depreciate surrounding property values or scenic views; and
 - d. The proposed use conforms with all performance standards contained herein.
 2. The Planning Commission and City staff shall have the authority to request additional information from the applicant concerning operational factors or to retain expert testimony with the consent and at the expense of the applicant concerning operational factors, said information to be declared necessary to establish performance conditions in relations to all pertinent sections of the Ordinance.
 3. The Planning Commission shall make a recommendation for either denial or approval with conditions as they deem necessary to carry out the intent and purpose of this Ordinance. Such recommendation shall be in writing and accompanied by any report and

³² 02-2009, 4/21/2009

AFTON CODE

recommendation of the City staff. The written recommendation of the Planning Commission shall be forwarded to the Zoning Administrator for referral to the City Council.

- F. *Referral to City Council.* Upon receipt of the Planning Commission report and recommendation, or within sixty (60) days of receipt of a complete application; unless the review period of the application is extended pursuant to Minnesota Statutes 15.99, the Zoning Administrator shall place the request and any report and recommendation on the agenda of the next regularly scheduled meeting of the City Council
- G. *City Council Action.* Upon receiving the request and any report and recommendation of the Planning Commission and the City Staff, the City Council shall have the option to set and hold a public hearing if deemed necessary and shall make a recorded finding of fact.
1. Approval of a proposed conditional use permit shall require passage by a majority vote of all members of the City Council.
 2. In the case of a conditional use permit, the City Council may impose any condition it considers necessary to protect the public health, safety, and welfare.
 3. A certified copy of any conditional use permit issued by the City Council shall be filed with the county recorder. Such filing shall be made by the Zoning Administrator or other agent designated by the City Council as soon as is reasonably possible after the filing of the conditional use permit with the Zoning Administrator. The cost of such filing with the County Recorder shall be borne by the applicant.
 4. Whenever an application for a conditional use permit has been considered and denied by the City Council, a similar application for the conditional use permit affecting the same property shall not be considered again by the Planning Commission or City Council for at least six (6) months from the date of its denial, unless a decision to reconsider such matter is made by not less than a majority vote of the full City Council.
- H. *Performance Bond.*
1. Except in the case of a non-income producing residential property, upon approval of a conditional use permit the City shall be provided with a surety bond, cash escrow, certificate of deposit, securities, or cash deposit prior to the issuing of building permits or initiation of work on the proposed improvements or development. Said security shall be non-cancelable and shall guarantee conformance and compliance with the conditions of the conditional use permit and the ordinances of the City.
 2. The security shall be in the amount of 125 percent of the total cost of the site improvements to be installed by the applicant pursuant to the conditional use permit.
 3. The City shall hold the security until completion of the proposed improvements or development and a certificate of occupancy indicating compliance with the conditional use permit and ordinances of the City has been issued by the City Building Official.
 4. Failure to comply with the conditional use permit or the ordinances of the City shall result in forfeiture of the security.
- I. *Conditional Use Permit Amendments.* Any change involving structural alteration, enlargement, intensification of use, or similar change not specifically permitted by the conditional use permit issued shall require an amended conditional use permit and shall procedures shall apply as if a new permit where being issues. An amended conditional use permit application and requests for changes in conditions shall be administered in a manner similar to that required for a conditional use permit.
- J. *Revocation.* If an approved conditional use permit is in violation of this Ordinance or the conditions of permit approval, the City may initiate a process to revoke the conditional use permit. The City shall then conduct a public hearing to consider the revocation of a conditional use permit. The public hearing shall be conducted by the Planning Commission, which shall make a recommendation to the City Council. In considering revocation, the Planning Commission and the City Council shall consider compliance with the approved conditions of the conditional use permit and the standards listed in Section 12-78 (E) of the Afton Code of Ordinance.

Parcel A:

That part of the North Half of the Northwest Quarter of Section 4, Township 28, Range 20, Washington County, lying north of the north line of Hudson Boulevard, and lying south of the centerline of U.S. Highway 12 as described in the Final Certificate dated February 24, 1959, recorded April 30, 1959 in the office of the Washington County Recorder as in Book 220 of Deeds, at page 11, except that part thereof shown as Parcel 52 on Minnesota Department of Transportation Right of Way Plat No. 82-39.

Parcel B:

That part of the Southwest Quarter of the Southwest Quarter of Section 33, Township 29, Range 20, Washington County, lying south of the centerline of U.S. Highway 12 as described in the Final Certificate dated February 24, 1959, recorded April 30, 1959 in the office of the Washington County Recorder in Book 220 of Deeds, at page 11, except that part thereof shown as Parcel 52 on Minnesota Department of Transportation Right of Way Plat No. 82-39.

Parcel C

That part of the Southeast Quarter of the Southwest Quarter of Section 33, Township 29, Range 20, Washington County, lying south of the centerline of U.S. Highway 12 as described in the Final Certificate dated February 24, 1959, recorded April 30, 1959 in the office of the Washington County Recorder in Book 220 of Deeds, at page 11, except that part thereof shown as Parcel 52 on Minnesota Department of Transportation Right of Way Plat No. 82-39.

EXHIBIT A

Legal Description

That part of the North Half of the Northwest Quarter of Section 4, Township 28, Range 20, and that part of the South Half of the Southwest Quarter of Section 33, Township 29, Range 20, all in Washington County, Minnesota, lying north of the north line of Hudson Boulevard, lying south of the centerline of U.S. Highway 12 as described in the Final Certificate dated February 24, 1959, recorded April 30, 1959 in the office of the Washington County Recorder in Book 220 of Deeds, at page 11 and lying northeasterly of the following described line:

Commencing at the northeast corner of the North Half of the Northwest Quarter of said Section 4; thence South 00 degrees 17 minutes 00 second East, assumed bearing, along the east line of said North Half of the Northwest Quarter, a distance of 161.06 feet to the northwesterly right of way line of that part of Parcel 52, MINNESOTA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY PLAT NO. 82-39, according to the recorded plat thereof, said Washington County, lying within the North Half of the Northwest Quarter of said Section 4; thence South 71 degrees 29 minutes 30 seconds West, along said northwesterly right of way line, a distance of 1113.24 feet to the point of beginning of the line to be described; thence North 18 degrees 31 minutes 34 seconds West, a distance of 645.49 feet to the southeasterly right of way line of that part of said Parcel 52 lying within the South Half of the Southwest Quarter of said Section 33

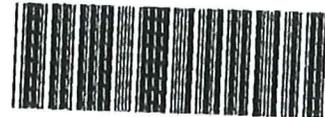
Except that part thereof shown as said Parcel 52.

And except that part of the Northeast Quarter of the Northwest Quarter of Section 4, Township 28, Range 20, Washington County, Minnesota described as follows:

Beginning at the northeast corner of said Northeast Quarter of the Northwest Quarter; thence South 00 degrees 17 minutes 00 second East, assumed bearing, along the east line of said Northeast Quarter of the Northwest Quarter, a distance of 160.87 feet to the northwesterly right of way line of Parcel 52, MINNESOTA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY PLAT NO. 82-39, according to the recorded plat thereof, said Washington County; thence South 71 degrees 29 minutes 16 seconds West, along said northwesterly right of way line, 126.54 feet; thence North 00 degrees 17 minutes 00 seconds West, 201.56 feet to the north line of said Northeast Quarter of the Northwest Quarter; thence South 89 degrees 45 minutes 14 seconds East, along said north line 120.19 feet to the point of beginning.

21

3732952



Receipt#: 96110

WAR	\$46.00
SDT	\$9,341.85
Conservation Fee:	\$5.00
CRV Filed	
No Delinquent Taxes	
Transfer Entered	

Certified Filed and/or recorded on:
4/03/2009 9:26 AM

3732952

Office of the County Recorder
Property Records & Taxpayer Services
Washington County, MN

Kevin J Corbid, County Recorder
Molly O Rourke, Auditor Treasurer

Return to:
FIRST AMERICAN TITLE-NICOLLET
1900 MIDWEST PLAZA WEST
801 NICOLLET MALL
MINNEAPOLIS MN 55402

DEED TAX DUE: \$ ~~7,508.18~~ ^{9,341.85}

Date: March 10, 2009

Form No. 9-M- WARRANTY DEED
Corporation or Partnership or Limited Liability Company
to Corporation, Partnership or Limited Liability Company

FOR VALUABLE CONSIDERATION, **Tiller Corporation**, a corporation under the laws of **Minnesota**, Grantor, hereby conveys and warrants to **Scannell Properties #107, LLC**, Grantee, a **limited liability company** under the laws of **Indiana**, real property in **Washington County**, Minnesota, described as follows:

Legal Description attached hereto as **Exhibit A** and by this reference incorporated herein (the "Property").

together with all hereditaments and appurtenances belonging thereto, subject to the following exceptions:

1. Real estate taxes for 2009 and thereafter, not yet due and payable.
2. Right of way for Interstate Highway 94, including limitations on access to said right of way, as shown on Minnesota Department of Transportation Right of Way Plat No. 82-39, and as contained in the Final Certificate dated March 22, 1989, recorded April 18, 1989 as Doc No. 598710.
3. Easement for power line purposes in favor of Northern States Power Company, as contained in the Easement dated September 1, 1966, recorded September 9, 1966 in Book 292 of Deeds, at page 252, as shown on the ALTA Survey prepared by Kurt M. Kisch of RLK Incorporated dated February 26, 2009 and designated as Project # 2008286L (the "Survey").
4. Terms and conditions of the Agreement between the City of Afton and Barton Sand & Gravel Company, dated October 4, 1983, recorded November 1, 1983 as Document No. 454565, as noted on the Survey.

