



COUNCIL WORK SESSION AGENDA

AFTON CITY COUNCIL CHAMBERS

3033 St. Croix Trail South

Tuesday, March 10, 2015

At 1:00 p.m.

- 1. CALL TO ORDER**
- 2. ROLL CALL**
- 3. APPROVAL OF AGENDA – March 10, 2015 Council Work Session**
- 4. CITY COUNCIL BUSINESS**
 - a. **Downtown Improvement Projects**
 - 1) **CR 21 Design**
 - 2) **Local Street Design**
 - 3) **March 17 Council Meeting Action Items**
 - 4) **Linear Project Schedule**
 - 5) **Bridge Railings Design**
 - 6) **No Parking Resolution**
 - 7) **Buildability of Substandard Lots in the VHS**
- 5. ADJOURN**

A quorum of the City Council or Other Commissions may be present to receive information at, but not limited to, any of the following meetings: Planning Commission; the Public Works Committee; Parks Committee; Design Review and Heritage Preservation Commission; Lower St. Croix Cable Commission; LSCWMO; MSCWMO; I-94 Corridor Coalition and the 5-City Mayor's Alliance.

City of Afton
3033 St. Croix Trl, P.O. Box 219
Afton, MN 55001

Meeting Date March 10, 2015

Council Memo

To: Honorable Mayor Bend and Members of the City Council
From: Ron Moorse, City Administrator
Date: March 5, 2015
Re: CR 21 Design

On March 4, Mayor Bend, Council member Nelson, Diane Hankee and I met with Wayne Sandberg and Commissioner Gary Kriesel of Washington County to discuss desired changes to several design elements of the CR 21 Project. These included the width of the shoulders at the southern end of the project, the turn lanes at Afton Boulevard and CR 21, an east/west pedestrian crosswalk at Afton Boulevard and CR 21, and the width of the parking spaces on CR 21.

The County is very firm about not making design changes. Their perspective is that they have been flexible on a number of issues, and they believe the current design is the right balance between narrowing the road and providing a safe road that accommodates all uses --motorized vehicles, bicycles and pedestrians. The one item the County was open to considering was providing an east/west crosswalk at Afton Boulevard and CR 21. More detail regarding the meeting will be provided at the work session.

In addition to the County's position regarding design changes, making changes to the final design at this time will impact timing and costs. The costs of making changes to the final design will need to be weighed against the benefits of the changes.

City of Afton

3033 St. Croix Trl, P.O. Box 219
Afton, MN 55001

Meeting Date March 10, 2015

Council Memo

To: Honorable Mayor Bend and Members of the City Council
From: Ron Moore, City Administrator
Date: March 5, 2015
Re: Local Street Design

The design elements of the local streets need to be finalized to enable final plans to be completed. Diane Hanke, City Engineer will walk through the key elements of the local street designs at the work session. The Council briefly discussed design elements related to 33rd Street and Pike Street its February 18 work session, but did not have time to address them in depth.

33rd Street

The overall goal of the 33rd Street design is to create an attractive, pedestrian-friendly gateway to the St. Croix River, which will be enhanced by an opening in the levee and a plaza that will provide a gathering place for community events. The design concept for the street is to make it a one-way street toward the River, and to open up the view to the River by eliminating parking on the north side of the street and providing angled parking and a sidewalk on the south side of the street. While this design concept has many benefits, it also has a number of challenges including the following:

- The loss of parking along the north side of the street that has primarily served the Afton House
- The need to enable traffic coming into the area on 33rd Street to exit through the Afton House's rear parking area
- Ensure adequate traffic movement from 33rd Street to 32nd Street, particularly during busy weekends when boat trailers are lined up on 32nd Street waiting to launch at the Marina.

Pike Street

The Pike Street right-of-way is currently used as a one-way street on its northern portion and as a bike trail on its southern portion. Pike Street will be reconstructed as a two-way street for use during the construction of the downtown improvements. This is necessary to provide access to the commercial businesses during the reconstruction of CR 21. Once the construction is complete, there are several options for Pike Street. It could be returned to its current design and use, it could be a one-way street with a bike trail, or it could be retained as a two-way street. The residents along Pike Street are opposed to the Street having a more intense use than its current use.

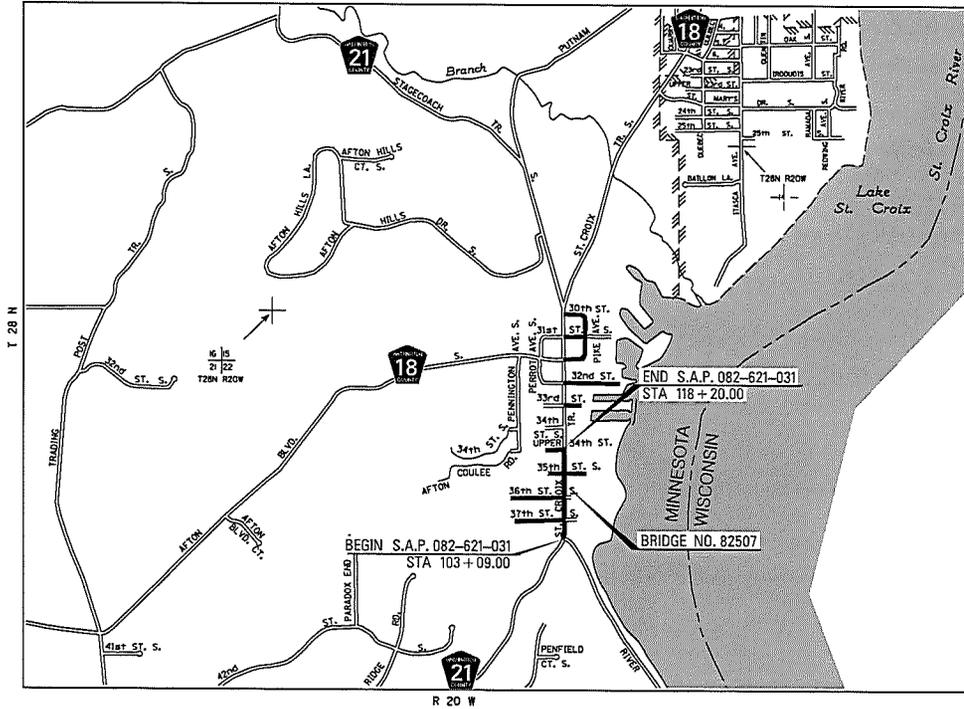
MINNESOTA DEPARTMENT OF TRANSPORTATION

CITY OF AFTON WASHINGTON COUNTY

S.A.P. 082-621-031

CONSTRUCTION PLAN FOR GRADING, BITUMINOUS SURFACING, SANITARY SEWER, STORM SEWER, AND APPURTENANT WORK

LOCATED ON CSAH 21 (ST. CROIX TRAIL S.) BETWEEN RIVER ROAD AND 34TH STREET (Geographic Description)



CSAH 21
S.A.P. 082-621-031

GROSS LENGTH	1511.00 FT	0.286 MILES
BRIDGES LENGTH	0.00 FT	0.000 MILES
EXCEPTIONS LENGTH	0.00 FT	0.000 MILES
NET LENGTH	1511.00 FT	0.286 MILES

CSAH 21 DESIGN DESIGNATION

R VALUE	= 30	S _{N18} 1991	= 626,000
ADT (ESTIMATE YEAR) 2015	= 4300	DESIGN SPEED	= 30
ADT (ESTIMATE YEAR) 2020	= 8300	BASED ON	STOPPING SIGHT DISTANCE
DHV	= NA	HEIGHT OF EYE	3.5 FT
D	= 50/20	DESIGN SPEED NOT ACHIEVED AT:	2.0 FT
I	= NA	STA.	TO STA.
SOIL FACTOR	= NA	STA.	TO STA.
DESIGN LOAD	10 TON	SHOULDER WIDTH	6
FUNC. CLASSIFICATION	A MINOR CONNECTOR	NO. OF PARKING LANES	2
NO. OF TRAFFIC LANES	2		



PROJECT LOCATION
COUNTY: WASHINGTON
DISTRICT: METRO

THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D THIS UTILITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF C1/ASCE 3802, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA."

PLAN SYMBOLS

STATE LINE	---
COUNTY LINE	---
TOWNSHIP OR RANGE LINE	---
SECTION LINE	---
QUARTER LINE	---
SIXTEEN LINE	---
RIGHT-OF-WAY LINE	---
SLOPE EASEMENT	---
PRESENT RIGHT-OF-WAY	---
CONTROL OF ACCESS LINE	---
PROPERTY LINE (EXCEPT LAND LINES)	---
VACATED PLATTED PROPERTY	---
CORPORATE OR CITY LIMITS	---
TRUNK HIGHWAY CENTER LINE	---
RETAINING WALL	---
RAILROAD RIGHT-OF-WAY	---
RIVER OR CREEK	---
DRY RUN	---
DRAINAGE DITCH	---
DRAIN TILE	---
CULVERT	---
DROP INLET	---
GUARD RAIL	---
BARBED WIRE FENCE	---
WOVEN WIRE FENCE	---
CHAIN LINK FENCE	---
RAILROAD SHOW FENCE	---
STONE WALL OR FENCE	---
HOEDGE	---
RAILROAD CROSSING SIGN	---
RAILROAD CROSSING BELL	---
ELECTRIC WARNING SIGN	---
CROSSING GATE	---
MEANDER CORNER	---
SPRINGS	---
MINOR	---
TIMBER	---
ORCHARD	---
BRUSH	---
NURSERY	---
CATCH BASIN	---
FIRE HYDRANT	---
CATTLE GUARD	---
OVERPASS (HIGHWAY OVER)	---
UNDERPASS (HIGHWAY UNDER)	---
BRIDGE	---
BUILDING (LOW STORY FRAME)	---
F - FRAME	---
S - STONE	---
T - TILL	---
B - BRICK	---
ST - STUCCO	---
IRON ROD OR PIPE	---
MOMENT (STEEL, CONCRETE, OR METAL)	---
WOODEN HUB	---
GRANITE PIT	---
SAND PIT	---
BORROW PIT	---
ROCK QUARRY	---

UTILITY SYMBOLS

POWER POLE LINE	---
TELEPHONE OR TELEGRAPH POLE LINE	---
JOINT TELEPHONE AND POWER ON POWER POLE	---
OR TELEPHONE POLES	---
ANCHOR	---
STREET LIGHT	---
PEDESTAL (TELEPHONE CABLE TERMINAL)	---
GAS MAIN	---
WATER MAIN	---
CONDUIT	---
TELEPHONE CABLE IN CONDUIT	---
ELECTRIC CABLE IN CONDUIT	---
TELEPHONE MANHOLE	---
ELECTRIC MANHOLE	---
BURIED TELEPHONE CABLE	---
BURIED ELECTRIC CABLE	---
AERIAL TELEPHONE CABLE	---
SEWER (SANITARY OR STORM)	---
SEWER MANHOLE	---

SCALES

PLAN	50'
PROFILE	50'
INDEX MAP	2000'
GENERAL LAYOUT	100'

GOVERNING SPECIFICATIONS

THE 2014 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" AND THE 2014 EDITION OF THE "MATERIALS LAB SUPPLEMENTAL SPECIFICATIONS FOR CONSTRUCTION" SHALL GOVERN.

ALL TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE LATEST EDITION OF THE MINNESOTA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, INCLUDING THE LATEST EDITION OF THE FIELD MANUAL FOR TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS.

INDEX

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4 - 6	ESTIMATED QUANTITIES
7 - 8	QUANTITY TABULATIONS
9 - 11	EARTHWORK TABULATION AND SUMMARY
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219 - 239	CROSS SECTIONS - LEVEE
B1 - B10	BOX CULVERT PLANS

THIS PLAN CONTAINS 249 SHEETS

ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS AND ORDINANCES WILL BE COMPLIED WITH IN THE CONSTRUCTION OF THIS PROJECT.