OFFICE OF COUNTY RECORDER
WASHINGTON COUNTY, MN

WELL CERTIFICATE RECEIVED

Upon recording please return to:
First American Title Insurance Co.
1900 Midwest Plaza
801 Nicollet Mall
Minneapolis, MN 55402
NCS 217062 MPLS (KAM)

Parcel Nos. 04-028-20-21-0005, 33-029-20-33-0001 +
33-029-20-34-0002

5. Terms and conditions, including an easement for drainage and ponding purposes, as contained in the Declaration of Drainage and Ponding Easement dated November 29, 1984, recorded February 28, 1985 as Document No. 479993, as shown on the Survey.
6. Rights of MediaOne of Minnesota Inc. under an unrecorded Lease effective as of April 20, 1999, with Tiller Corporation, including the right to receive a utility and cable easement and to record a restriction agreement and memorandum of lease, the leased premises of which are identified on the Survey.
7. Two underground utility lines running from the one-story block building located at the southeast corner of the Property across adjacent land east of the Property as disclosed on the Survey.
8. Conditions contained in Resolution No. 2008-25 by the City of Afton, dated May 20, 2008, recorded December 12, 2008 as Document No. 3717933.

Check box if applicable:

- The seller certifies that the seller does not know of any wells on the described real property.
- A well disclosure certificate accompanies this document.
- I am familiar with the property described in this instrument and I certify that the status and number of wells on the described real property have not changed since the last previously filed well disclosure certificate.

Tiller Corporation, a Minnesota corporation

Affix Deed Tax Stamp Here

By: *Steven Sauer*
 Steven Sauer, Vice President of Finance

STATE OF MINNESOTA }
 } ss.
 COUNTY OF HENNEPIN }

This instrument was acknowledged before me on March 10, 2009, by Steven Sauer, Vice President of Finance of **Tiller Corporation**, a **corporation** under the laws of **Minnesota**, on behalf of the **corporation**.

NOTARIAL STAMP OR SEAL (OR OTHER TITLE OR RANK):



MARGARET A. BLAZEVIC
 NOTARY PUBLIC - MINNESOTA
 My Commission Expires Jan. 31, 2010

Margaret A. Blazevic
 SIGNATURE OF NOTARY PUBLIC OR OTHER OFFICIAL

Check here if part or all of the land is Registered (Torrens)

THIS INSTRUMENT WAS DRAFTED BY (NAME AND ADDRESS):

Wayne Bender, Asst. General Counsel
 Scannell Properties
 800 East 96th Street, Suite 175
 Indianapolis, IN 46240

Tax Statements for the real property described in this instrument should be sent to (include name and address of Grantee):

Scannell Properties
 Attn: Controller
 800 East 96th Street, Suite 175
 Indianapolis, IN 46240

EXHIBIT 'A'

Parcel A:

That part of the North Half of the Northwest Quarter of Section 4, Township 28, Range 20, Washington County, lying north of the north line of Hudson Boulevard, and lying south of the centerline of U.S. Highway 12 as described in the Final Certificate dated February 24, 1959, recorded April 30, 1959 in the office of the Washington County Recorder as in Book 220 of Deeds, at page 11, except that part thereof shown as Parcel 52 on Minnesota Department of Transportation Right of Way Plat No. 82-39.

Parcel B:

That part of the Southwest Quarter of the Southwest Quarter of Section 33, Township 29, Range 20, Washington County, lying south of the centerline of U.S. Highway 12 as described in the Final Certificate dated February 24, 1959, recorded April 30, 1959 in the office of the Washington County Recorder in Book 220 of Deeds, at page 11, except that part thereof shown as Parcel 52 on Minnesota Department of Transportation Right of Way Plat No. 82-39.

Parcel C

That part of the Southeast Quarter of the Southwest Quarter of Section 33, Township 29, Range 20, Washington County, lying south of the centerline of U.S. Highway 12 as described in the Final Certificate dated February 24, 1959, recorded April 30, 1959 in the office of the Washington County Recorder in Book 220 of Deeds, at page 11, except that part thereof shown as Parcel 52 on Minnesota Department of Transportation Right of Way Plat No. 82-39.

(Abstract property)

352518

Washington County Property and Tax Information
 Assessment, Taxpayer Services and Elections Taxpayer Services Division
 14949 62nd Street North
 Stillwater, MN 55082

Property ID#: 0602921120001

Property and Owner Information		Taxing Districts School District ISD 832 MAHTOMEDI Municipality CITY OF MAHTOMEDI Watershed WS VALLEY BRANCH Last Updated: 01/26/2009 at 01:14:31
Property Owner STATE OF MN BEHALF HIGHER EDUCATION	Owner Mailing Address 555 PARK ST #230 ST PAUL MN 55103	
Property Address 3300 CENTURY AVE MAHTOMEDI MN 55115	Alternate Taxpayer CENTURY COLLEGE 3300 CENTURY AVE N WHITE BEAR LAKE MN 55110	
Tax Description SECT-06 TWP-029 RANGE-021 PT NE1/4 S06T29R21 NE1/4 THN ELY ALG N LINE ...More...		

Payable 2008 Taxes			
2007 Estimated Market Value	2007 Taxable Market Value	Property Status	Payable 2008 Taxes
Land: \$160,000	Land: \$160,000	Class: COLLEGE-PUBLIC Homestead: NON-HOMESTEAD	Net Taxes: \$0.00
Bldg: \$35,000	Bldg: \$35,000		Spec. Asmt: \$14,180.22
Total: \$195,000	Total: \$195,000		Total Tax & Spec Asmt: \$14,180.22

Payable 2009 Taxes			
2008 Estimated Market Value	2008 Taxable Market Value	Property Status	
Land: \$891,900	Land: \$891,900	Class: COLLEGE-PUBLIC Homestead: NON-HOMESTEAD	
Bldg: \$35,000	Bldg: \$35,000		
Total: \$926,900	Total: \$926,900		

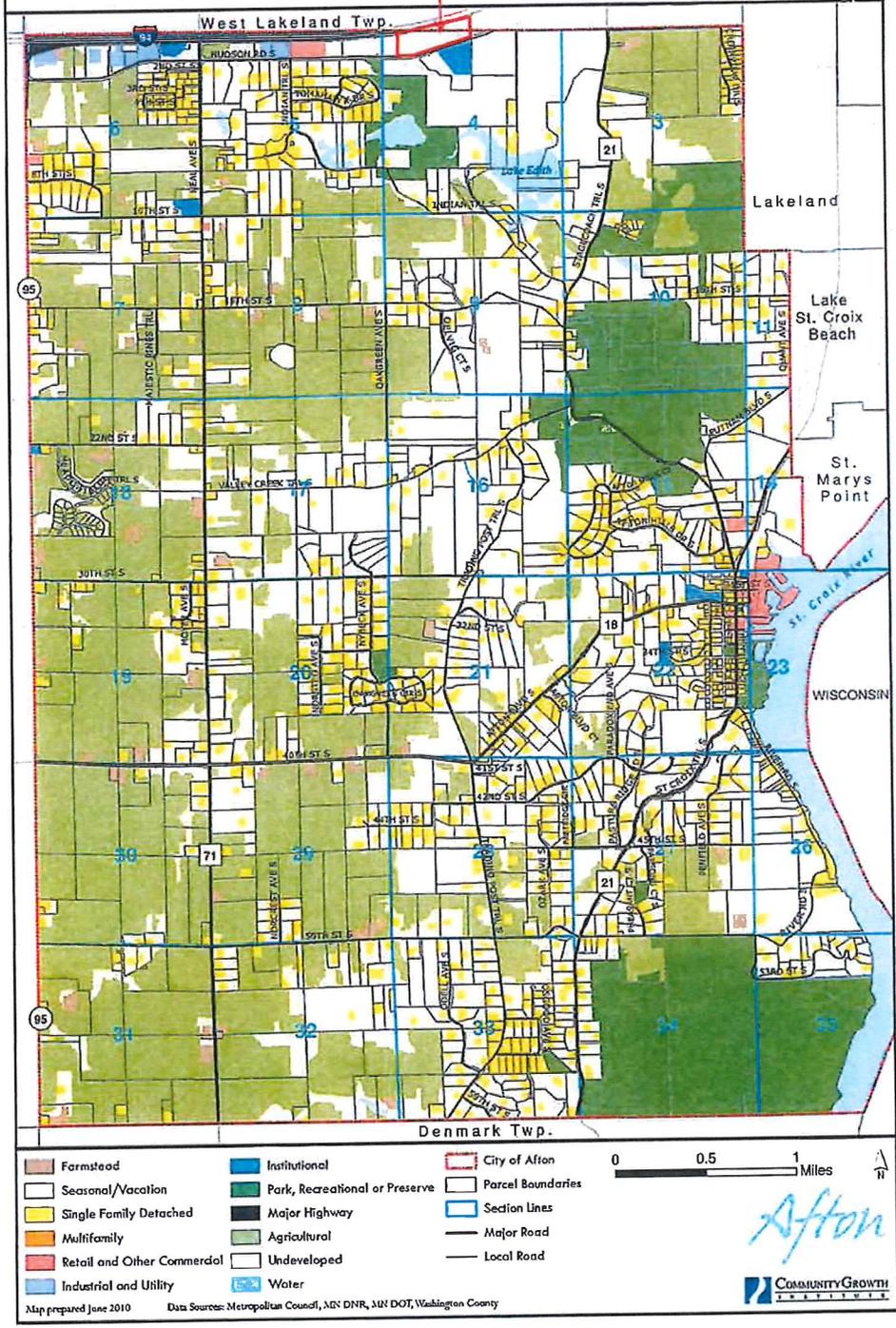
Sales Information			Year Built: N/A
Date		Sale Price	Style: N/A
No sales data available			Class: COLLEGE-PUBLIC
			Homestead Status: NON-HOMESTEAD

Payable 2008 Taxes			
Net Taxes:			\$0.00
Special Assessments:			\$14,180.22
Total Tax Due:			\$14,180.22
Paid to Date:			\$0.00
Balance Due:			\$0.00
	First half due by:	05/15/2008	\$7,090.11
	Second half due by:	10/15/2008	\$7,090.11
Delinquent Taxes:			No

The amounts listed above do not include late payment penalties. If you are paying after the due date, call 651-430-6175 to acquire the total amount due. Late payments received without the penalty will be first applied to the penalty owed, leaving a tax amount due. Online Payment Information

Current Land Use - Use Types Project Site

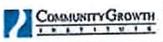
MAP 6



- | | | |
|-----------------------------|--------------------------------|-------------------|
| Farmstead | Institutional | City of Afton |
| Seasonal/Vacation | Park, Recreational or Preserve | Parcel Boundaries |
| Single Family Detached | Major Highway | Section Lines |
| Multifamily | Agricultural | Major Road |
| Retail and Other Commercial | Undeveloped | Local Road |
| Industrial and Utility | Water | |

0 0.5 1 Miles

Afton

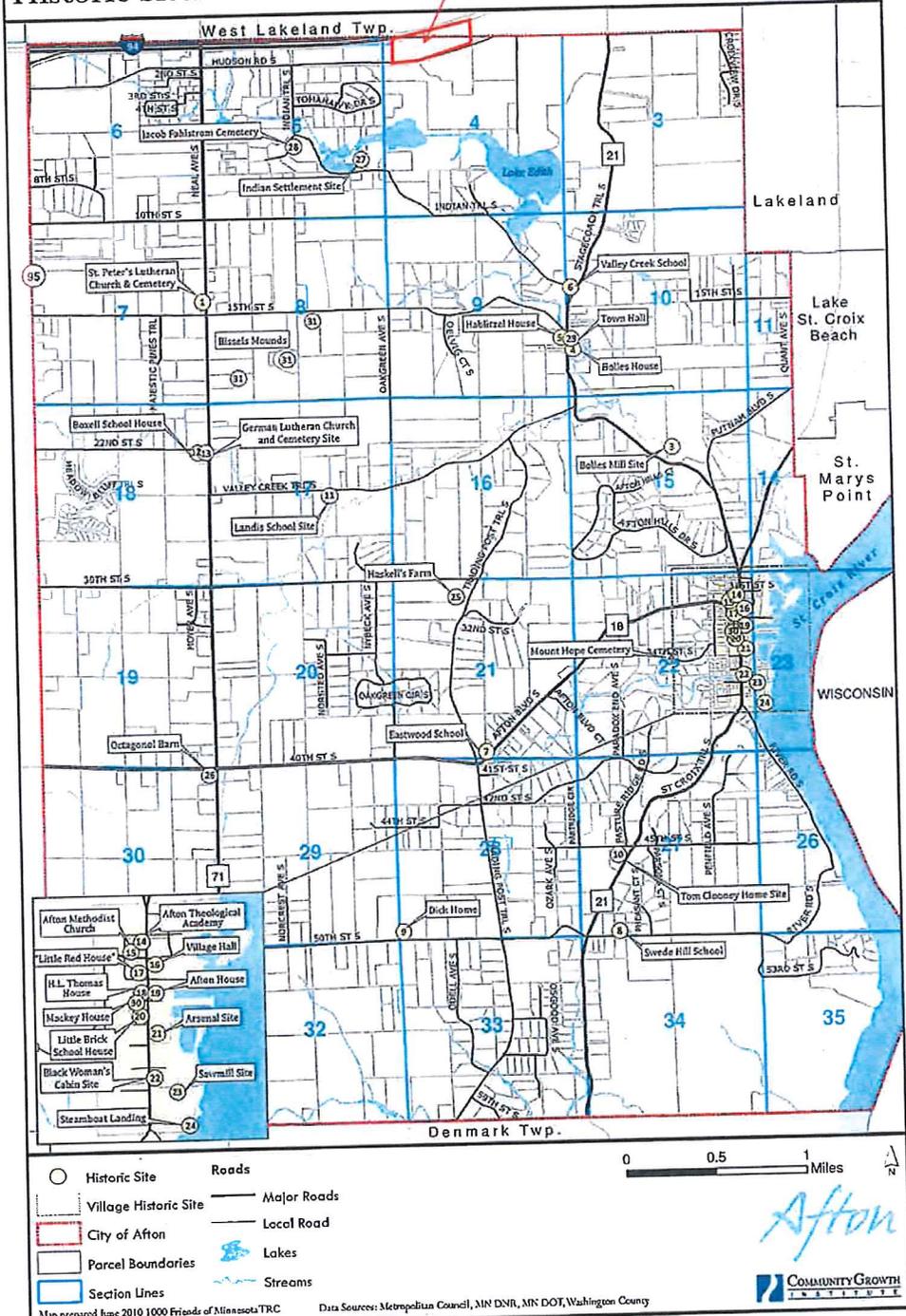


Map prepared June 2010 Data Sources: Metropolitan Council, MN DNR, MN DOT, Washington County