SIGNATURE: _____ TYPED OR PRINTED NAME: DIANE L. HANKEE, PE
CITY OF AFTON CITY ENGINEER
DESIGN ENGINEER I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
DATE: XXXXXX LICENSE NUMBER: 43338

APPROVED CITY OF AFTON ENGINEER _____ DATE _____

APPROVED WASHINGTON COUNTY ENGINEER _____ DATE _____

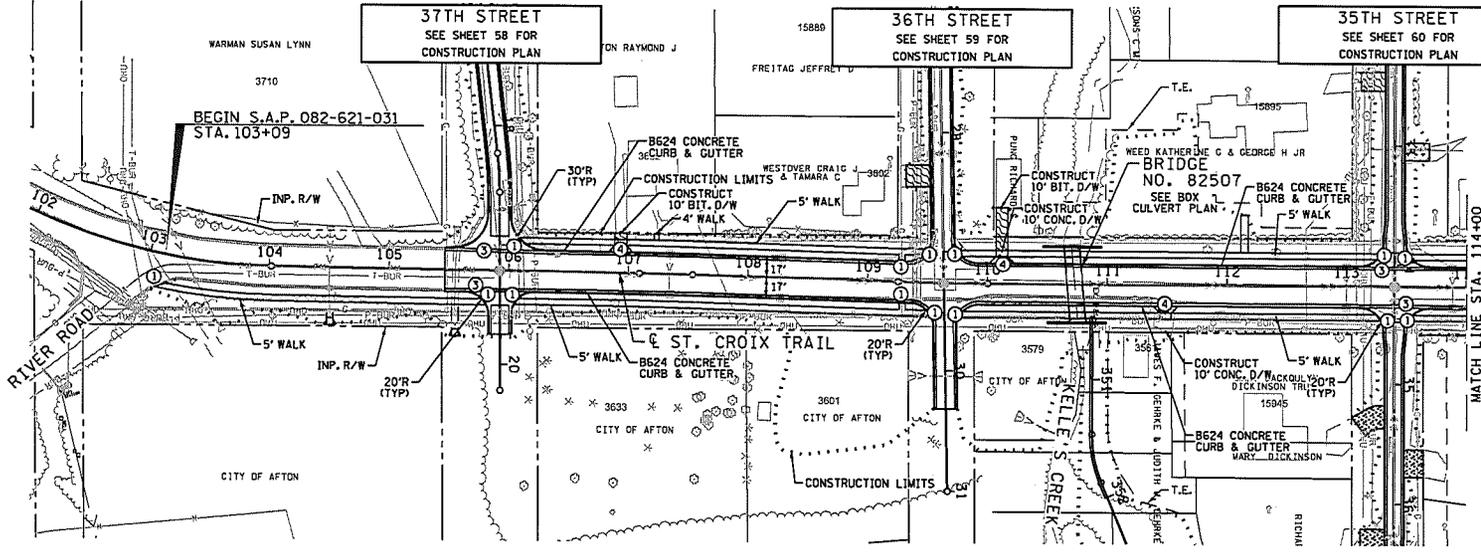
DISTRICT STATE AID ENGINEER REVIEWED FOR COMPLIANCE WITH STATE AID RULES/POLICY _____ DATE _____

APPROVED FOR STATE AID FUNDING STATE AID ENGINEER _____ DATE _____

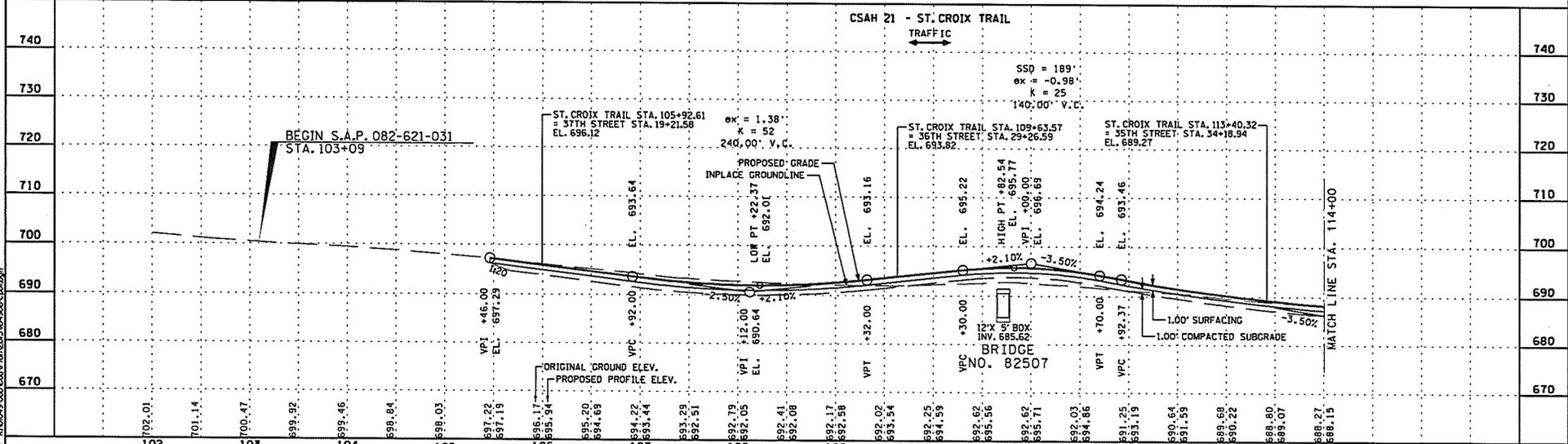
S.A.P. 082-621-031

SHEET 1 OF 239 SHEETS

CSAH 21 - St. CROIX TRAIL



- SCALE IN FEET
0 50 100
- LEGEND
- TEMPORARY PAVEMENT
 - BITUMINOUS DRIVEWAY PAVEMENT
 - CONCRETE DRIVEWAY PAVEMENT
 - AGGREGATE DRIVEWAY
 - ① CONSTRUCT CONCRETE PEDESTRIAN CURB RAMP W/ TRUNCATED DOMES. SEE MISCELLANEOUS DETAILS.
 - ② CURB & GUTTER DESIGN SPECIAL.
 - ③ VALLEY CUTTER SEE DETAIL.
 - ④ CONSTRUCT CONCRETE APRON SEE MISCELLANEOUS DETAILS AND STANDARD PLATE 1035H.
- NOTES:**
- 1) ALL DIMENSIONS ARE TO FACE OF CURB OR EDGE OF BITUMINOUS.
 - 2) SEE INTERSECTION DETAILS FOR ADDITIONAL INFORMATION AT ROADWAY INTERSECTIONS.
 - 3) SEE MISCELLANEOUS REMOVAL PLAN FOR LIMITS OF EXISTING PAVEMENT TO REMAIN.
 - 4) SEE SIGNING AND STRIPING PLAN FOR LANE WIDTHS.



DATE: 3/12/2015 11:56:21 AM
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NO.	DATE	BY	CHK	REVISIONS	DESIGNED BY	CHECKED BY	APPROVED BY
					THIG		
					MWM		
					SDD		
					DLIT		

PROJECT ENGINEER
DANIEL L. HANSEN, P.E.
DATE: 03/12/2015 EIC: NO. 4332

WSB
701 Xenia Avenue South, Suite 300
Minneapolis, MN 55415
Tel: (763) 541-4300 • Fax: (763) 541-1700
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**City of Afton
Washington
County**

**CSAH 21 and
Downtown Village Improvements
City of Afton
Washington County, Minnesota**

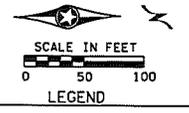
CITY OF AFTON, MINNESOTA
CSAH 21 - STA 102+00 TO STA 114+00
CONSTRUCTION PLAN AND PROFILE
S.A.P. 082-621-031

SHEET
56
OF
239
SHEETS

CSAH 21 - St. CROIX TRAIL

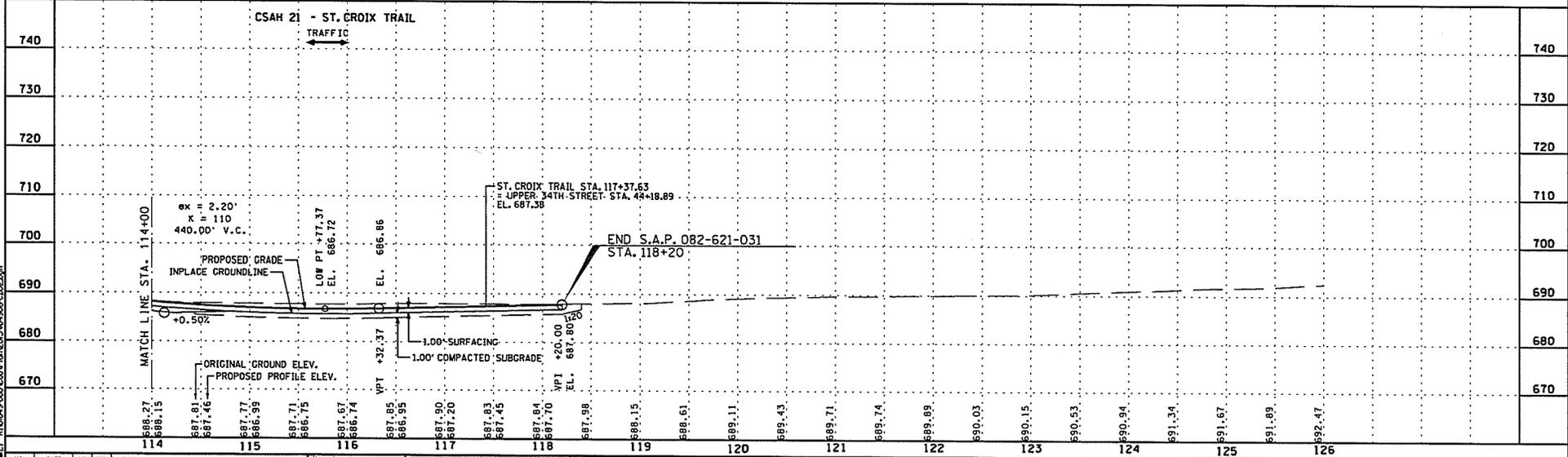
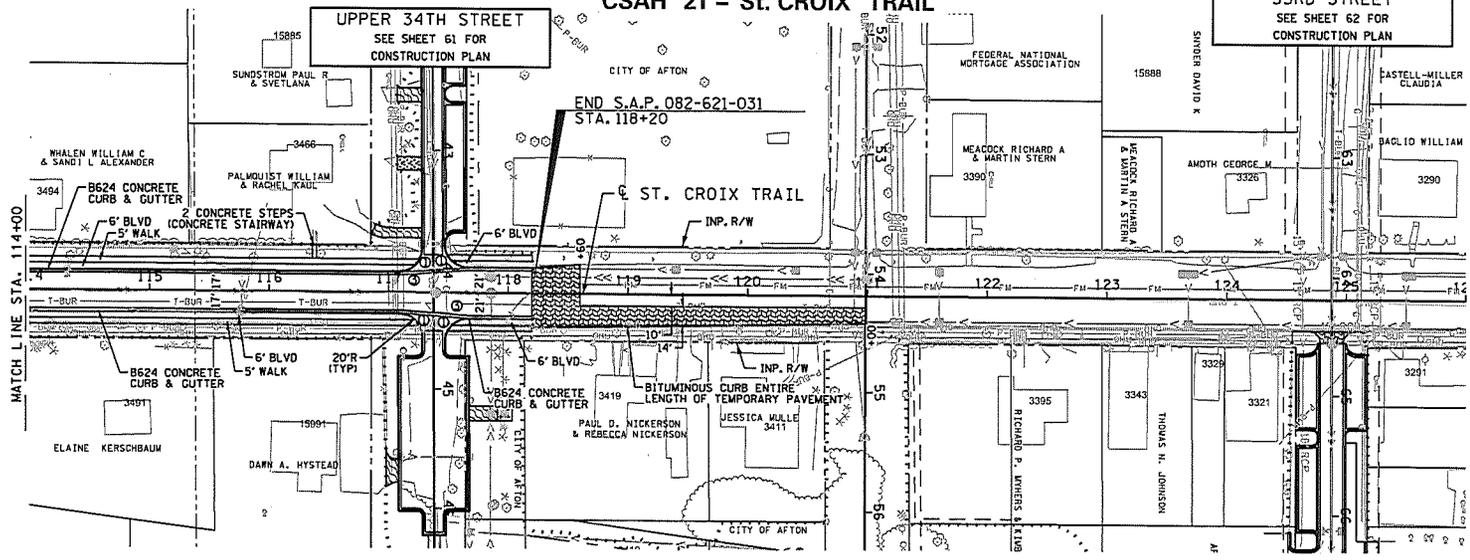
33RD STREET
SEE SHEET 62 FOR
CONSTRUCTION PLAN

UPPER 34TH STREET
SEE SHEET 61 FOR
CONSTRUCTION PLAN



- LEGEND**
- TEMPORARY PAVEMENT
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DATE: 3/4/2005 11:56:42 AM
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NO.	DATE	BY	CHK	REVISION

Design by: THG
Plan by: MWM
Checked by: SDD
Approved by: DLH

PROJECT ENGINEER
DAVE L. HANDEKE, PE
DATE: 03/04/2005 LIC. NO. 43324

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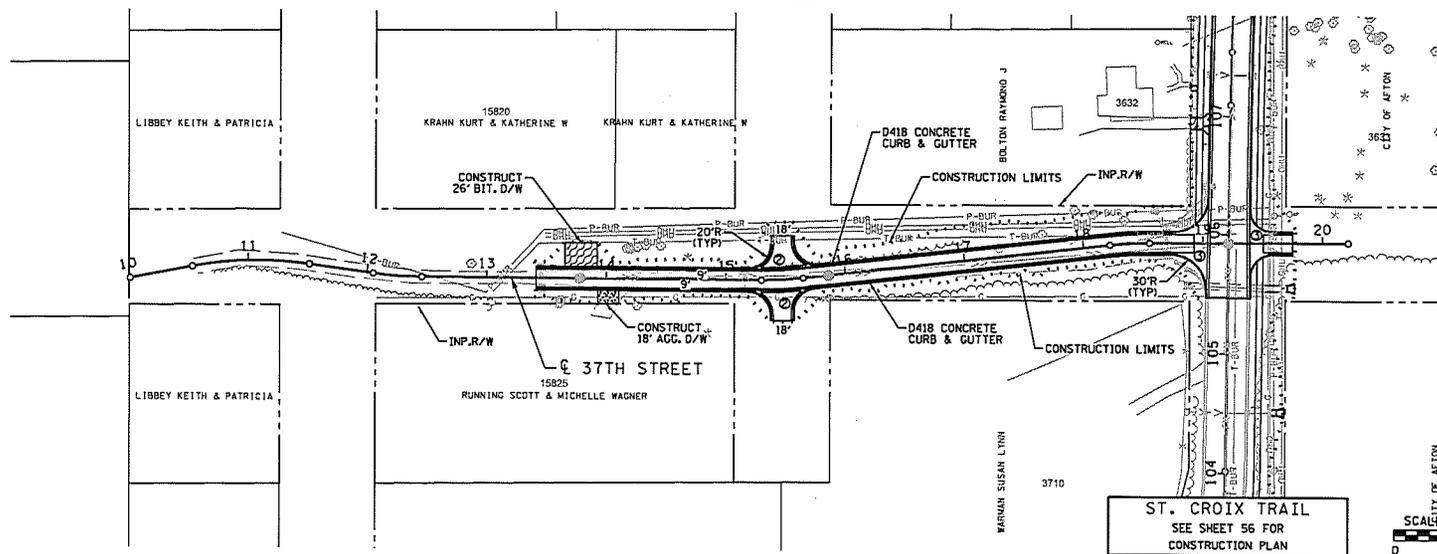