Historic Sites

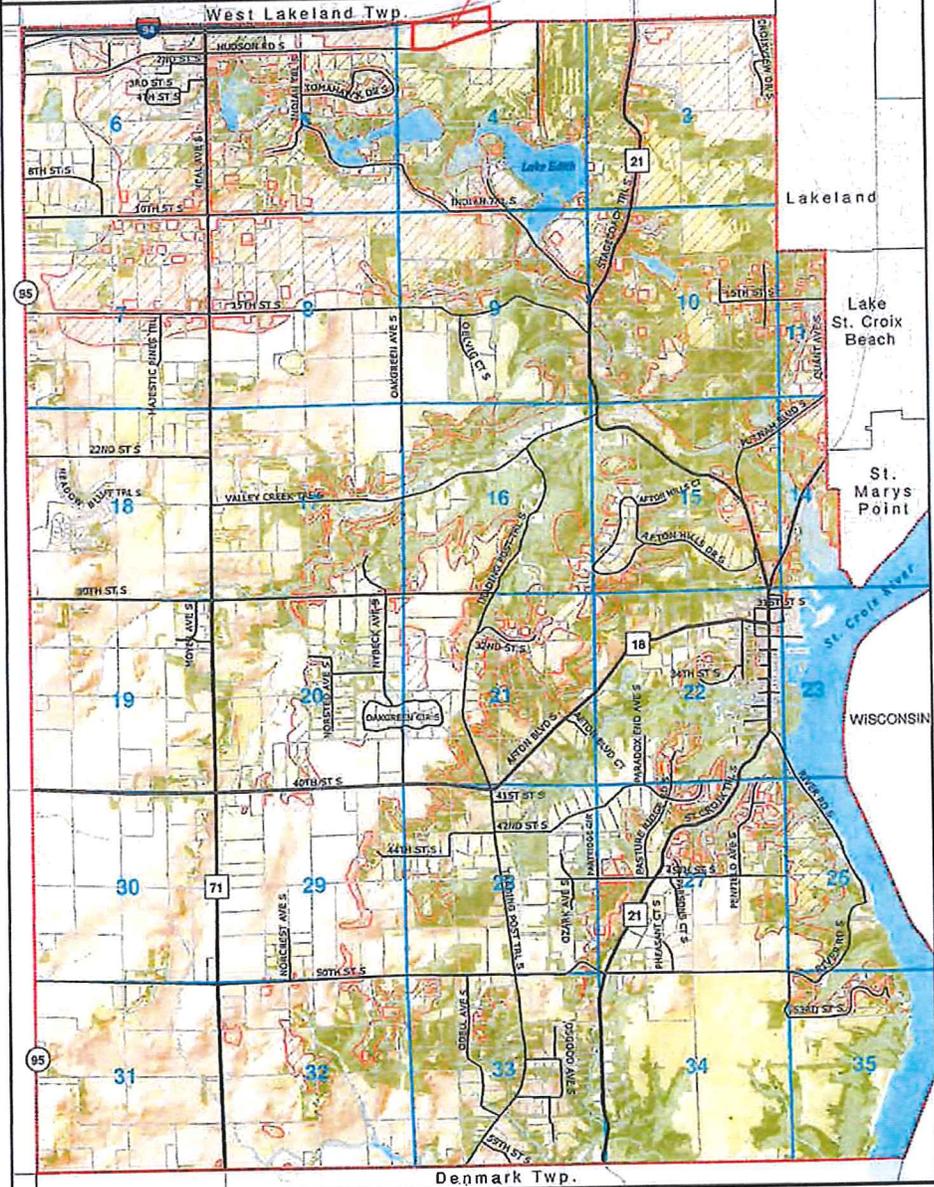
Project Site

MAP 8



Physical Features

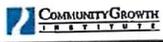
MAP 4



- | | |
|----------------------------|-------------------|
| Natural Features | Section Lines |
| Brushland and Grassland | Parcel Boundaries |
| Tree Cover | Major Roads |
| Wetlands | Local Road |
| Aggregate Resources (2020) | Lakes & Rivers |
| City of Afton | |



Afton



Map prepared June 2010 Friends of Minnesota TRC Data Sources: Metropolitan Council, MN DNR, MN DOT, Washington County

LIGHTING FIXTURE TYPE: A2, A3, A4, A5, B1, B2, C1, C2, C4, C5
MOUNTING HEIGHT: A2, A3, A4, A5: 32' W1 & C1, C4, C5: 24' W1

D-Series Size 2 LED Area Luminaire

Specifications

540° Capable Luminaire

EXAMPLE: 0542 LED 300 T100 404 THE MOST SAV DERO

Model	Power (W)	Power (VA)	Power (kVA)	Power (kW)	Power (kVA)	Power (kW)
0542 LED 300 T100 404	300	300	0.3	300	0.3	300



1 ELECTRICAL SITE LIGHTING PHOTOMETRIC PLAN
1" = 40'-0"

HALBERG ENGINEERING
Professional Consulting Engineers
170 Commerce Court
White Bear Lake, MN 55129
(612) 251-1100 • Fax (612) 748-5276

NORTH

Latson Engineering, Inc.
2524 Lakewood Road
White Bear Lake, MN 55120
(612) 447-9821
www.latsoneng.com

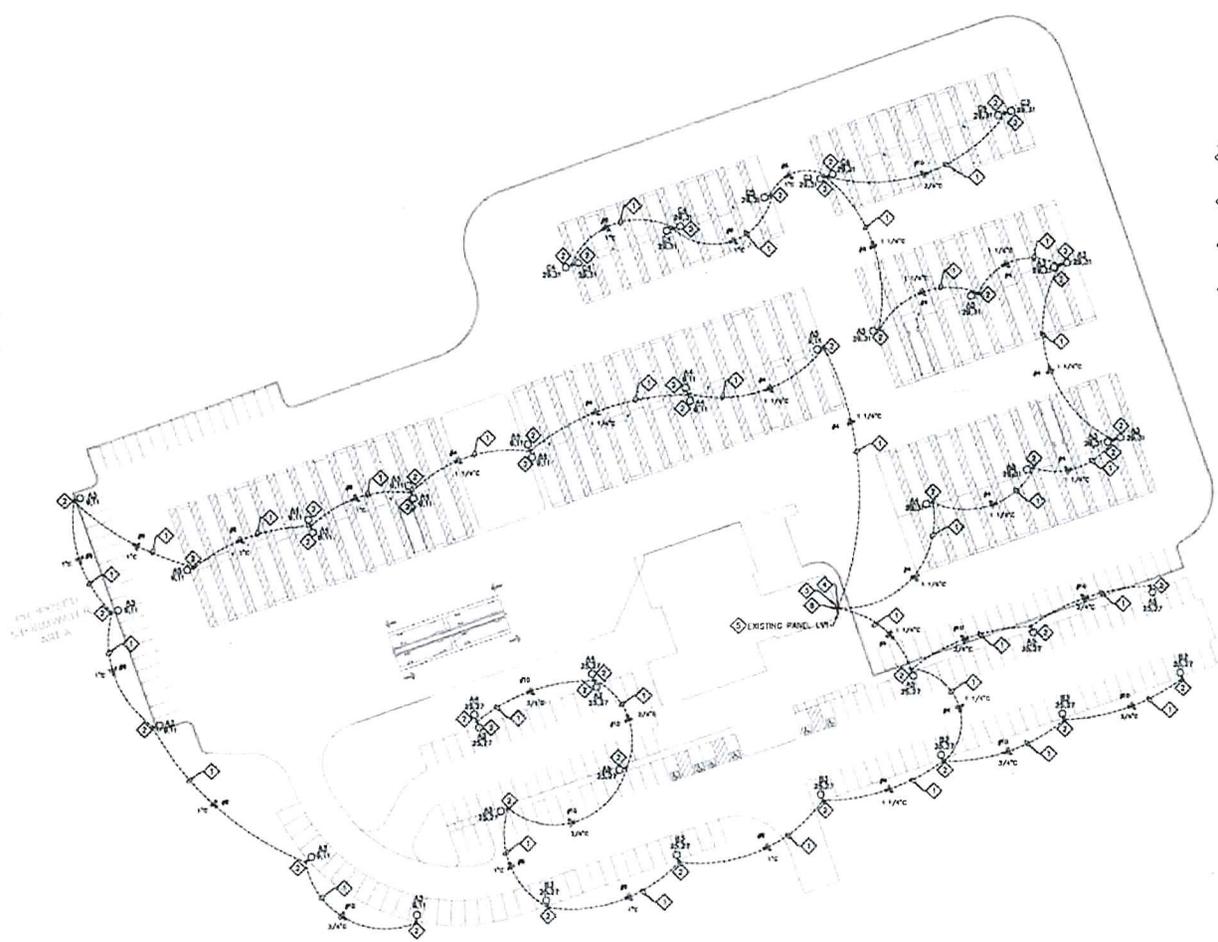
SITE REDEVELOPMENT
14386 HUDSON RD S
AFTON, MN 55001

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Paul J. Peterson
PAUL J. PETERSON, P.E.
Date: 02/11/18 Reg. No. 43379

Rev.	Date	Description

Project # 810-2818-000
Drawn By DJK
Checked By MW
Issue Date 02/11/18
Sheet Title
ELECTRICAL SITE LIGHTING PHOTOMETRIC PLAN
EP1



GENERAL NOTES

- A. VERIFY LOCATIONS OF ALL PUBLIC AND PRIVATE UNDERGROUND UTILITIES PRIOR TO PERFORMING ANY ELECTRICAL SITE WORK. COORDINATE ALL DIRECTIONAL BORING WORK WITH CITY.
- B. PROVIDE SCHEDULE 40 PVC FOR ALL UNDERGROUND CONDUITS INDICATED ON THIS PLAN. INSTALL UNDERGROUND CONDUITS A MINIMUM OF 24" BELOW FINISHED GRADE. PROVIDE A GROUNDING CONDUIT IN EACH CONDUIT. PROVIDE 1" MINIMUM SIZE FOR UNDERGROUND CONDUITS.
- C. PROVIDE #10 AWG MINIMUM CONDUCTORS FOR ALL SITE LIGHTING CONDUCTORS UNLESS NOTED OTHERWISE.
- D. PROVIDE DIMENSIONED LOCATION, FROM A PERMANENT BENCHMARK (e.g. BUILDING FOOTING/WALL), FOR ALL UNDERGROUND CONDUIT/CABLE ON THE RECORD DRAWINGS.
- E. PROVIDE LIGHT STANDARD BASE FOR EACH NEW POLE/FIXTURE SHOWN ON SITE PLAN. SEE BASE DETAIL 3 ON SHEET E4 AND LIGHT FIXTURE SCHEDULE.