**CSAH 21 and
Downtown Village Improvements
City of Afton
Washington County, Minnesota**

CITY OF AFTON, MINNESOTA
CSAH 21 - STA 114+00 TO STA 126+00
CONSTRUCTION PLAN AND PROFILE
S.A.P. 082-621-031

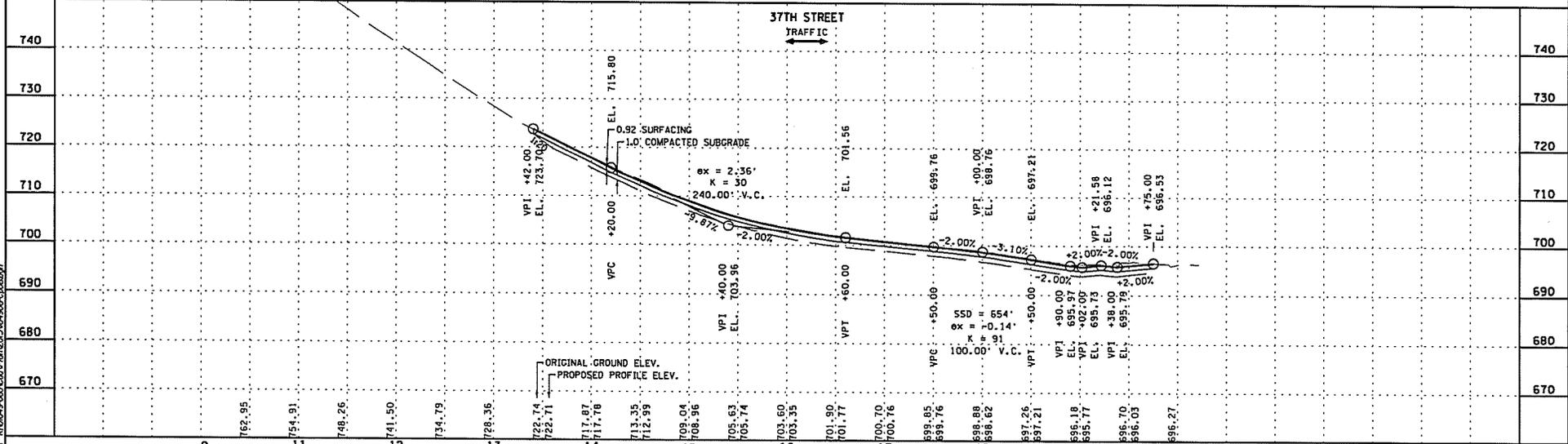
SHEET
57
OF
239
SHEETS

37TH STREET



- LEGEND**
- TEMPORARY PAVEMENT
 - BITUMINOUS DRIVEWAY PAVEMENT
 - CONCRETE DRIVEWAY PAVEMENT
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 - 4) SEE SIGNING AND STRIPING PLAN FOR LANE WIDTHS.



DATE: 3/12/2015 11:56:43 AM
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NO.	DATE	BY	CHK	REVISIONS

Design By: THG
 Plan by: MWM
 Checked by: SDD
 Approved by: DLH

PROJECT ENGINEER
 DANIE L. HANSEN, PE
 DATE: 03/12/2015 LIC. NO.: 2332

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City of Afton
 Washington County

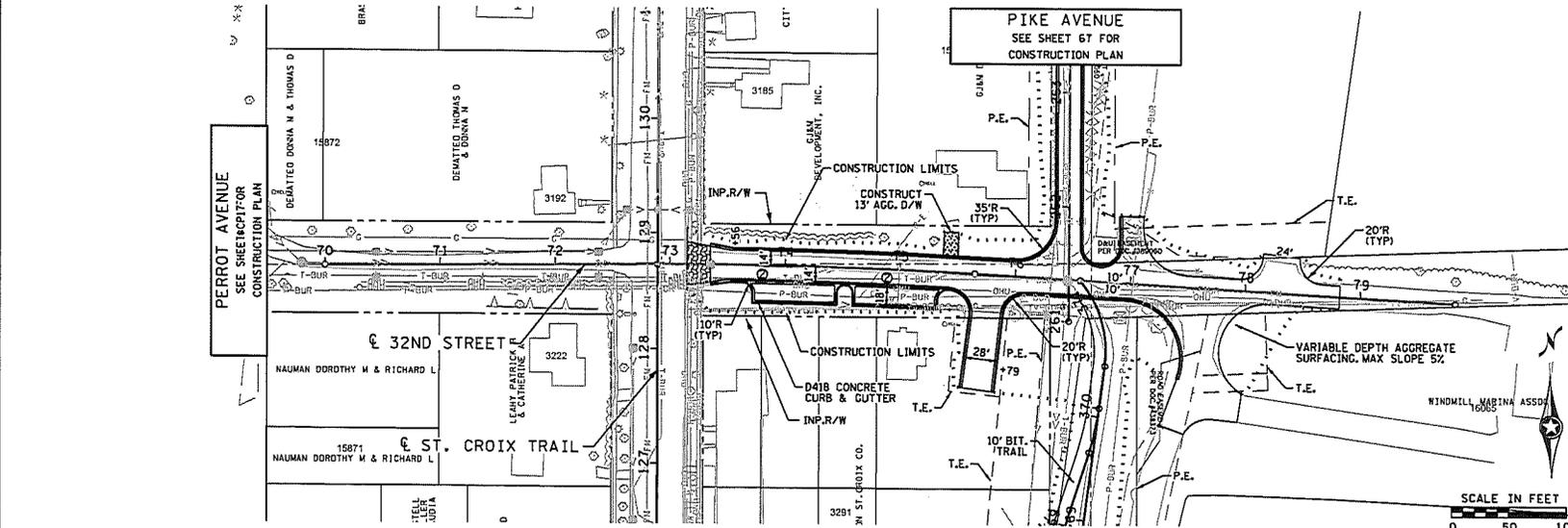
**CSAH 21 and
 Downtown Village Improvements
 City of Afton
 Washington County, Minnesota**

CITY OF AFTON, MINNESOTA

37TH STREET
CONSTRUCTION PLAN AND PROFILE
 S.A.P. 082-621-031

SHEET
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 239
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32ND STREET

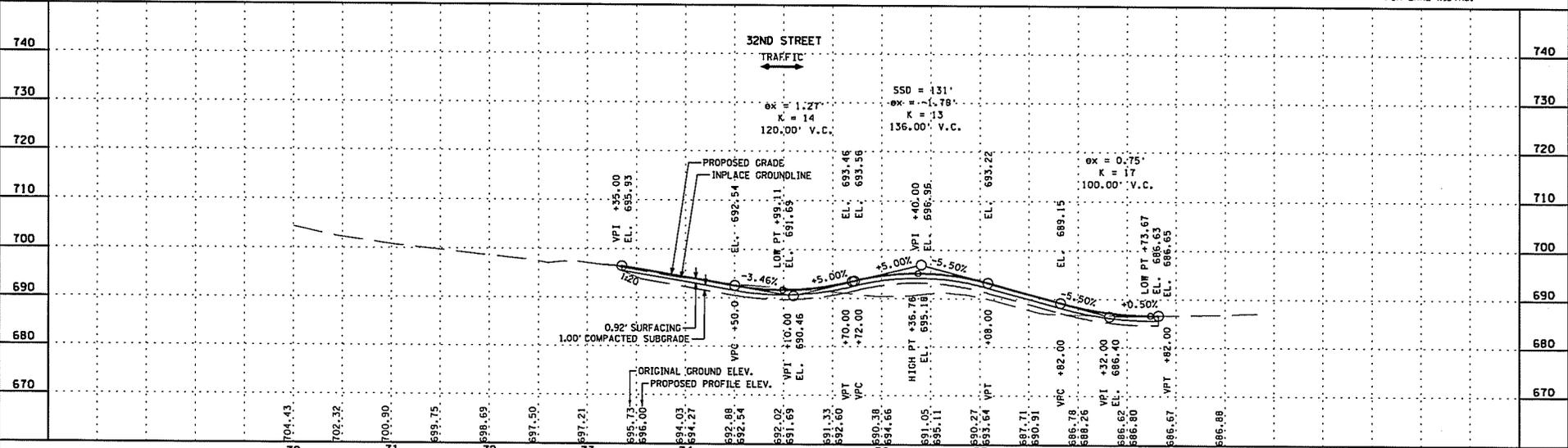


LEGEND

	TEMPORARY PAVEMENT
	BITUMINOUS DRIVEWAY PAVEMENT
	CONCRETE DRIVEWAY PAVEMENT
	AGGREGATE DRIVEWAY

- NOTES:**
- 1) CONSTRUCT CONCRETE PEDESTRIAN CURB RAMP W/ TRUNCATED DOMES. SEE MISCELLANEOUS DETAILS.
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STA	ELEV.
70	704.43
71	702.32
72	700.90
73	699.75
74	699.69
75	699.50
76	699.21
77	699.73
78	698.00
79	694.03
80	694.27
81	692.88
82	692.54
83	692.02
84	691.69
85	691.33
86	692.60
87	694.66
88	691.05
89	695.11
90	690.27
91	693.64
92	697.71
93	690.91
94	696.79
95	698.26
96	696.62
97	696.80
98	696.67
99	696.88

DATE: 3/4/2015
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NO.	DATE	BY	CHK	REVISION

Design By: THG
 Plan By: MWM
 Checked by: SDD
 Approved by: DLH

PROJECT ENGINEER
 MARIE L. HANSEN, P.E.
 DATE: 03/04/2015 EIC: NPL 2338

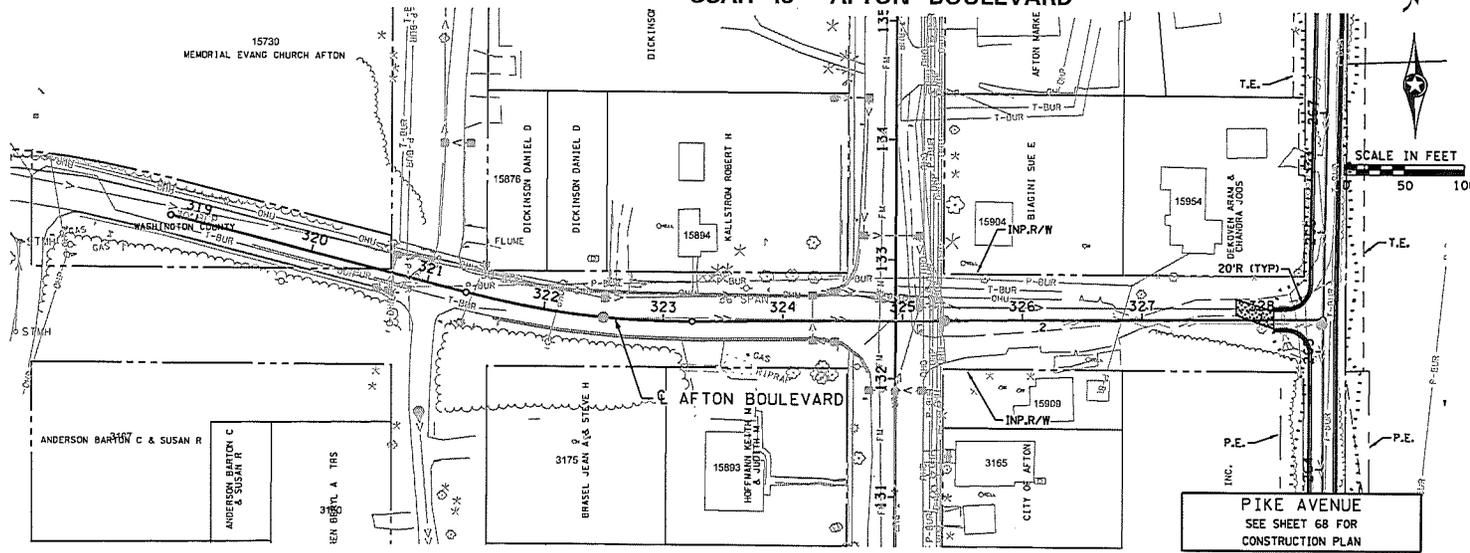
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City of Afton Washington County
 CSAH 21 and
 Downtown Village Improvements
 City of Afton
 Washington County, Minnesota

CITY OF AFTON, MINNESOTA
 32ND STREET
 CONSTRUCTION PLAN AND PROFILE
 S.A.P. 082-621-031

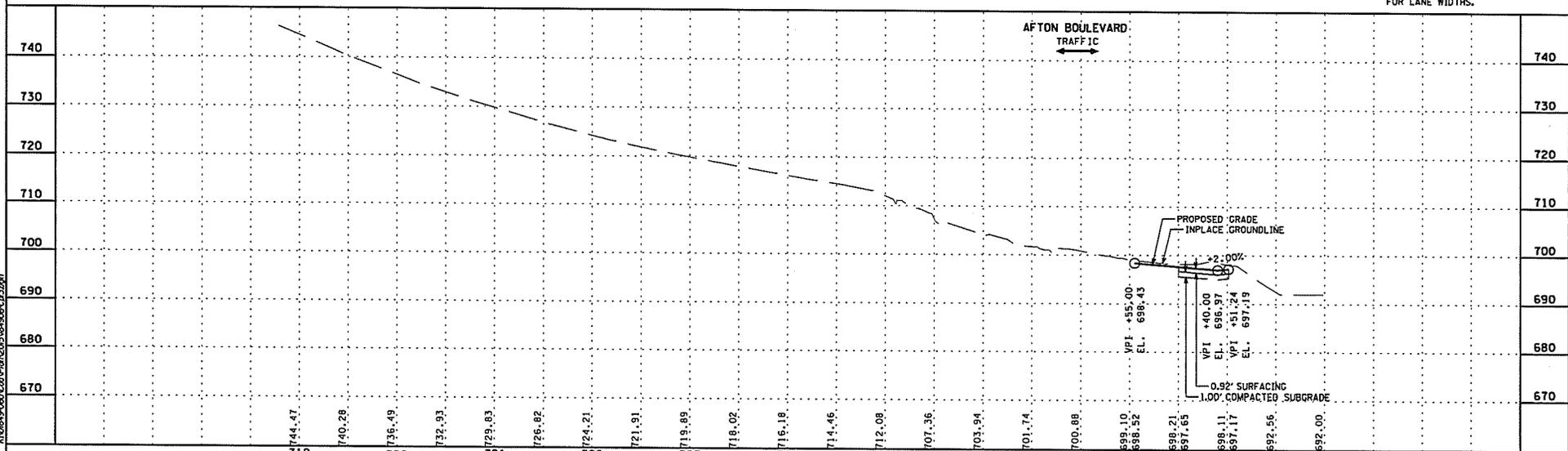
SHEET
 63
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 239
 SHEETS

CSAH 18 - AFTON BOULEVARD



- ### LEGEND
- TEMPORARY PAVEMENT
 - BITUMINOUS DRIVEWAY PAVEMENT
 - CONCRETE DRIVEWAY PAVEMENT
 - AGGREGATE DRIVEWAY
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- ### NOTES:
- 1) ALL DIMENSIONS ARE TO FACE OF CURB OR EDGE OF BITUMINOUS.
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 - 4) SEE SIGNING AND STRIPING PLAN FOR LANE WIDTHS.