KEY NOTES

- ◇ PROVIDE CONDUIT AND WIRING INDICATED BETWEEN ADJACENT POLES/LIGHT FIXTURES/JUNCTION BOXES. PROVIDE ALL CONDUIT AND WIRING AS SHOWN TO EACH POLE/LIGHT FIXTURE(S). COORDINATE WITH CONSTRUCTION WORK.
- ◇ PROVIDE NEW PARKING LOT FIXTURE, POLE, AND BASE. PROVIDE POLE BASE PER DETAIL 3 ON SHEET E4. MAKE ALL FINAL CONNECTIONS AS REQUIRED. REFER TO LIGHTING FIXTURE SCHEDULE ON SHEET E4 FOR MOUNTING HEIGHT.
- ◇ PROVIDE NEW INTERNETIC 365-DAY ASTRONOMIC DIGITAL TIMECLOCK (T2000 SERIES OR EQUAL FOR CONTROL OF SITE LIGHTING IN ELECTRICAL ROOM NEXT TO PANEL LV1). CONNECT CIRCUIT TO AVAILABLE 120V PANEL NEARBY.
- ◇ PROPOSED ROUTING OF NEW ELECTRICAL BRANCH CIRCUIT WIRING FOR NEW PARKING LOT LIGHTING FIXTURES FROM EXISTING 200/120V PANEL LV1. PROVIDE 1 1/2" C. 3/4" x 4" Ø ID BRANCH CIRCUIT WIRING AND CONDUIT FROM EXISTING PANEL LV1 CIRCUITS 811, 23, 27, 29, 31 IN ELECTRICAL ROOM. THROUGH NEW POWER CONTACTOR(S) CONTROLLED BY NEW TIMECLOCK WITH 2P/2 120V CONNECTIONS. THEN 1 1/2" C. THROUGH EXTERIOR WALL. ROUTING DOWN ALONG EXTERIOR WALL TO UNDERGROUND. THEN TRENCHING OUT TO POLE MOUNTED LIGHTING FIXTURE NEAR PARKING LOT. MAKE ALL FINAL CONNECTIONS AS REQUIRED. FIELD VERIFY OPTIMAL BRANCH CIRCUIT ROUTING THROUGH BUILDING.
- ◇ EXISTING PANEL LV1 SHOWN FOR REFERENCE ONLY. MAINTAIN EXISTING CONNECTIONS AND CONTROLS UNLESS NOTED OTHERWISE.
- ◇ PROVIDE NEW POWER CONTACTOR(S) FOR CONTROL OF PARKING LOT LIGHTING CONDUITS. SEE SPECIFICATION SECTION 28.05.21 FOR MORE INFORMATION.

1 ELECTRICAL LIGHTING SITE PLAN
1" = 40'-0"

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HALLBERG ENGINEERING
1700 University Avenue
St. Paul, MN 55104
(612) 746-1100 • Fax (612) 746-4375

SITE REDEVELOPMENT
14386 HUDSON RD S
AFTON, MN 55001

Project: 24-117-0000-01
Date: 02.11.18
Rev: 01

Rev	Date	Description

HALLBERG ENGINEERING
1700 University Avenue
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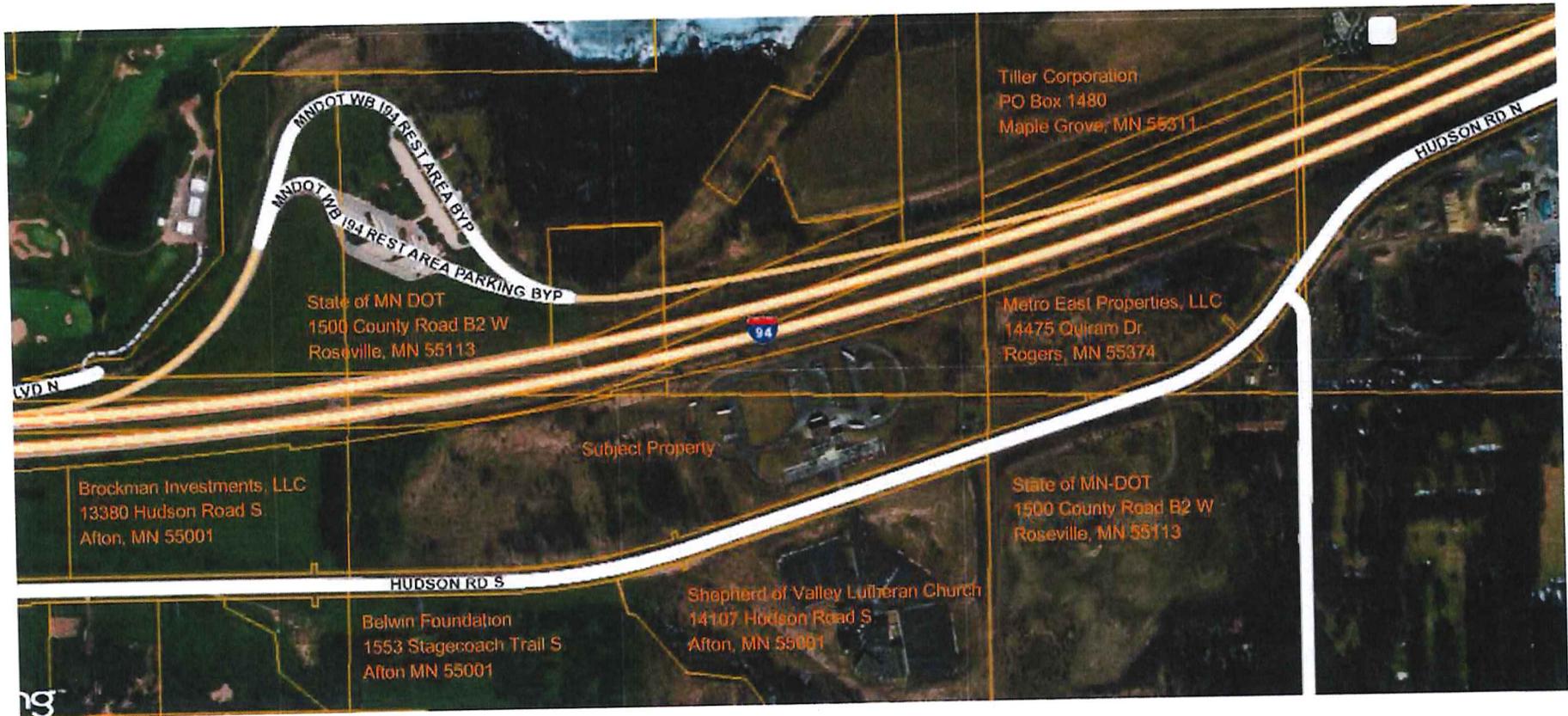


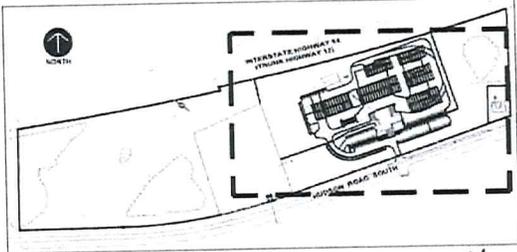
ELECTRICAL LIGHTING SITE PLAN

E2

Sheet

Property Owners within 500'





KEY PLAN
NOT TO SCALE

INTERSTATE HIGHWAY 94
(TRUNK HIGHWAY 12)
(MIN DOT NEW PLAT NO R2-30)

NOTES

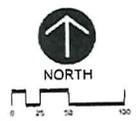
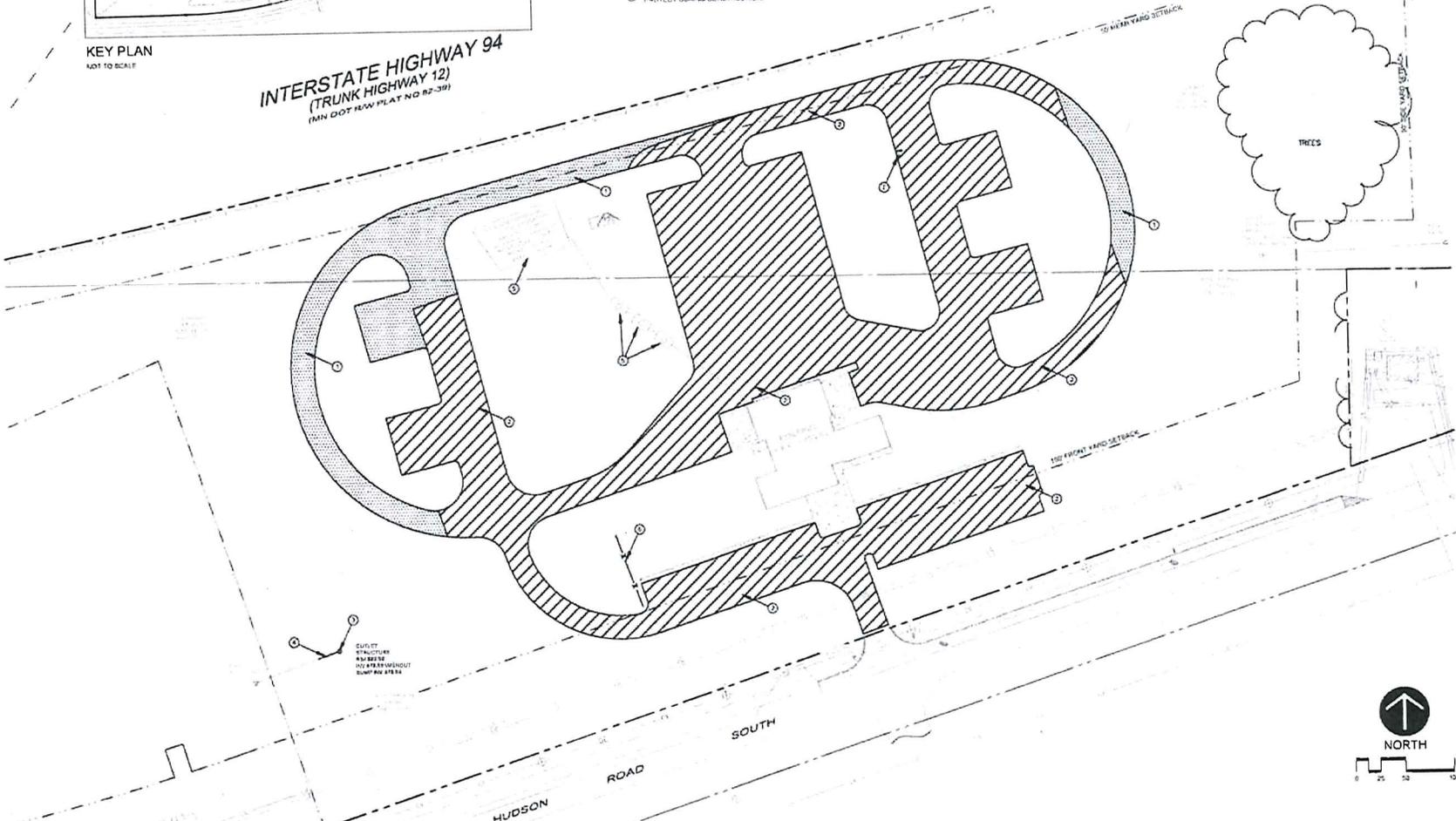
1. MAINTAIN, REMOVE, AND DISPOSE OF BITUMINOUS PAVEMENT SECTION.
2. 2" MILL OF EXISTING BITUMINOUS PAVEMENT REMOVE OF MILLINGS OFF-SITE.
3. REMOVE AND DISPOSE OF EXISTING STORM SEWER MANHOLE.
4. REMOVE AND DISPOSE OF EXISTING STORM SEWER PIPING.
5. PROTECT EXISTING SEPTIC DRAIN FIELD AREA DURING CONSTRUCTION. NO CONSTRUCTION TRAFFIC IS ALLOWED IN THIS AREA.
6. REMOVE AND DISPOSE OF EXISTING FENCE FABRIC AND GATES POSTS/FOUNDATION.
7. ADJUSTING CURBING TO BE FLUSH WITH NEW PAVEMENT. PROTECT EXISTING CONSTRUCTION.

DEMOLITION NOTES

1. Verify all existing utility locations.
2. It is the responsibility of the Contractor to perform or coordinate all necessary utility relocations and adjustments from existing utility locations to all other structures and buildings. These components include, but are not limited to: water, sanitary/sewer, cable tv, telephone, gas, electric, etc.
3. Prior to beginning work, contact Cooper State OneCall (800-454-0002) to locate utilities throughout the area under construction. The Contractor shall install the services of a single utility locator to locate the precise utilities.
4. Sawcut along edges of pavements, sidewalks and curbs to remain.
5. All construction shall be performed in accordance with state and local standards/specifications for construction.

SYMBOL LEGEND

- REMOVE AND DISPOSE OF EXISTING BITUMINOUS PAVEMENT SECTION
- 2" MILL OF EXISTING BITUMINOUS PAVEMENT
- BUILDING SETBACK LINES



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Minnetonka, MN 55345
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SCANNELL PROPERTIES
284 GROVE LANE EAST, SUITE #140
WAYZATA, MN 55391

2018 PARKING LOT IMPROVEMENTS
14386 HUDSON ROAD SOUTH
AFTON, MN 55001

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

Greg A. Bucher, P.E.
Date: 03/01/18 Reg. No. 25793

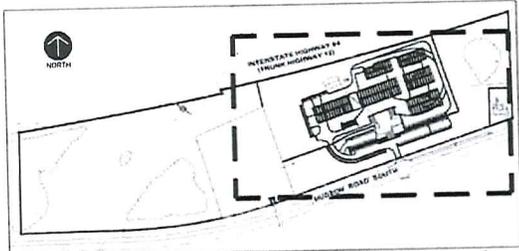
Rev.	Date	Description

Project # 12186010
Drawn By: KJA
Checked By: GAB
Issue Date: 03/01/18
Sheet Title:

DEMOLITION PLAN

C1

P:\Projects\2018\180510 - Century Mall Parking Lot Improvements\CDesign\AFTON 180510\180510 C1.dwg



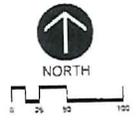
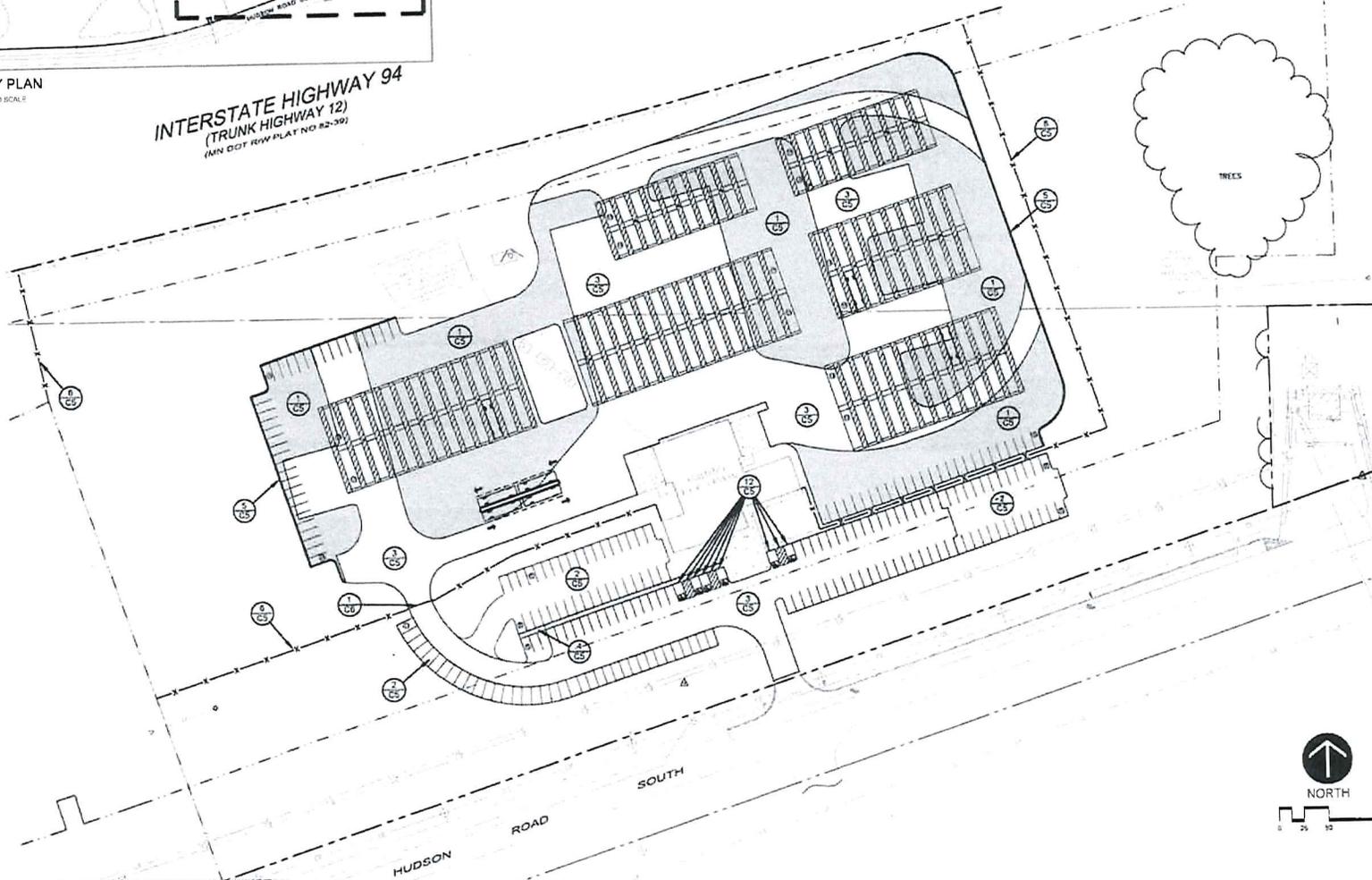
AREAS

- TOTAL GITE AREA = 37.03 ACRES
- EXISTING IMPERVIOUS AREA = 5.83 ACRES
- PROPOSED IMPERVIOUS AREA = 1.17 ACRES
- TOTAL IMPERVIOUS AREA = 7.01 ACRES
- PERCENT OF IMPERVIOUS ON SITE = 18.93%

WHERE APPLICABLE, DIMENSIONS ARE FROM BACK OF CURB TO BACK OF CURB OR BACK OF CURB TO END OF STALL LINE.