DATE: 3/25/2015
 PATH & FILENAME: K:\06959-060\00\Plan\2015\06959-060-C01.dwg

NO.	DATE	BY	CHK.	REVISIONS

DESIGNED BY: THG
 PLAN BY: MWM
 CHECKED BY: SDD
 APPROVED BY: DLH

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PROJECT ENGINEER
 DRANE L. HANKESS, P.E.
 DATE: 3/25/2015 LIC. NO. 43336

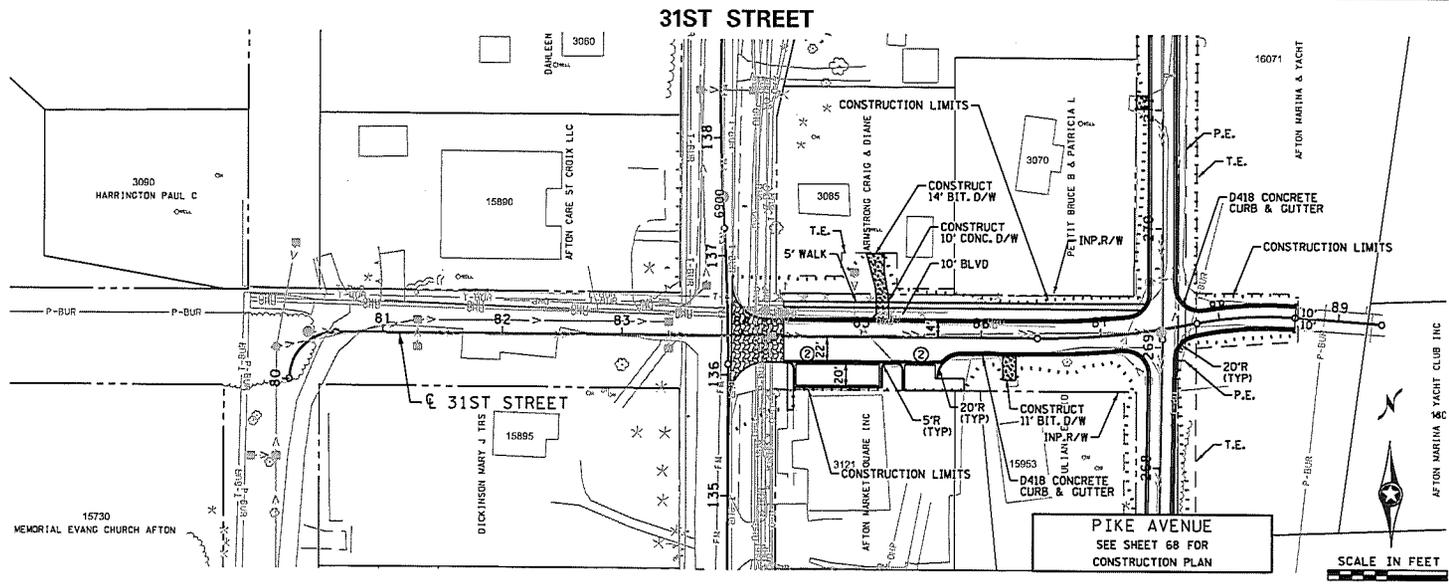
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**CSAH 21 and
 Downtown Village Improvements
 City of Afton
 Washington County, Minnesota**

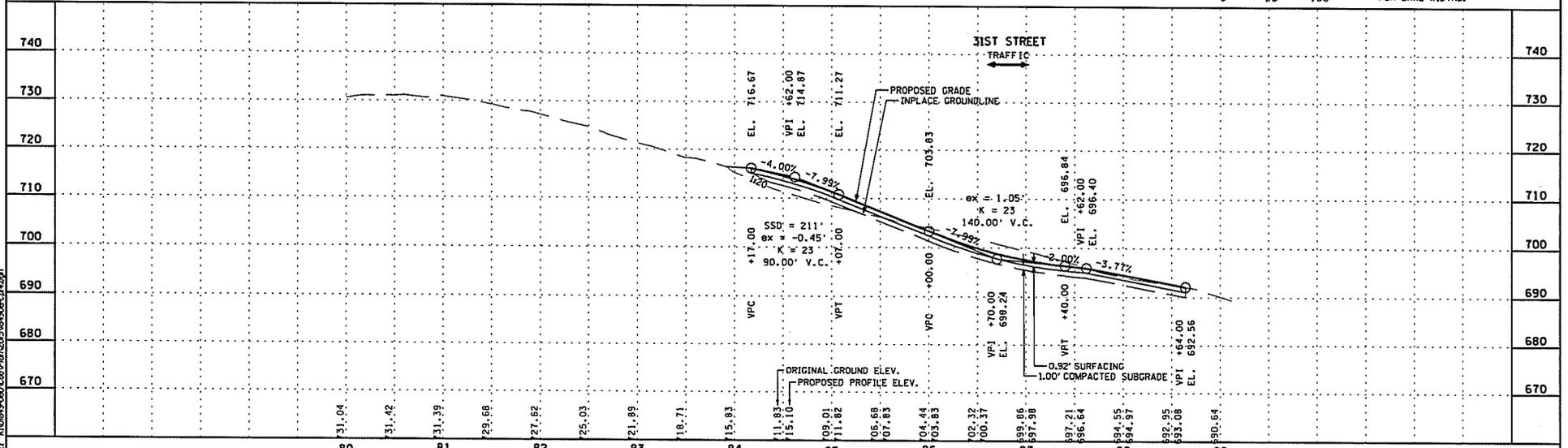
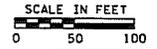
CITY OF AFTON, MINNESOTA
 AFTON BOULEVARD
CONSTRUCTION PLAN AND PROFILE
 S.A.P. 082-621-031

SHEET
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DATE: 3/5/2015
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NO.	DATE	BY	CHK	REVISION

DESIGNED BY: THG
 CHECKED BY: MWM
 SDD
 APPROVED BY: DLH

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PROJECT ENGINEER
 DALE L. HANKEE, P.E.
 DATE: 03/05/2015 LIC. NO. 43332

707 Xerxes Avenue South, Suite 300
 Minneapolis, MN 55416
 Tel: (763) 541-4300 • Fax: (763) 541-1109
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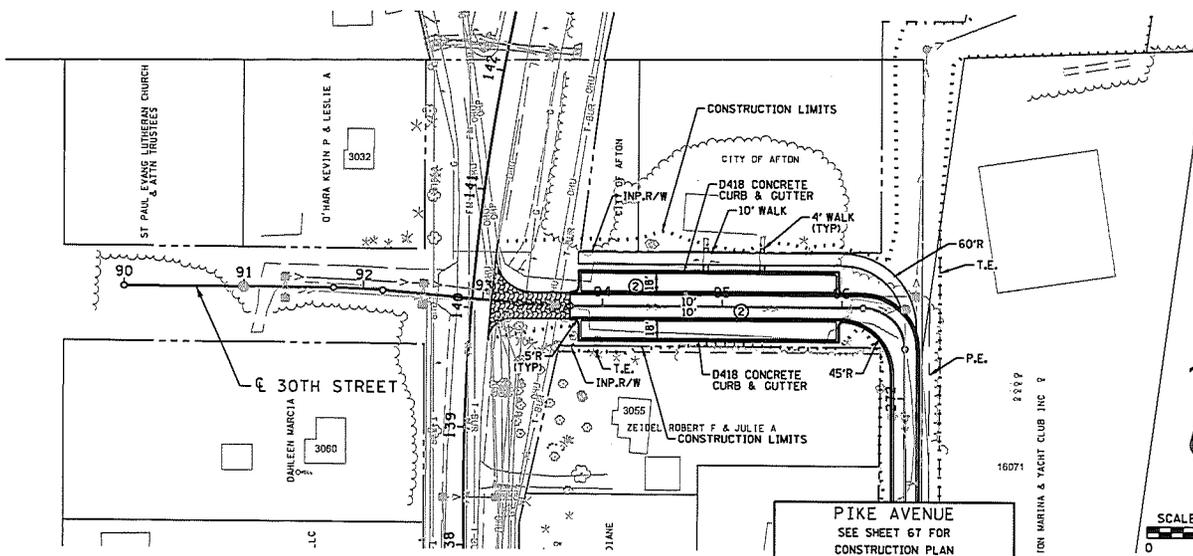
**CSAH 21 and
 Downtown Village Improvements
 City of Afton
 Washington County, Minnesota**

CITY OF AFTON, MINNESOTA

31ST STREET
CONSTRUCTION PLAN AND PROFILE
 S.A.P. 082-621-031

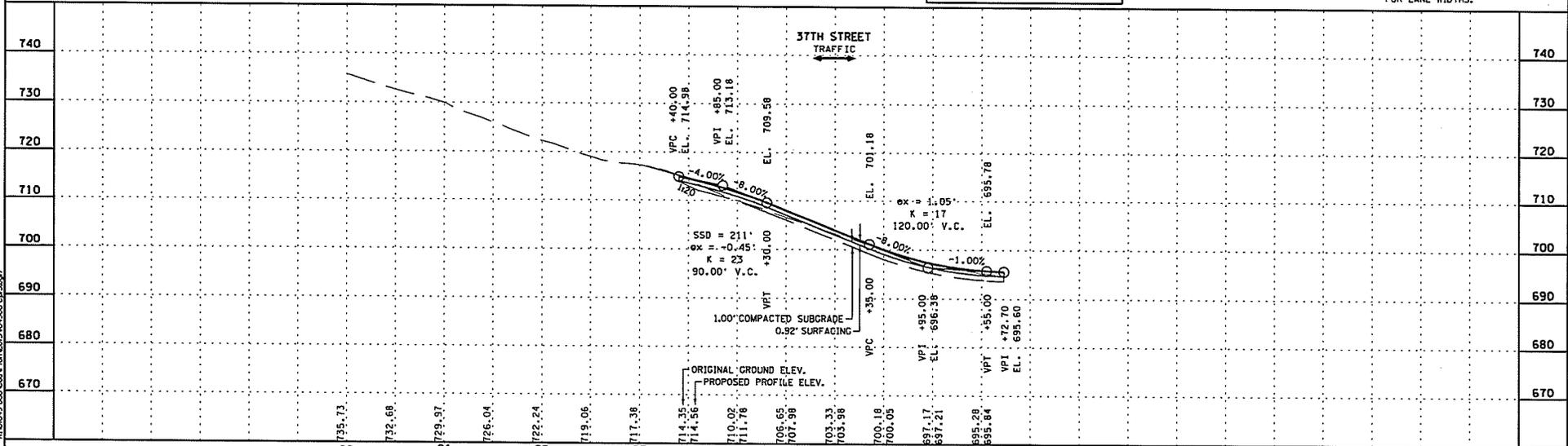
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 OF
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30TH STREET



- LEGEND**
- TEMPORARY PAVEMENT
 - BITUMINOUS DRIVEWAY PAVEMENT
 - CONCRETE DRIVEWAY PAVEMENT
 - AGGREGATE DRIVEWAY
- ① CONSTRUCT CONCRETE PEDESTRIAN CURB RAMP W/ TRUNCATED DOMES. SEE MISCELLANEOUS DETAILS.
 - ② CURB & GUTTER DESIGN SPECIAL.
 - ③ VALLEY GUTTER SEE DETAIL.
 - ④ CONSTRUCT CONCRETE APRON AND STANDARD PLATE 7035H.

- NOTES:**
- 1 ALL DIMENSIONS ARE TO FACE OF CURB OR EDGE OF BITUMINOUS.
 - 2 SEE INTERSECTION DETAILS FOR ADDITIONAL INFORMATION AT ROADWAY INTERSECTIONS.
 - 3 SEE MISCELLANEOUS REMOVAL PLAN FOR LIMITS OF EXISTING PAVEMENT TO REMAIN.
 - 4 SEE SIGNING AND STRIPING PLAN FOR LANE WIDTHS.



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NO.	DATE	BY	CHK.	REVISION

Design By: THG
 Plan By: MWM
 Checked By: SDD
 Approved By: DLH

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PROJECT ENGINEER
 IRVANI E. HANSAKULTE
 DATE: 3/5/2005 LIC. NO. 43322

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City of Afton
 Washington County

CSAH 21 and Downtown Village Improvements
 City of Afton
 Washington County, Minnesota

CITY OF AFTON, MINNESOTA
 30TH STREET
 CONSTRUCTION PLAN AND PROFILE
 S.A.P. 082-621-031

SHEET 66 OF 239 SHEETS

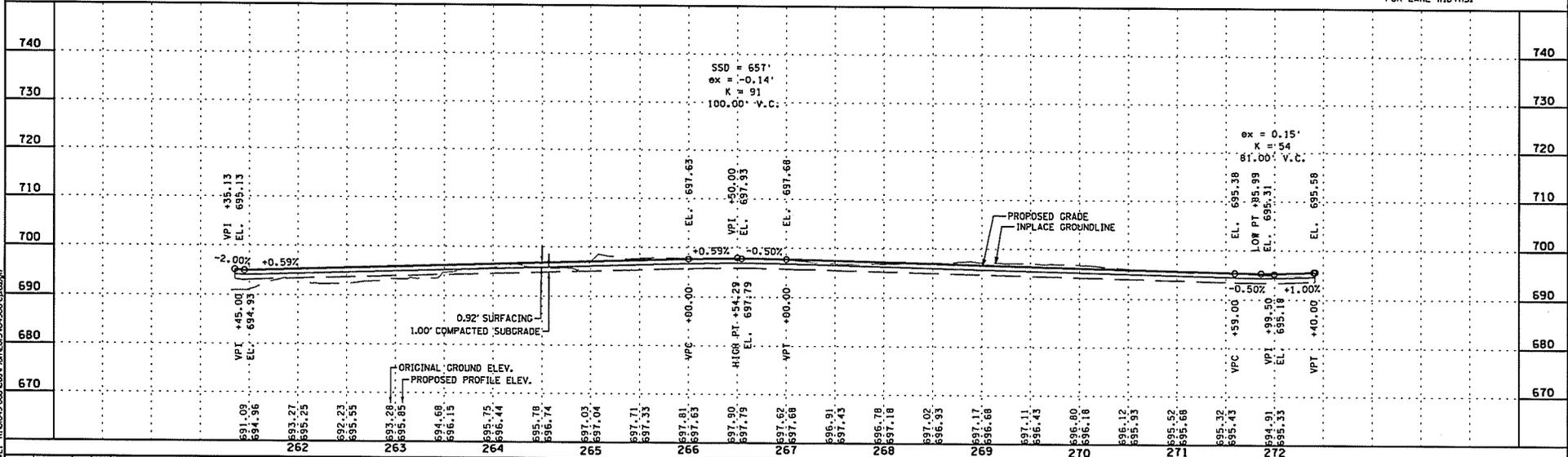
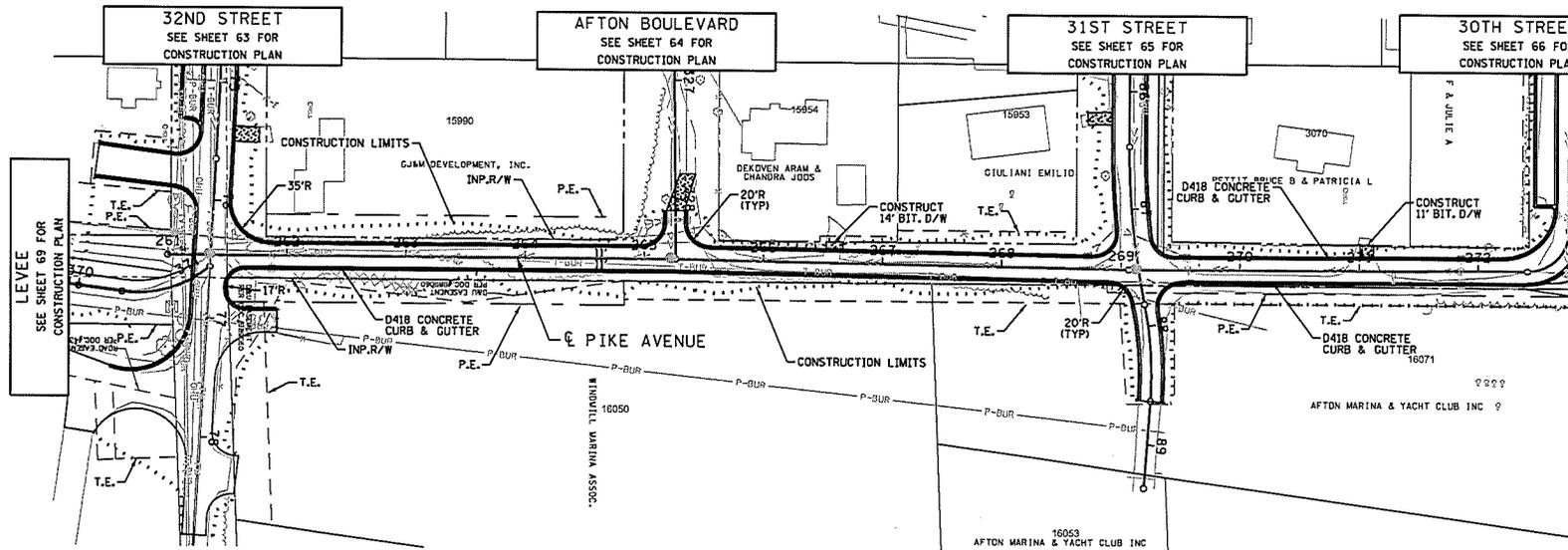
PIKE AVENUE



- LEGEND**
- TEMPORARY PAVEMENT
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NO.	DATE	BY	CHK	REVISION

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PROJECT ENGINEER
DIANE E. HANKE/PE

DATE: 02/05/2005 LIC. NO. 4333

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City of Afton
Washington County

**CSAH 21 and
Downtown Village Improvements
City of Afton
Washington County, Minnesota**

CITY OF AFTON, MINNESOTA
PIKE AVENUE
CONSTRUCTION PLAN AND PROFILE
S.A.P. 082-621-031

SHEET
67
OF
239
SHEETS

ST. CROIX TRAIL
SEE SHEET 56 FOR
CONSTRUCTION PLAN

35TH STREET
SEE SHEET 60 FOR
CONSTRUCTION PLAN

UPPER 34TH STREET
SEE SHEET 61 FOR
CONSTRUCTION PLAN

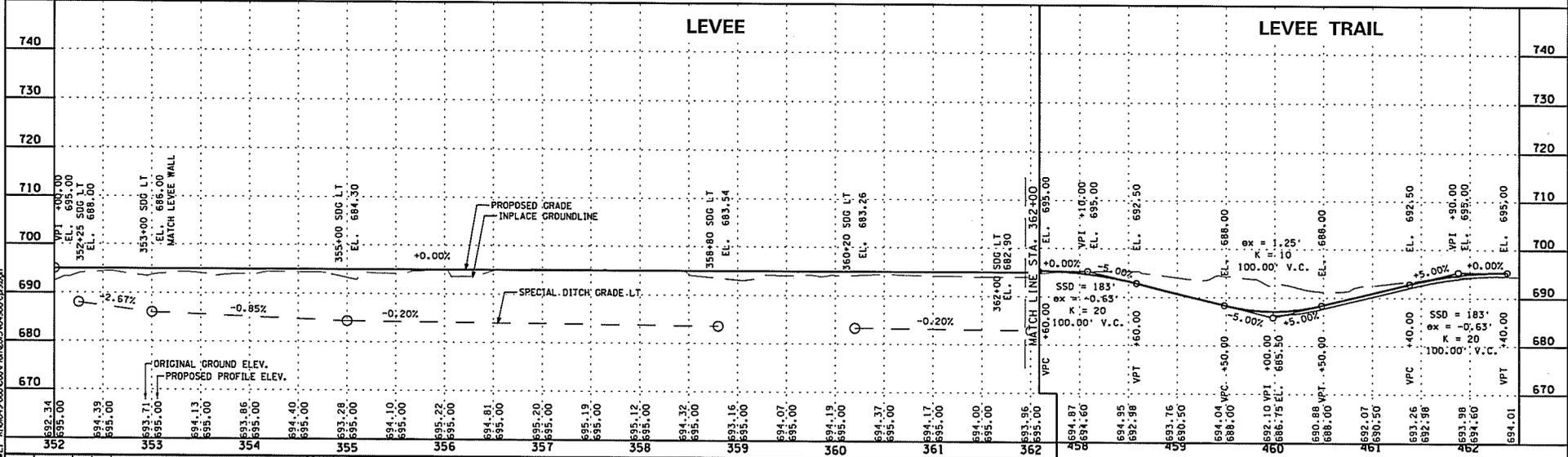
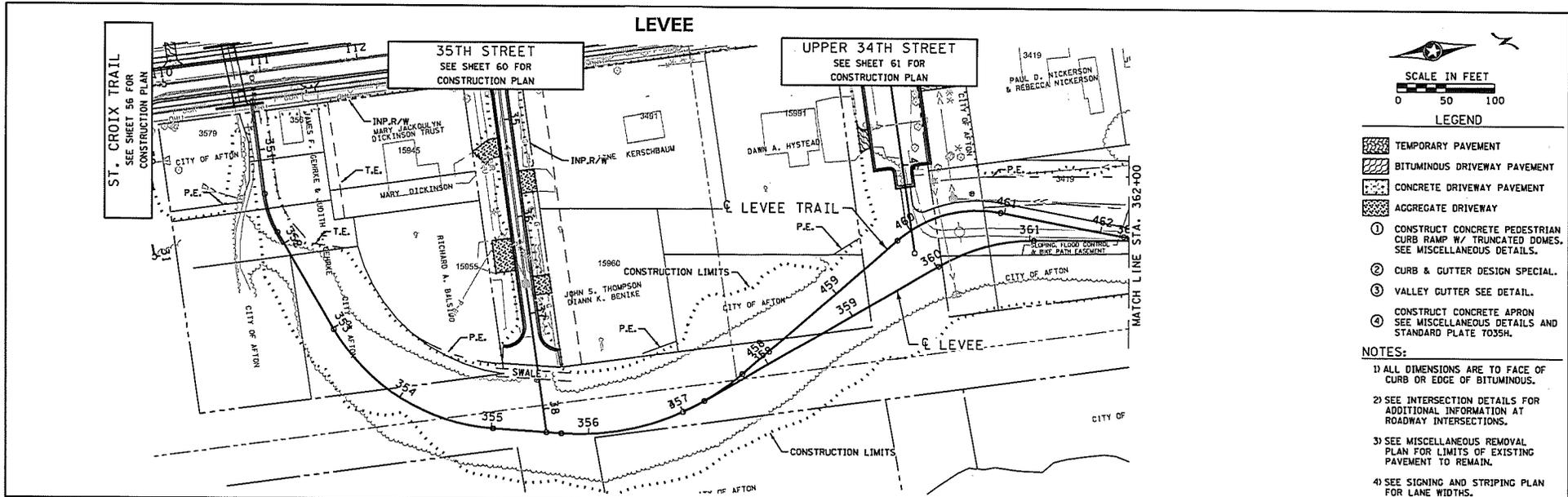


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- LEGEND**
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NO.	DATE	BY	CHK	REVISION

THG
MWM
SDD
DLH

PROJECT ENGINEER
BRANIE L. HENKEL, P.E.
DATE: 03/05/2005 LIC. NO. 4332

751 Xerxes Avenue South, Suite 200
Minneapolis, MN 55408
Tel: (763) 541-4400 Fax: (763) 541-1100
wshang.com

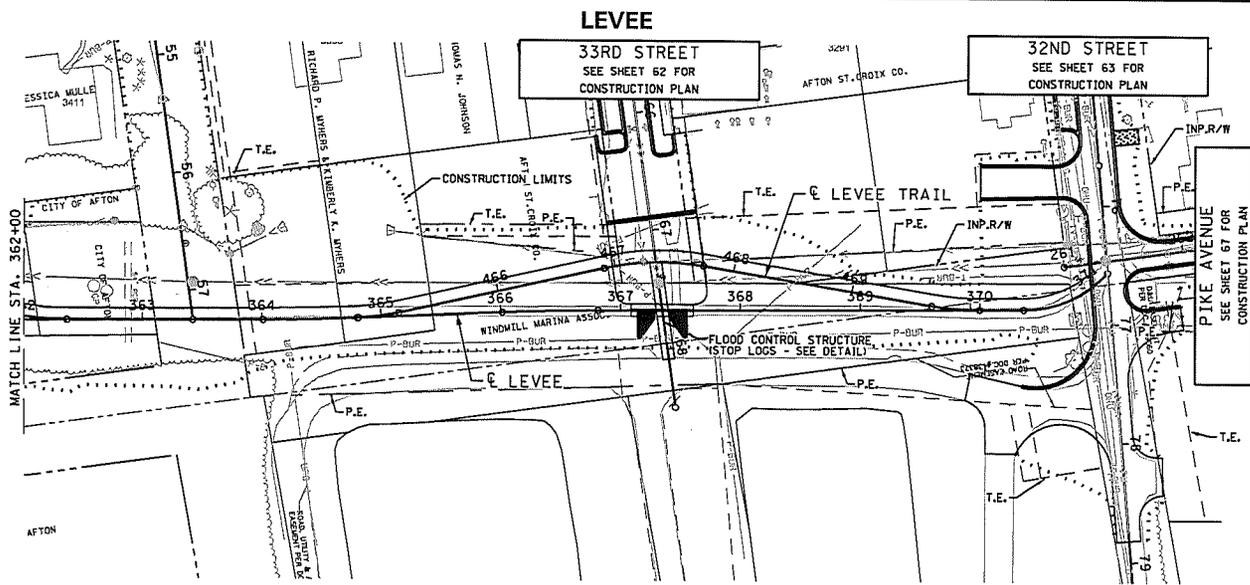
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Downtown Village Improvements
City of Afton
Washington County, Minnesota