SYMBOL LEGEND

- NEW 8" BITUMINOUS PAVEMENT OVER NEW 4" AGGREGATE BASE SEE DETAIL 103
- NEW 3" BITUMINOUS OVERLAY SEE DETAIL 103
- NEW 3" BITUMINOUS PAVEMENT OVER NEW 4" AGGREGATE BASE SEE DETAIL 103
- NEW 4" CONCRETE PAVEMENT OVER NEW 4" BASE AGGREGATE SEE DETAIL 103



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ACTON, MN 55001

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I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.

Greg A. Bucher, P.E.
Date: 03/01/18 Reg. No. 23782

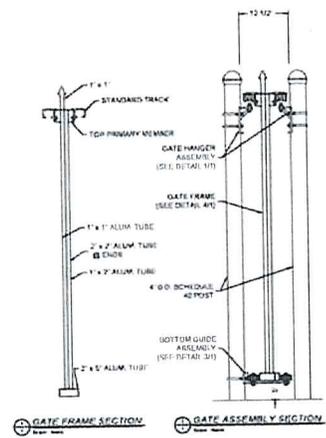
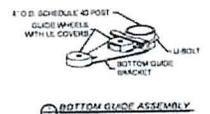
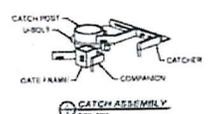
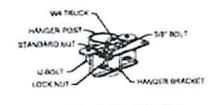
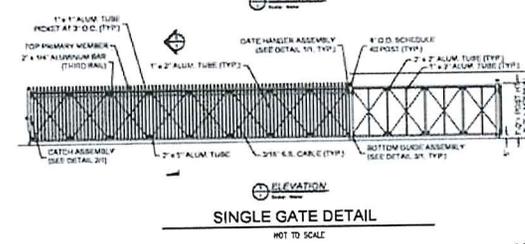
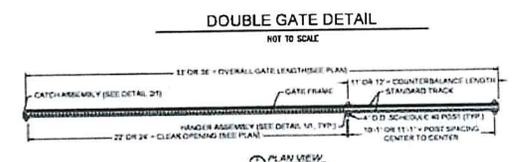
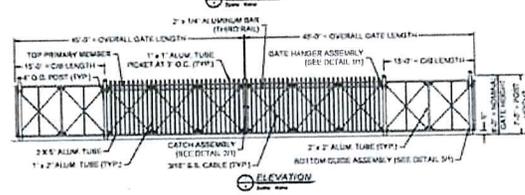
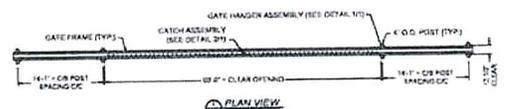
Rev.	Date	Description

Project # 12164010
Drawn By: KJA
Checked By: GAB
Issue Date: 03/01/18
Drawn Title:

PAVING AND DIMENSION PLAN

C2

Project: 14386 - 2018 - Century Truck Training Center - Paving & Dimension Plan - 14386 - 2018 - C2.dwg



- NOTES:
1. ALL HARDWARE IS PROVIDED FOR 4" O.D. SCHEDULE 40 POSTS.
 2. GATE ELEVATION IS VIEWED FROM OUTSIDE THE SECURE AREA LOOKING IN.
 3. FOR GATES THAT REQUIRE TWO P.C.F. FABRICATION, A 5" ALUMINUM CHANNEL SHALL BE SUBSTITUTED FOR THE 2" X 2" ALUMINUM TUBE.

GEORGETOWN SLIDE GATE DETAIL
NOT TO SCALE

EROSION CONTROL NOTES

1. Owner and Contractor shall obtain MPCA/DPDES permit. Contractor shall be responsible for all fees pertaining to this permit. The SWPPP shall be kept on site at all times.
2. Install temporary erosion control measures (silt practices, silt fence, and rock construction entrance) prior to beginning any excavation or demolition work at the site.
3. Erosion control measures shown on the site control plan are the absolute minimum. The contractor shall install temporary earth dikes, sediment traps or basins, additional siltation fencing, erosion dikes and silt panels to the contour in deemed necessary to further control erosion. All changes shall be recorded in the SWPPP.
4. All construction site entrances shall be surfaced with crushed rock across the entire width of the entrance and from the entrance to a point 100' into the construction zone.
5. The toe of the silt fence shall be staked in a minimum of 6". The bench backfill shall be compacted with vibratory plate compactor.
6. All grading operations shall be conducted in a manner to minimize the potential for soil erosion. Sediment control practices must be established on all down gradient parameters before any up gradient land disturbing activities begin.
7. All exposed soil areas must be stabilized as soon as possible to limit soil erosion but in no case later than 14 days after the construction activity in that portion of the site has temporarily or permanently ceased. Temporary stabilizers without aggregate (e.g., silt or organic components) (e.g., clear aggregate stockpiles, demolition concrete stockpiles, sand stockpiles) and the structural base components of basins, parking lots and similar surfaces are exempt from this requirement.
8. The normal rainfall protection of any temporary or permanent storage ditch or water that drains water from any portion of the construction site or diverts water around the site, must be stabilized with 200 mesh silt from the property edge, at the point of discharge into any surface water. Stabilization of the ditch shall be completed within 24 hours after connecting to surface water. Stabilization of the remaining portions of any temporary or permanent ditches or weirs must be completed within 14 days after connecting to a surface water and construction in that portion of the site has temporarily or permanently ceased.
9. Pipe outlets must be provided with energy dissipation within 24 hours of connection to surface water.
10. All silt traps shall be installed with a filter material in all separation fabric and comply with the Minnesota Department of Transportation Standard Specifications.
11. All storm sewers discharging into wetlands or water bodies that outlet at or below the normal water level of the respective wetland or water body at an elevation where the downstream slope is 1 percent or flatter. The normal water level shall be the elevation of the outlet of the wetland or water body.
12. All storm sewer catch basins not needed for site drainage during construction shall be covered to prevent runoff from entering the storm sewer system. Catch basins necessary for site drainage during construction shall be provided with the protection.
13. In areas where concentrated flows occur (such as washes and areas in front of storm catch basins) and adjacent to the main control facilities shall be backed by stabilization structures to protect those facilities from the concentrated flows.
14. Inspect the construction site every seven days during active construction and within 24 hours after a rainfall event greater than 0.5 inches in 24 hours. All inspections shall be recorded in the SWPPP.
15. All silt fences must be repaired, replaced or supplemented when they become nonfunctional or the sediment reaches 1/2 of the height of the fence. These repairs must be made within 24 hours of discovery or as soon as field conditions allow. All repairs shall be recorded in the SWPPP.
16. In areas that adjacent the construction site, off-site accumulations of sediment must be removed in a manner and at a frequency sufficient to minimize off-site impacts.
17. All soils tracked onto pavements shall be removed daily.
18. All inhibition areas must be inspected to ensure that no sediment from ongoing construction activity is reaching the inhibition area and these areas are protected from construction due to construction equipment driving across the inhibition area.
19. Temporary and stockpiles must have silt fence or other effective sediment controls, and control be placed in surface waters, including streamwater conveyances such as ditches and gutter systems, in conduits and ditches unless there is a bypass in place for the stormwater.
20. Collected sediment, asphalt and concrete mixings, floating debris, paper, plastic, fabric, construction and demolition debris, and other wastes must be disposed of properly and must comply with MPCA disposal requirements.
21. All grease, paint and any hazardous substances must be properly stored, including secondary containment, to prevent spills, leaks or other discharge. Restricted access to storage areas must be provided to prevent vandalism. Storage and disposal of hazardous waste must be in compliance with MPCA regulations.
22. External washing of buses and other construction vehicles must be limited to a designated area of the site. Runoff must be contained and waste properly disposed of. No engine depressuring is allowed onsite.
23. All liquid and solid wastes generated by concrete washout operations must be contained in a leak-proof contained facility or impermeable liner. A contained silt lined facility not allow washout liquids to enter ground water or constitute an impermeable liner. The liquid and solid wastes must not contact the ground and their must not be runoff from the concrete washout operations or areas. Liquid and solid wastes must be disposed of properly and in compliance with MPCA regulations. A sign must be installed adjacent to each washout facility to inform concrete equipment operators to utilize the proper facilities.
24. Upon completion of the project and stabilization of all graded areas, all temporary erosion control facilities (silt fences, hay bales, etc.) shall be removed from the site.
25. All permanent sedimentation basins must be restored to their design condition immediately following stabilization of the site.
26. Contractor shall submit Notices of Termination for MPCA/DPDES permit within 30 days after Final Stabilization.