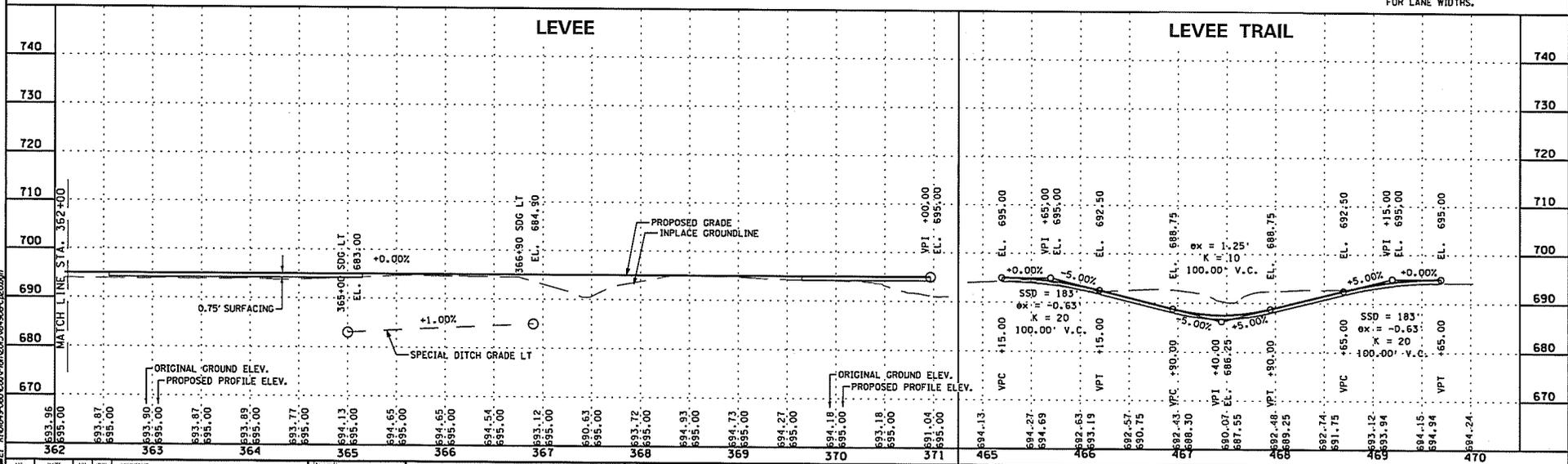
CITY OF AFTON, MINNESOTA
LEVEE
CONSTRUCTION PLAN AND PROFILE
S.A.P. 082-621-031

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OF
239
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- SCALE IN FEET
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- LEGEND
- TEMPORARY PAVEMENT
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- NOTES:
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NO.	DATE	BY	CHKD	REVISION

Drawn by: THG
 Plan by: MWM
 Checked by: SDD
 Appointed by: DLH

PROJECT ENGINEER
 DANE L. HANNEKE
 DATE: 03/04/2005 E.C. NO. 4222

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City of Afton
 Washington County

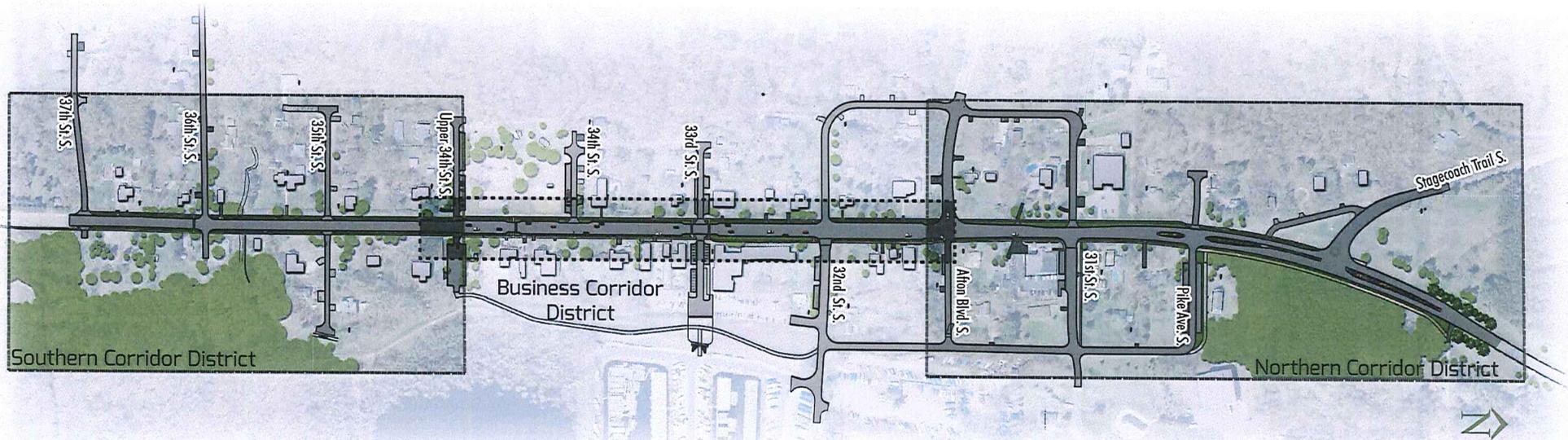
CSAH 21 and Downtown Village Improvements
 City of Afton
 Washington County, Minnesota

CITY OF AFTON, MINNESOTA
 LEVEE
 CONSTRUCTION PLAN AND PROFILE
 S.A.P. 082-621-031

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OF
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SHEETS

Landscape Aesthetics

Overall Corridor Plan

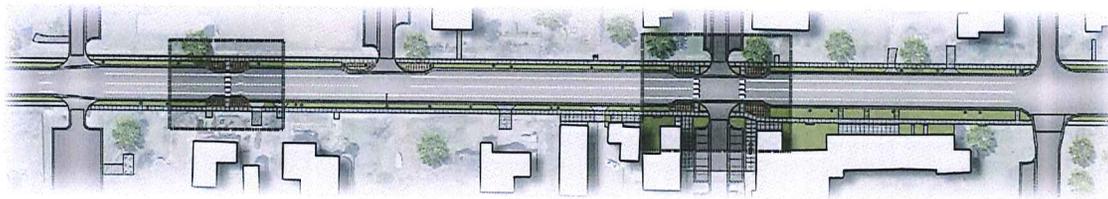


St. Croix Trail

Roadway Improvements in Downtown Afton

Landscape Aesthetics

Pedestrian Crosswalk Options



Business Corridor District



Standard Painted Crosswalk



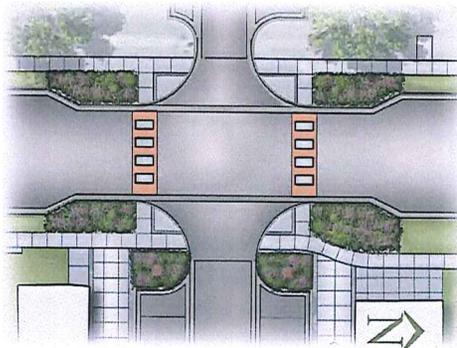
Color Stamped Concrete Crosswalk



Color Stamped Concrete Bumpout

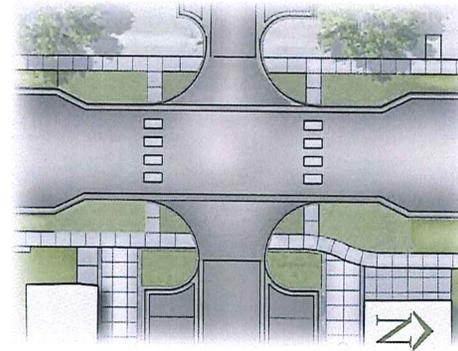


Color Stamped Concrete with Landscaping



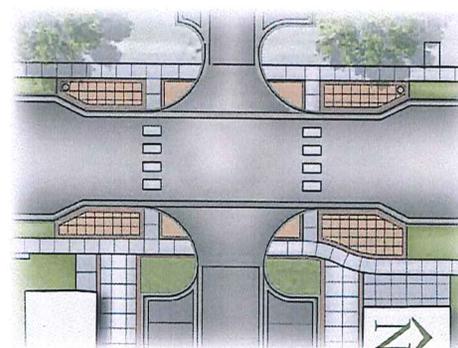
Option I:

- Landscaped Bumpouts:
(\$8.00 - 10.00 / Square Foot)
Cost Estimate: \$6,000.00 - 7,500.00 / bumpout
- Color Concrete Crosswalks:
(\$12 - 15/ Square Foot)
Cost Estimate: \$2,300.00 - 3,000.00 / crosswalk
- Estimated Project Cost:
\$50,000.00 - 63,000.00



Base Option:

- Standard Concrete Sidewalk
- Painted crosswalk
- Turf Restoration

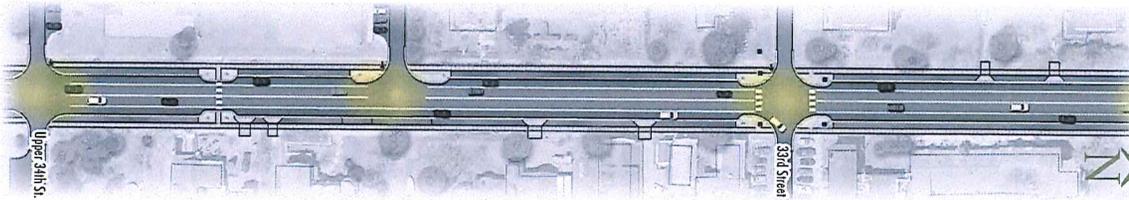


Option II:

- Color Concrete Bumpouts
(\$12 -15/ Square Foot)
Cost Estimate: \$8,000.00 - 10,000.00 / bumpout
- Painted Crosswalks
- Estimated Project Cost:
\$56,000.00 - 60,000.00

Landscape Aesthetics

Lighting



Base Option:

- *Intersection Cobra's at County / County Intersections*
- *Maintain existing overhead lighting*



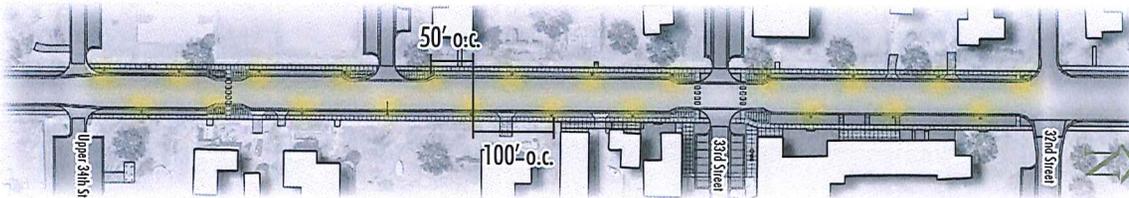
Standard Intersection Cobras Option



Ornamental Pedestrian Fixture Option



Ornamental Intersection Fixture Option



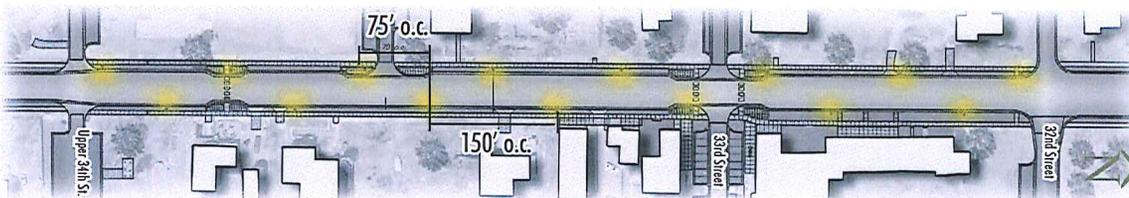
Option I:

- *Business District:*
14' HT. Ornamental fixtures staggered @ 50' on center
\$6 - 9,000.00 EA @ 27 Fixtures
- *Estimated Project Cost:*
\$162,000.00 - 243,000.00

- *North & South District:*
Ornamental Intersection Lights
\$3 - 5,000.00 EA @ 7 Fixtures
- *Estimated Project Cost:*
\$21,000.00 - 35,000.00



Ornamental Pedestrian Fixture Approximately 50' O.C.



Option II:

- *Business District:* *14' HT. Ornamental fixtures staggered @ 75' on center.*
\$6 - 9,000.00 EA @ 20 Fixtures
- *Estimated Project Cost:*
\$120,000.00 - 180,000.00

- *North & South District:*
Salvage existing overhead lighting.



Ornamental Pedestrian Fixture Approximately 50' O.C.