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WANTZATA, MN 55391

PRELIMINARY NOT FOR CONSTRUCTION
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AFTON, MN 55801

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.
Greg A. Ruchel
Greg A. Ruchel, P.E.
Date: 03/21/18 Reg. No. 23793

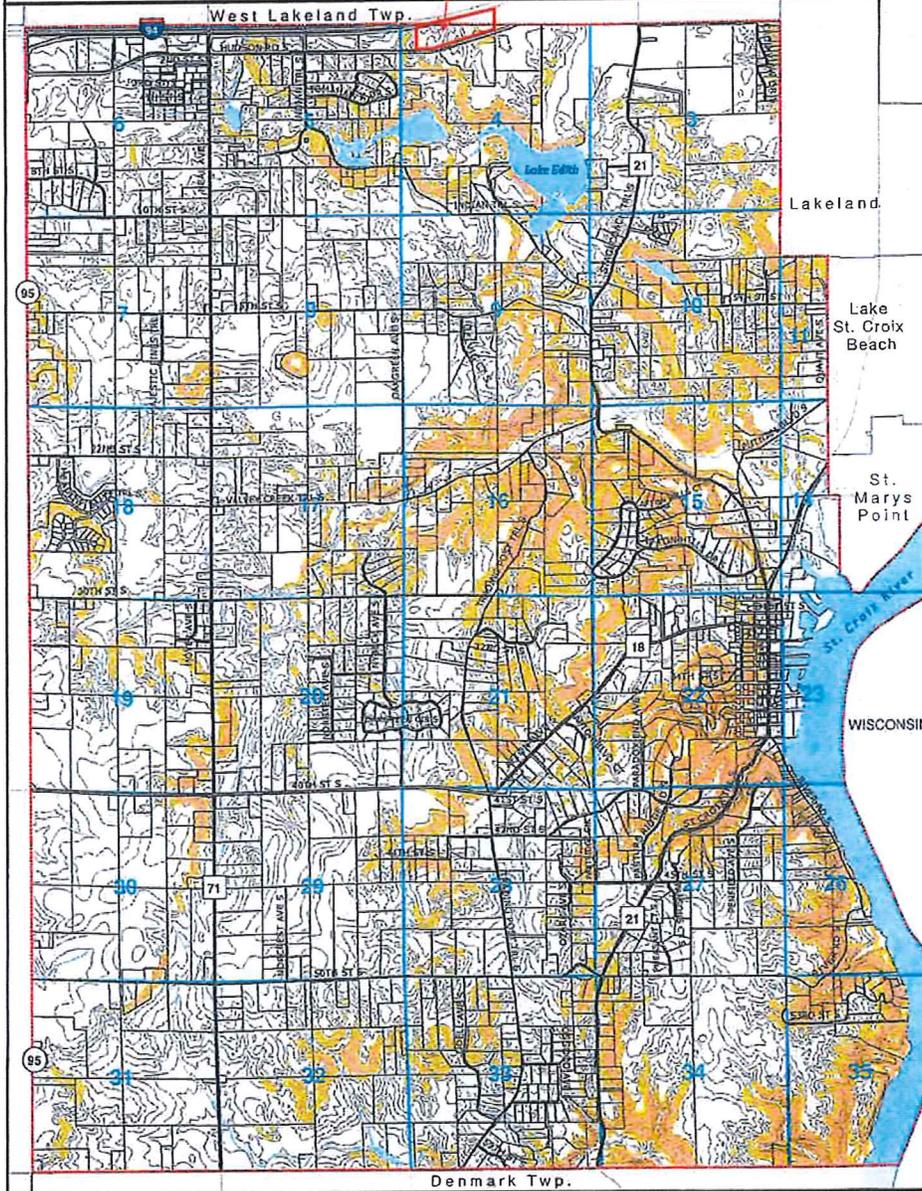
Rev.	Date	Description

Project # 12150010
Drawn By KJA
Checked By DAD
Issue Date 03/21/18
Sheet Title

DETAILS
C6

Topography & Steep Slopes

MAP 5

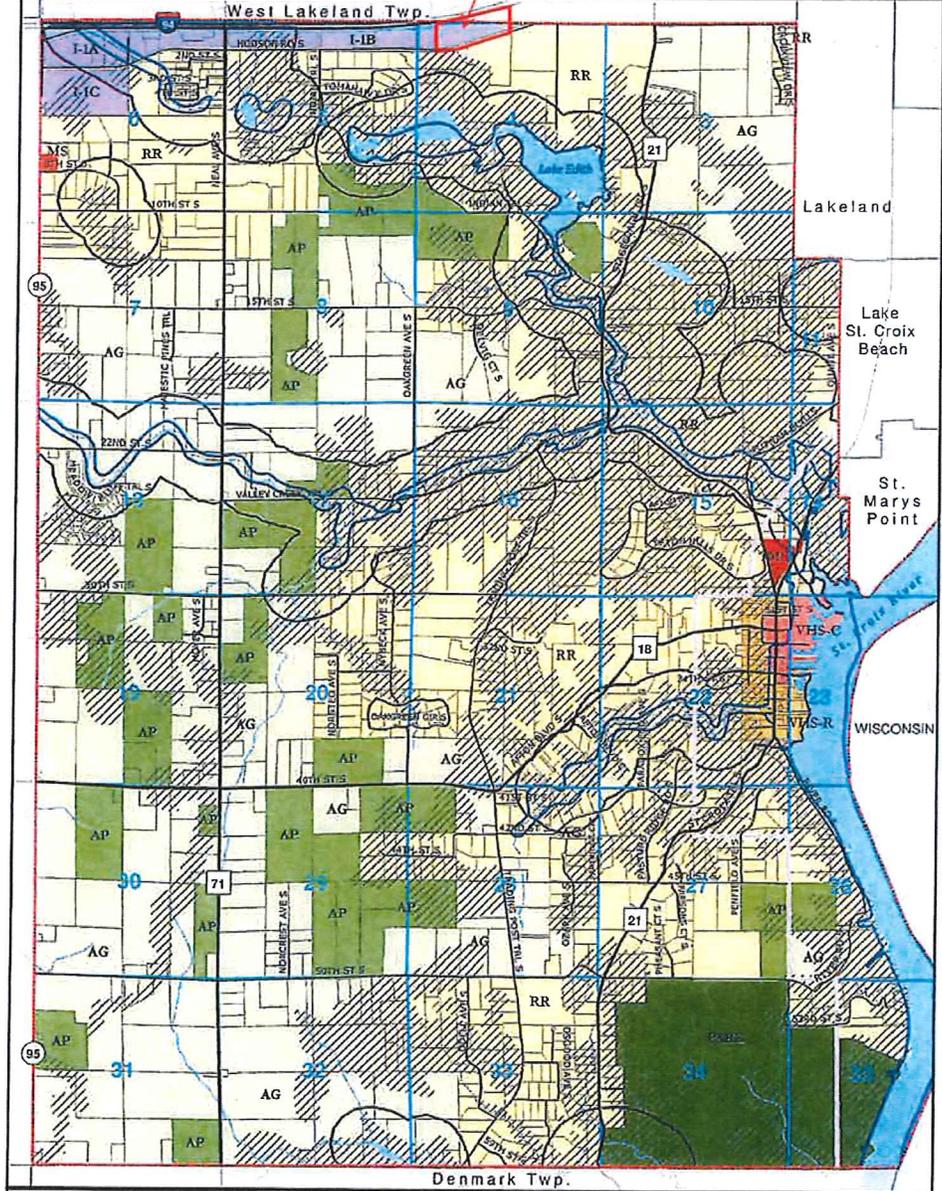


Steep Slopes	City of Afton	Major Roads	0 0.5 1 Miles	
Slope Greater than 12%	Section Lines	Local Road		
Slope Greater than 18%	Parcel Boundaries	Lakes		
10-Foot Contours	Streams			



Zoning Map

MAP 11



Zoning Districts	State Park	City of Afton	Streams	0 0.5 1 Miles
Agriculture	Marina Services	Contervancy Overlay	Section Lines	
Ag Preserve	St. Croix River Bluffland	Major Road	Local Road	
Village Historic Site- Commercial	Floodplain Overlay (100 Year)	Lakes & Rivers		
Industrial	Shoreland Management Areas			
Village Historic Site- Residential				
Rural Residential				

Map prepared October 2010 1000 Friends of Minnesota/TRC Data Sources: City of Afton, Metropolitan Council, MN DNR, MN DOT, Washington County