Landscape Aesthetics

Landscaping



North Traffic Calming Measures:

- **Base Option:**
 - Standard Concrete
 - Turf Restoration
- **Option 1:**
 - Tree Groupings Prior to Median: (\$400 - 500 / Tree)
 - Landscaped Median: (\$8.00 - 10.00 / Square Foot)
- **Estimated Project Cost:** \$20,000.00 - 25,000.00



Base Option:

- Turf restoration only
(Existing trees shown for reference)



Option I:

- Proposed trees of mixed sizes planted among existing trees as feasible.
- Proposed Trees: 30'-40' O.C. (\$400 - 500/ Tree)
- **Estimated Project Cost:** \$60,000.00 - 75,000.00 (150 Trees)



Option II:

- Proposed trees of mixed sizes planted among existing trees as feasible.
- Proposed Trees: 40'-50' O.C. (\$400 - 500/ Tree)
- **Estimated Project Cost:** \$45,000.00 - 58,000.00 (115 Trees)

Landscape Aesthetics

Kelle's Creek



Base Option:

- *Decorative Concrete knee wall*
- *Standard Tubular Metal Railing*



Option 1:

- *Decorative Concrete knee wall*
- *Ornamental Railing (75.00 - 150.00/ Lineal Foot)*
- *Estimate Project Cost: \$9,000.00 - 18,000.00*

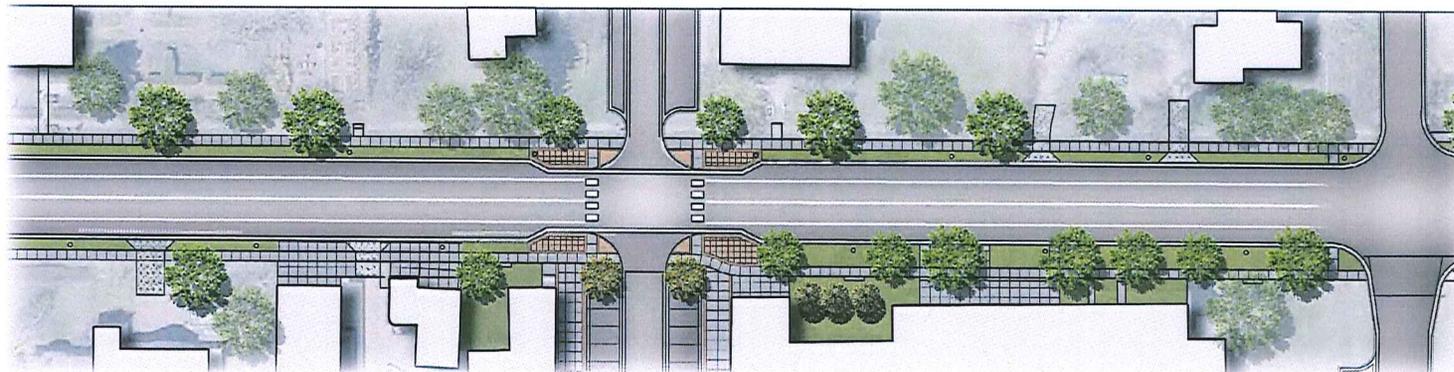
Landscape Aesthetics

Business District - Streetscape Paving



Base Option:

- Turf Restoration
- Standard Concrete



Option I:

- Mixture of color concrete and turf median areas.
(\$8.00 - 15.00 / Square Foot)
- Estimated Project Cost:
\$19,000.00 - 37,000.00

City of Afton
3033 St. Croix Trl, P.O. Box 219
Afton, MN 55001

Meeting Date March 10, 2015

Council Memo

To: Honorable Mayor Bend and Members of the City Council
From: Ron Moorse, City Administrator
Date: March 5, 2015
Re: Action Items for the March 17 Council Meeting

The following is an outline of action items for the March 17 Council meeting Agenda

March 17 Agenda

- Approve Plans and Specs and Authorize Ad for Bid
 - Park Parking at Town Square Park not included in 2015-gravel (25/75 grant)
 - Parking
 - Pike, 34th, 33rd (Afton House CUP)
 - Bridge Railing – Galvanized steel- upgrade \$5k
- Stop Log Railing – does City want it on the concrete structure - \$5k Galvanized
- Levee Opening Plaza Concepts – will not be included in 2015 plan, but can be separate plan or included in the 2016 plan if directed by Council to include.
- Street Width Resolution – 35th street 17'
- No parking Resolution
- Authorize eminent domain for easements

City of Afton
3033 St. Croix Trl, P.O. Box 219
Afton, MN 55001

Meeting Date March 10, 2015

Council Memo

To: Honorable Mayor Bend and Members of the City Council
From: Ron Moorse, City Administrator
Date: March 5, 2015
Re: Linear Project Schedule

The Council had requested that the City Engineer provide a linear project schedule for the downtown improvement projects. Diane Hankee, will provide a project schedule at the work session.

City of Afton
3033 St. Croix Trl, P.O. Box 219
Afton, MN 55001

Meeting Date March 10, 2015

Council Memo

To: Honorable Mayor Bend and Members of the City Council
From: Ron Moorse, City Administrator
Date: March 5, 2015
Re: Bridge Railings Design and No Parking Resolution

Diane Hankee, City Engineer, will provide information regarding the bridge railing design and the no parking resolution at the work session.

City of Afton

3033 St. Croix Trl, P.O. Box 219
Afton, MN 55001

Meeting Date March 10, 2015

Council Memo

To: Honorable Mayor Bend and Members of the City Council
From: Ron Moorse, City Administrator
Date: March 3, 2015
Re: Buildability of Substandard Lots in the VHS

Background

Section 12-637. Minimum District Dimensional Requirements, requires a minimum lot size of 1 acre in the VHS districts. While Section 12-581. Substandard lots requires an existing parcel in the rural area to meet or exceed 60% of the minimum requirements for a new lot in order to be considered buildable, substandard lots in the VHS districts are required to have a minimum of 22,500 sq. ft., or one-half acre. This is 50% of the one-acre minimum lot size vs. 60% of the minimum lot area required in the rural area. Molly Shodeen, of the DNR, has indicated that, because the 22,500 sq. ft. minimum requirement for buildability is already less than 60% of the one-acre minimum lot size, the ordinance should not be amended to reduce the 22,500 sq. ft. minimum size required for buildability. Rather, the variance process should be used to address the buildability of smaller existing lots based on findings related to practical difficulty and impacts to the St. Croix River.

Substandard parcels in the VHS. There are 27 developed parcels in the draft assessment roll that have less than 22,500 square feet. Several owners of undeveloped lots with less than 22,500 square feet would like the City to make a determination regarding the buildability of their lots in conjunction with the City's determinations regarding which properties will be provided with sewer service. Only buildable lots will be provided with sewer service. The lot sizes of the parcels currently being requested for consideration of buildability are as follows:

- 19,384 sq. ft.
- 19,166 sq. ft.
- 16,335 sq. ft.
- 15,000 sq. ft.

Minimum Parcel Size Factors. The minimum parcel size requirement of 22,500 square feet is based on a number of factors. These include providing sufficient area for a private septic system and a sufficient setback from the septic system to a private well, providing sufficient area to meet structure setback requirements, managing the density of lots and structures, and providing sufficient area for a usable yard on residential properties and for off-street parking on commercial properties. Because the VHS will now be served by a sewer system, the area for a septic system is no longer a limiting factor. However, the other factors are still relevant.

Variance Expiration. The zoning code provides that a variance expires after one year if the proposal for which the variance was granted has not moved forward. While the determination regarding buildability is needed at this time to enable decisions regarding the extension of sewer service to those lots considered

to be buildable, there are no current plans to build on the lots. To address this timing issue, an option is to provide an extended expiration timeline in the case of a variance approval.

Option for Consideration

Options for the Council to consider include the following

- Retain the existing ordinance and strictly apply it
- Change the existing ordinance regarding the minimum requirements for buildability in the VHS to enable smaller lots to be buildable
- Retain the existing ordinance and apply it with flexibility, within a set of established parameters, through the variance process

Planning Commission Recommendation

The City Council referred this issue to the Planning Commission for review and recommendation, the key question being whether the City should strictly enforce the ordinance regarding the minimum requirements for buildability in the VHS, or provide flexibility regarding the buildability of parcels that do not meet the minimum size requirement. The Planning Commission discussed this issue at its March 2, 2015 meeting, and recommended that the current language regarding the minimum lot size required for buildability in the VHS remain unchanged, and that the ordinance be applied with flexibility through the variance process within the following parameters:

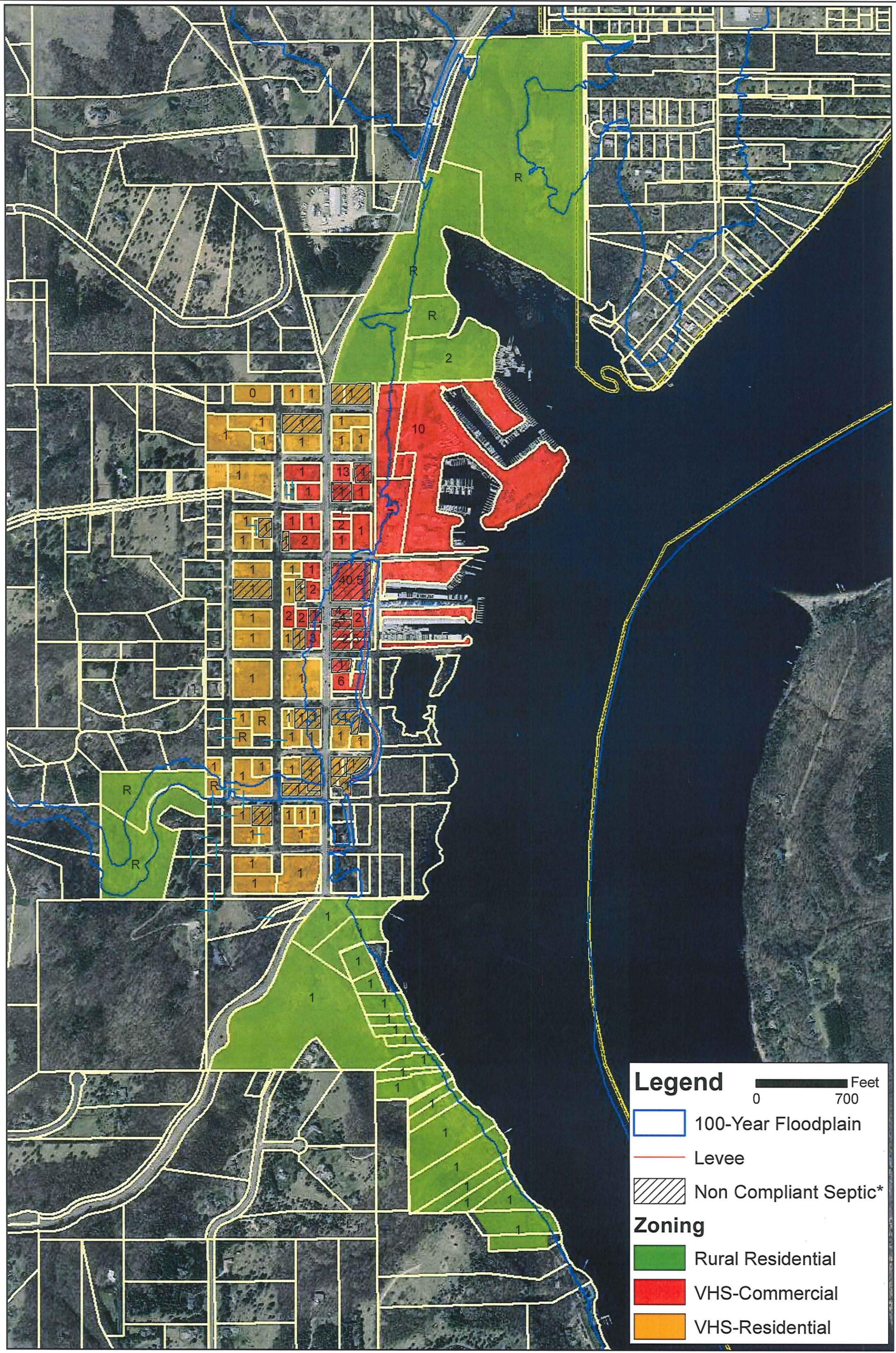
- The principal structure, including a garage for a residential parcel, must be able to meet all required setbacks, including creek and bluff setbacks.
- A commercial property must have sufficient area for off-street parking.
- If two contiguous substandard parcels could be combined and not meet the 22,500 size requirement, they are not separately buildable.
- There must be sufficient capacity in the wastewater collection and treatment system to accommodate the sewer flows from the additional buildable lot.
- Consider approving variances with an extended expiration period beyond one year

Sewer Capacity

The planned wastewater collection and treatment system was sized specifically to limit the amount of new development that could occur in the Old Village area. The capacity of the system was based on estimated flows from existing development and projected flows from undeveloped or underdeveloped properties, based on the 22,500 sq. ft. minimum lot size required for buildability. The current status of system capacity is that 8 units have been reserved for undeveloped lots that meet the minimum size requirement. (Please see the attached map with reserve units marked with an "R"). Because the properties for which these reserve units have been designated are not currently planned to be assessed for these units, and have not requested to be assessed for these units, they could be assigned to properties that request to be assessed for the units and sign a waiver of assessment appeal. There is no additional capacity beyond the reserve units available at this time. In the future, particularly when the commercial properties are connected to the system and the City has experience with the level of flows from these properties, it could be determined that there is available capacity in the system to accommodate additional units.

Council Discussion and Direction

The Planning Commission has made a recommendation to the Council regarding the buildability of substandard lots in the VHS. The Council may want to discuss the options considered by the Planning Commission and the Commission's recommendation and provide direction to staff regarding the preparation of an action item to be placed on the March 17 Council meeting agenda.



Legend 0 700 Feet

100-Year Floodplain

Levee

Non Compliant Septic*

Zoning

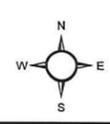
Rural Residential

VHS-Commercial

VHS-Residential

*VHS parcels reviewed

System Capacity = 205 Equivalent Residential Units (ERUs)
 Proposed ERU = 202
 R - Recommended Reserve



Sanitary ERU Map



**SUPPLEMENTAL
PACKET**

March 4 Meeting with Washington County Regarding the CR 21 Design

Timing of Bidding

Delay bidding at least until we can review the comments received by the MPCA regarding the EAW and the Facility Plan permit. Comments are due by April 1.

Timing of all Permits.

Create a schedule with the timing of all permit applications and all permit approvals. Permit approvals could place additional constraints on the project design

Natural Preservation Route Designation and Additional Funding

The Natural Preservation route designation would not affect the amount of funding for aesthetic elements. While the Natural Preservation Route allows State Aid Funding for aesthetic elements to be 5% of the project cost, this is separate and distinct from the County's cost share policy, which provides for matching funds up to 3% of the project costs.

Wane Sandberg, of Washington County, suggested that, if the purpose of the designation is to bring attention to the natural/historic character of the roadway through Afton, it is preferable to obtain the "Scenic Byway" designation.

Roadway width

The current design reflects using design element widths that balance the need to move traffic, including bicycle traffic, through the downtown safely, with the desire to calm traffic with a narrower roadway. Wayne Sandberg indicated the County believes the current design, which was approved by the City last Fall, reflects the correct balance and should not be changed. While the design standards for the road would allow 4-foot shoulders at the south end of the project, the six foot shoulders provide a safer route for bicycle riders. Two feet of the 6-foot shoulder is the concrete gutter. Bicyclists generally are not comfortable riding near the joint between the gutter and the paved shoulder, which leaves a useable 4-foot shoulder with a 6-foot shoulder design, but only a 2-foot shoulder with a 4-foot shoulder design. Wayne Sandberg indicated the County would be open to considering reducing the width of the concrete gutter to reduce the width of the shoulder.

East/west Crosswalk at Afton Boulevard and CR 21

Wayne Sandberg indicated the County was open to considering an east/west crosswalk at Afton Boulevard and CR 21.

ID	Task Name	Start	Finish	Timeline																
				12/21	1/4	1/18	2/1	2/15	3/1	3/15	3/29	4/12	4/26	5/10	5/24	6/7	6/21	7/5	7/19	8/2
1	City/Engineering Administrative Items	Thu 1/1/15	Tue 7/21/15	[Bar spanning from 1/1/15 to 7/21/15]																
2	Easements	Thu 1/1/15	Wed 6/17/15	[Bar spanning from 1/1/15 to 6/17/15]																
3	Negotiate Property Acquisitions	Thu 1/1/15	Mon 3/30/15	[Bar spanning from 1/1/15 to 3/30/15]																
4	Council Authorizes Eminent Domain Process	Tue 3/17/15	Tue 3/17/15	[Diamond at 3/17]																
5	Eminent Domain Process for Non-Negotiable Properties (if applicable)	Tue 3/17/15	Wed 6/17/15	[Bar spanning from 3/17/15 to 6/17/15]																
6	MPCA Permitting	Mon 3/2/15	Fri 5/29/15	[Bar spanning from 3/2/15 to 5/29/15]																
7	SDS Permit and Public Comment Period	Mon 3/2/15	Wed 4/1/15	[Bar spanning from 3/2/15 to 4/1/15]																
8	Reponse to Comments for the MPCA SDS Permit	Wed 4/1/15	Wed 4/15/15	[Bar spanning from 4/1/15 to 4/15/15]																
9	MPCA Issues SDS Permit	Thu 4/30/15	Thu 4/30/15	[Diamond at 4/30]																
10	Possible Extended Permit Process	Thu 4/30/15	Fri 5/29/15	[Bar spanning from 4/30/15 to 5/29/15]																
11	Council Awards Treatment System Construction Contract	Thu 4/30/15	Thu 4/30/15	[Diamond at 4/30]																
12	Project Financing	Fri 3/6/15	Tue 6/2/15	[Bar spanning from 3/6/15 to 6/2/15]																
13	Temporary Financing for Interim Period (prior to a long-term bond issue)	Wed 4/1/15	Wed 4/1/15	[Diamond at 4/1]																
14	Complete Detailed Financing Plan (prior to special assessment hearing)	Fri 3/6/15	Tue 4/21/15	[Bar spanning from 3/6/15 to 4/21/15]																
15	Finalize Sewer Assessment Policy	Fri 3/6/15	Tue 4/21/15	[Bar spanning from 3/6/15 to 4/21/15]																
16	Council Adopts Sewer Assessment Policy	Tue 4/21/15	Tue 4/21/15	[Diamond at 4/21]																
17	Finalize Sanitary Sewer Connection Policy	Fri 3/6/15	Tue 4/21/15	[Bar spanning from 3/6/15 to 4/21/15]																
18	Council Adopts Sanitary Sewer Connection Policy	Tue 4/21/15	Tue 4/21/15	[Diamond at 4/21]																
19	Prepare Project Assessments	Thu 5/21/15	Fri 5/29/15	[Bar spanning from 5/21/15 to 5/29/15]																
20	Hold Assessment Hearing	Tue 6/2/15	Tue 6/2/15	[Diamond at 6/2]																
21	2015 Downtown Improvement Project Bidding/Award	Tue 3/17/15	Tue 6/16/15	[Bar spanning from 3/17/15 to 6/16/15]																
22	Council Accepts Plans and Specifications	Tue 3/17/15	Tue 3/17/15	[Diamond at 3/17]																
23	Council Authorizes Advertisement for Bids	Tue 4/21/15	Tue 4/21/15	[Diamond at 4/21]																
24	Advertise for Bids	Thu 4/30/15	Thu 5/21/15	[Bar spanning from 4/30/15 to 5/21/15]																
25	Bid Opening	Thu 5/21/15	Thu 5/21/15	[Diamond at 5/21]																
26	Council Awards 2015 DIP Contract	Tue 6/16/15	Tue 6/16/15	[Diamond at 6/16]																
27	Wastewater Operator Selection	Mon 6/8/15	Tue 7/21/15	[Bar spanning from 6/8/15 to 7/21/15]																
28	Prepare Wastewater Operator RFP	Mon 6/8/15	Tue 7/21/15	[Bar spanning from 6/8/15 to 7/21/15]																
29	Council Authorizes RFP Submittal	Tue 7/21/15	Tue 7/21/15	[Diamond at 7/21]																
30	Project Design/Permitting Items	Tue 2/17/15	Thu 12/31/15	[Bar spanning from 2/17/15 to 12/31/15]																
31	2015 Construction Documents	Fri 2/20/15	Mon 4/27/15	[Bar spanning from 2/20/15 to 4/27/15]																
32	Finalize Bidding Documents	Fri 2/20/15	Mon 4/27/15	[Bar spanning from 2/20/15 to 4/27/15]																
33	Utility Coordination (Incl. High Speed Internet Inquiry)	Fri 3/6/15	Tue 3/31/15	[Bar spanning from 3/6/15 to 3/31/15]																
34	Council Authorizes No Parking Resolution	Tue 3/17/15	Tue 3/17/15	[Diamond at 3/17]																
35	Council Authorizes Street Width Resolution	Tue 3/17/15	Tue 3/17/15	[Diamond at 3/17]																
36	Council Approves DIPS DC Design Recommendations - Railings, Parking, Roadway Layouts, Street Widths	Tue 3/17/15	Tue 3/17/15	[Diamond at 3/17]																
37	2015 Downtown Improvement Project Permits	Fri 3/13/15	Thu 12/31/15	[Bar spanning from 3/13/15 to 12/31/15]																
38	USACE Approval	Fri 3/13/15	Wed 5/13/15	[Bar spanning from 3/13/15 to 5/13/15]																
39	DNR Approval	Fri 3/13/15	Mon 4/13/15	[Bar spanning from 3/13/15 to 4/13/15]																
40	Valley Branch Watershed District Approval	Fri 3/13/15	Mon 4/13/15	[Bar spanning from 3/13/15 to 4/13/15]																
41	MPCA NPDES Approval	Fri 3/13/15	Fri 3/13/15	[Diamond at 3/13]																
42	Washington County Traffic Control Approval	Fri 3/13/15	Fri 4/3/15	[Bar spanning from 3/13/15 to 4/3/15]																
43	Washington County Right-of-Way Approval	Fri 3/13/15	Fri 4/3/15	[Bar spanning from 3/13/15 to 4/3/15]																
44	FEMA Accreditation	Fri 3/13/15	Thu 12/31/15	[Bar spanning from 3/13/15 to 12/31/15]																

ID	Task Name	Start	Finish	Calendar																																						
				December 1	January 1	February 1	March 1	April 1	May 1	June 1	July 1	August 1	September 1	October 1																												
45	2016 Construction Documents	Tue 2/17/15	Fri 7/31/15	12/21	1/4	1/18	2/1	2/15	3/1	3/15	3/29	4/12	4/26	5/10	5/24	6/7	6/21	7/5	7/19	8/2	8/16	8/30	9/13	9/27																		
46	Streetscaping Development	Tue 2/17/15	Fri 5/1/15																																							
47	Council Approves Streetscaping Recommendations from County DRC	Thu 5/21/15	Thu 5/21/15																																							
48	Finalize Bidding Documents	Thu 5/21/15	Fri 7/31/15																																							
49	Project Construction Items	Mon 6/8/15	Fri 12/30/16																																							
50	Sanitary Sewer Treatment Project	Mon 6/8/15	Thu 12/31/15																																							
51	Begin Construction	Mon 6/8/15	Mon 6/8/15																																							
52	Substantial Completion	Thu 12/31/15	Thu 12/31/15																																							
53	2015 Downtown Improvement Project	Mon 7/6/15	Tue 5/31/16																																							
54	Begin Construction	Mon 7/6/15	Mon 7/6/15																																							
55	Substantial Completion	Tue 5/31/16	Tue 5/31/16																																							
56	2016 Downtown Improvement Project	Mon 5/2/16	Fri 12/30/16																																							
57	Begin Construction	Mon 5/2/16	Mon 5/2/16																																							
58	Substantial Completion	Fri 12/30/16	Fri 12/30/16																																							

33rd Street Design - Interrelated issues

While the 33rd Street design preferred by the Afton House would retain nearly all of the parking along 33rd Street and eliminate a sidewalk for pedestrian access to the river, the goal of the 33rd Street design is to open up the view to the river and provide a pedestrian gateway to the river. The open view could be provided by removing parking on the north side of 33rd Street. This may require the Afton House to provide more parking at the rear of their property.

The 33rd Street design includes the ability of the Afton House to use eleven feet of the public street right-of-way width to expand their patio.

The change of 33rd street to a one-way street going east creates the need for an easement over the Afton House rear parking lot to enable the traffic on 33rd street to get access to a public street

The Afton House wants to add parking in the rear, and may be required to have more parking if they add more seats in the patio area and in other areas.

Impervious coverage related to the parcel across 33rd street. This parcel needs to be combined with the remainder of the property in order to be used in impervious calculations.

Impervious coverage increase – requires a variance process under the current code language.

There are several issues with cost implications that may best be dealt with through a comprehensive resolution. They include:

- Easements for levee and sewer
- Easement for public traffic access from 33rd Street across rear parking area to 32nd Street
 - Responsibilities and duties, i.e. snow removal, maintenance and repairs.
- The value/cost of the Afton House's use of 11+ feet of public right-of-way for patio expansion. This would involve the Afton House obtaining a permit for the use of the right-of-way.
- The value/cost of creating green space adjacent to the expanded Afton House patio
- The value/cost of street lights on 33rd street
- The value/cost of the "plaza" gathering place adjacent to the levee
- The proposed assessments to be levied on the Afton House property

From: David Snyder [mailto:David@johnsonturner.com]
Sent: Monday, March 09, 2015 12:54 PM
To: Ron Moorse
Cc: 'George Amoth'
Subject: Afton Lots

Ron:

I have a meeting in Northern Minnesota and am going to try to be back in time for your council meeting at 1 but may be late.

I wanted to raise a couple of points with you, in the event I get delayed, so that the council could consider them as part of the work session. I understand it is a work session and no decisions will be made. At the risk of being terse, I will enumerate our observations, just for ease of reading. Much of it, you may already know.

1. These lots were platted in their current size many years ago because it was permissible to do so and for the purpose of accommodating residential or commercial structures. Though later zoning changes (made when there was no sewer available) required larger lots, the historic lots are grandfathered and lawfully created. Observe, that the lot owners have paid literally hundreds of thousand of dollars in property taxes-to the City and County- over the years as these lots were taxed at full value. Historically, they were not taxed as "unbuildable" lots. There is a substantial investment back expectation here.
2. The introduction of sewer eliminates the need for septic systems and therefore merits consideration for utilizing the historic patchwork of lots in Afton to create more creative and flexible lot sizes, especially for lots existing of record long before the adoption of ordinances and those of record on the day the sewer project is approved, like these. It is naturally the case that sewer development does involve smaller lot size, and the good news is that the City can both identify smaller lot sizes and protect taxpayers investments in lots created long ago as well as bolster financial support for the project. The owners do support the sewer project and will contribute to its costs by way of an assessment waiver agreement so the City can see that its costs will be reimbursed.
3. We believe we can make meaningful use of the 4 lots without insisting that each lot have a sewer stub. But, obviously, we request that the council ask its staff to work with us on designating the precise location of three sewer stubs to serve the 4 parcels (Amoth, Snyder, Paddock, Amoth) and to coordinate driveway points. With this direction, we can coordinate conveyance of easements to the city to simplify the process and will arrange for payment of the assessed costs.

Thanks!
Dave



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